



## 2.1.1 Foundation, Basement &amp; Crawlspaces

 Recommendation**INSULATION-LOOSE**

The flooring insulation is displaced in several locations. This leads to poor efficiency and allows moisture to the sub-floor. Recommend qualified professional to return insulation to proper uniformity.

Recommendation  
Contact a qualified professional.



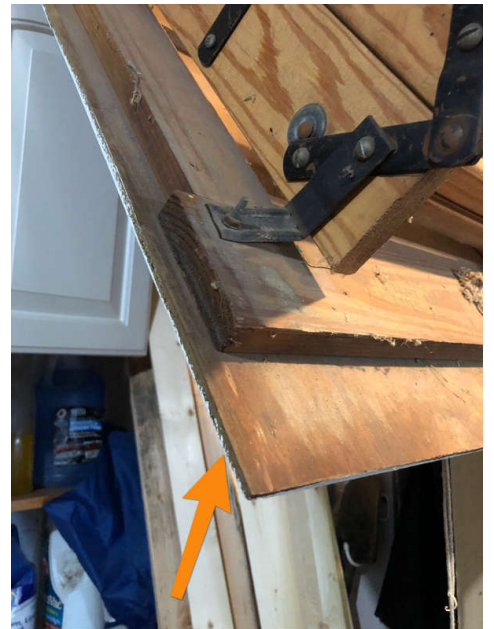
Crawlspace

## 2.5.1 Roof Structure &amp; Attic

 Recommendation**ATTIC ACCESS- FIRE RATING**

The pull down attic access hatch cover, is made of flammable material. This does not meet the minimum approved fire rating necessary to maintain the integrity of the firewall separation between the garage and an open attic space. Recommend a qualified contractor replace or upgrade the access stairs as necessary.

Recommendation  
Contact a qualified professional.



Garage

## 3.1.1 Siding, Flashing &amp; Trim

 Recommendation**DAMAGE**

Damage to the siding was noted. This could lead to the siding falling off or allowing water to penetrate behind the material. Recommend qualified professional for repair.

Recommendation  
Contact a qualified professional.



West

West

### 3.1.2 Siding, Flashing & Trim

## WOOD SIDING- DAMAGE/WOOD ROT



Recommendation

The wood siding on the house showed signs of wood rot and damage. Recommend qualified siding professional to evaluate and repair or replace the siding where needed.

Recommendation

Contact a qualified siding specialist.



Bay window

### 3.2.1 Exterior Doors

## SLIDING DOOR OPERATION



Recommendation

The sliding door did not operate properly. Recommend qualified professional for service and repair or adjustments.

Recommendation

Contact a qualified professional.



Hard to fully open- East

3.3.1 Decks, Balconies, Porches & Steps

**COLUMN-WOOD ROT**

Recommendation

One or more columns showed signs of wood rot. Recommend qualified professional to make necessary repairs.

Recommendation

Contact a qualified professional.



Southwest

3.3.2 Decks, Balconies, Porches & Steps

**BALUSTER SPACE TOO WIDE**

Recommendation

The spacing between the balusters is too wide and does not meet current safety standards. Recommend qualified handyman for repair.

Recommendation

Contact a qualified handyman.



Porch



North

3.3.3 Decks, Balconies, Porches & Steps

**BRICK-DAMAGED**

Recommendation

Some of the brick on the steps was damaged/deteriorated. This could lead to a trip or fall hazard. Recommend qualified masonry professional for repair.

Recommendation

Contact a qualified masonry professional.



North

3.3.4 Decks, Balconies, Porches & Steps

**RAILING**

A railing and handrail is needed for the steps. The height can be a safety hazard. Recommend qualified professional to install railing and handrail.

Recommendation

Contact a qualified professional.

 Recommendation



Main entry

3.3.5 Decks, Balconies, Porches & Steps

**PORCH-SETTLING**

The porch has settled and is showing signs of deterioration. Recommend qualified professional for evaluation and repair.

Recommendation

Contact a qualified professional.

 Recommendation



North

### 3.3.6 Decks, Balconies, Porches & Steps

#### **COLUMN FOOTER-SETTLEMENT**

 Recommendation

The footer for the column has settled which could eventually effect the integrity of the column and the structure above. Recommend qualified professional for repair.

Recommendation

Contact a qualified professional.



Southwest

### 3.4.1 Walkways, Patios & Driveways

#### **DRIVEWAY CRACKING - MAJOR**

 Recommendation

Major cracks observed. Recommend driveway contractor evaluate and make necessary repairs.



Driveway

### 3.4.2 Walkways, Patios & Driveways

#### **WALKWAY TRIP HAZARD**

The walkway has settled which has caused a trip hazard. Recommend qualified professional for repair.

Recommendation

Contact a qualified professional.



East

### 3.4.3 Walkways, Patios & Driveways

#### **PATIO-LOOSE CONCRETE**

Concrete was observed to be loose at the time of inspection. This has the potential to be a trip and fall hazard. Recommend qualified professional for evaluation and possible repair.

Recommendation

Contact a qualified professional.





South-patio

### 3.5.1 Eaves, Soffits & Fascia

#### **EAVES-WOOD ROT**

The eave was showing signs of wood rot. Recommend qualified professional for repair.

Recommendation

Contact a qualified professional.

 Recommendation



Northwest

### 3.5.2 Eaves, Soffits & Fascia

#### **SOFFIT-DAMAGE**

The soffit was damaged. This will allow pests to enter. Recommend qualified professional for repair.

Recommendation

Contact a qualified professional.

 Recommendation



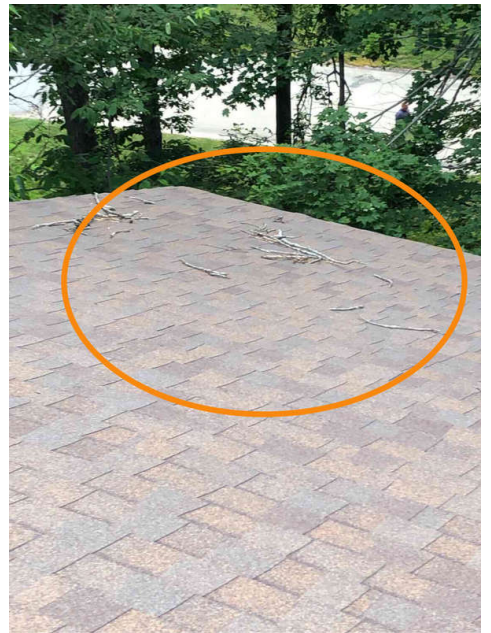
Southwest

3.6.1 Vegetation, Grading, Drainage & Retaining Walls

**TREE DEBRIS ON ROOF**

Tree debris observed on roof. This can cause improper drainage to gutters and downspouts. Recommend clearing debris.

 Recommendation



Southeast

3.6.2 Vegetation, Grading, Drainage & Retaining Walls

**VEGETATION NEEDS TRIMMED**

Vegetation should be trimmed back approximately 12 inches from the house to allow proper drying and air flow.

Recommendation  
Contact a qualified professional.

 Recommendation





West

3.6.3 Vegetation, Grading, Drainage & Retaining Walls

 Recommendation

**RETAINING WALL-LEANING**

The retaining wall is leaning and May be in need of repair. Recommend qualified professional for further evaluation and possible repair.

Recommendation  
Contact a qualified professional.



East

3.6.4 Vegetation, Grading, Drainage & Retaining Walls

 Recommendation

**RETAINING WALL-WOOD ROT**

Wood rot was present on the retaining wall. Recommend qualified professional to replace affected pieces.

Recommendation  
Contact a qualified professional.



South

3.6.5 Vegetation, Grading, Drainage & Retaining Walls

**SOIL LOSS/SETTLING**

Significant settlement/movement was noted. This can lead to further damage and movement in this area. Recommend qualified professional for evaluation and repair.

Recommendation

Contact a qualified professional.

 Recommendation



East

3.7.1 Exterior electrical and faucets

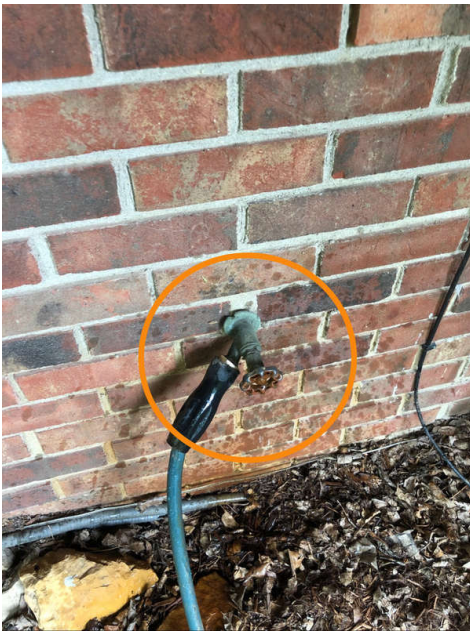
**FAUCET NOT SECURE**

The exterior faucet is not secure on the wall. This can cause damage to the supply pipe. Recommend handyman to make the faucet secure.

Recommendation

Contact a qualified professional.

 Recommendation



East

### 3.7.2 Exterior electrical and faucets

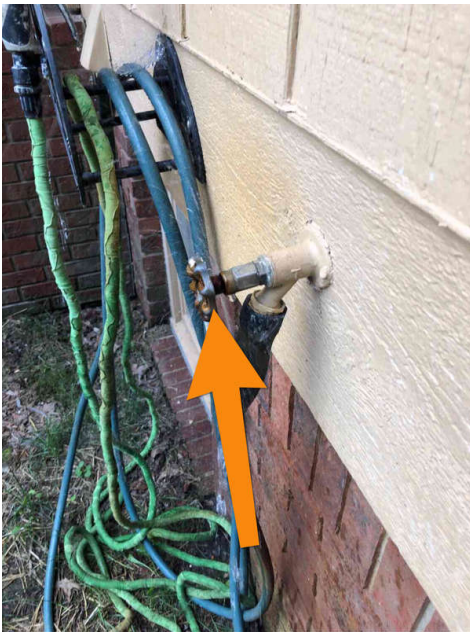
#### **FAUCET-LEAKING**

 Recommendation

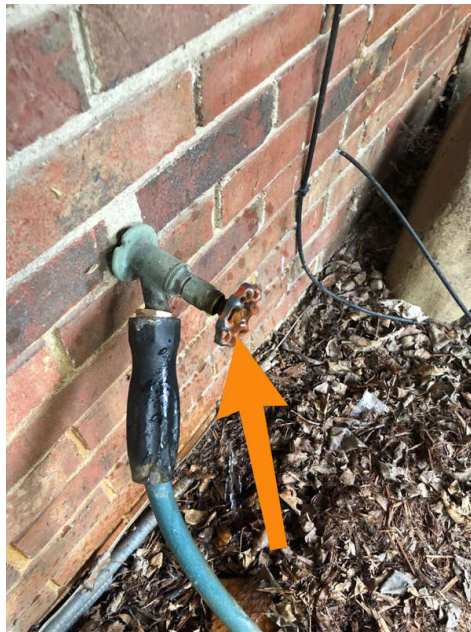
Exterior faucet was leaking. Recommend qualified plumber for evaluation and repair.

Recommendation

Contact a qualified plumbing contractor.



North



East

### 3.7.3 Exterior electrical and faucets

#### **UNGROUNDING OUTLET**

 Recommendation

Exterior outlet is ungrounded. Depending on the age of the house, grounding the outlet may not be a required upgrade. Grounding and GFCI protecting the outlet is an upgrade that should be considered.

Recommendation

Contact a qualified professional.



South porch

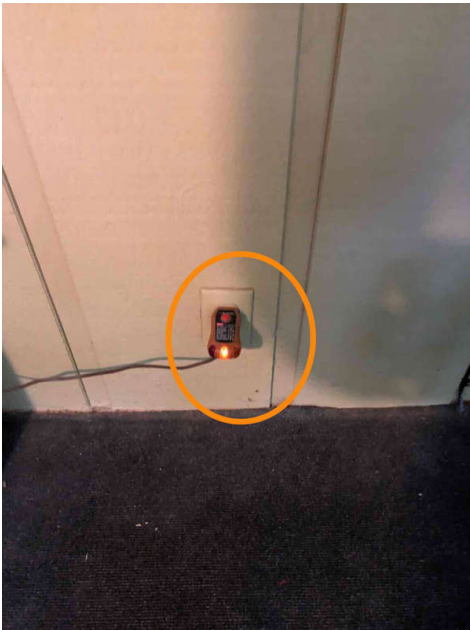
3.7.4 Exterior electrical and faucets

**NO GFCI PROTECTION**

 Recommendation

Exterior outlet(s) were not GFCI protected. All exterior outlets should be GFCI protected for safety. Recommend qualified electrician for repair.

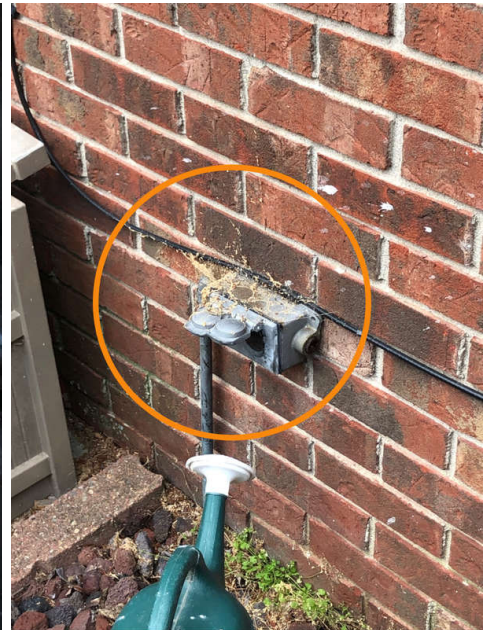
Recommendation  
Contact a qualified electrical contractor.



South porch



East porch



North

4.4.1 Skylights, Chimneys & Roof Penetrations

**VEGETATION GROWTH**

 Recommendation

Vegetation growth was noted on the chimney. This growth can lead to deterioration of the mortar. Recommend qualified handyman to clean the chimney.

Recommendation  
Contact a qualified professional.



### 5.1.1 Fixtures / Faucets

## **SINK DRAIN STOPPER**

The sink drain stopper does not properly operate. Recommend qualified handyman for adjustments.

Recommendation

Contact a qualified handyman.

 Recommendation



Master Bathroom

### 5.2.1 Drain, Waste, & Vent Systems

## **NEGATIVE SLOPE**

A negative slope was noted on a drain pipe. This will cause slow drainage and a higher chance of a clog. Recommend qualified plumber to create the proper slope.

Recommendation

Contact a qualified professional.

 Recommendation



Hall Bathroom sink

### 5.3.1 Water Heater

#### **MISSING T&P EXTENSION PIPE**

 Recommendation

The t&p extension pipe has not been installed. Recommend qualified plumber for installation.

Recommendation

Contact a qualified professional.



### 5.3.2 Water Heater

#### **GROMMET NEEDED**

 Recommendation

A grommet is needed at the electrical entrance to protect the wire. Recommend qualified professional for installation.

Recommendation

Contact a qualified professional.

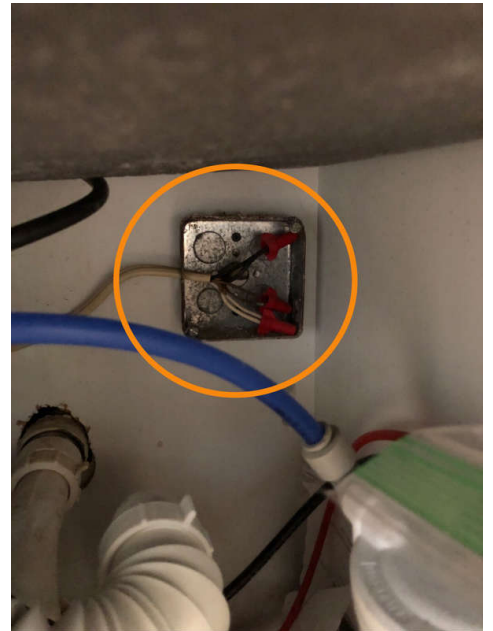


### 6.3.1 Connected Devices and Fixtures

#### **COVER PLATES MISSING**

One or more missing cover plates. This causes short and shock risk. Recommend installation of plates.

 Recommendation



Under Kitchen sink

### 6.3.2 Connected Devices and Fixtures

#### **LIGHT INOPERABLE**

One or more lights are not operating. New light bulb possibly needed.

 Recommendation



Hall Bathroom

### 6.3.3 Connected Devices and Fixtures

#### **OUTLET-MELTED**

 Recommendation

The outlet was melted. This is an indication that overheating occurred and could have caused damage to the outlet. Recommend qualified electrician for replacement.

Recommendation

Contact a qualified electrical contractor.



Master Bathroom

### 6.5.1 Polarity and Grounding of Receptacles

#### **OUTLET(S) NOT GROUNDED**

 Recommendation

One or more outlets are not grounded. Grounding of outlets may not be a requirement depending on the age of the house. For the well being of electronics and people, grounding the outlets is an upgrade to consider.

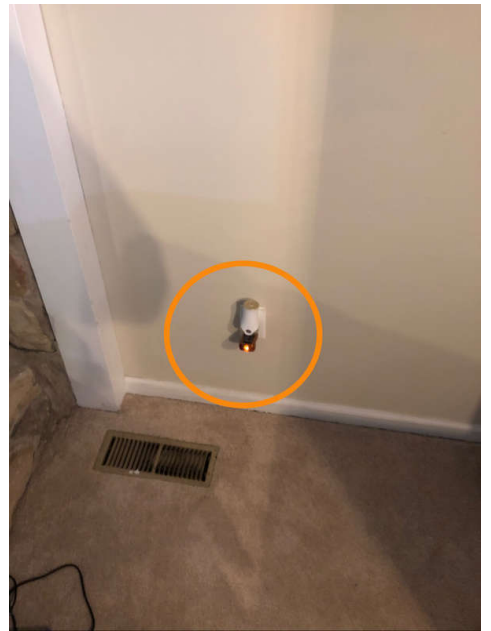




Southwest Dining Room



West Dining Room



Living Room

6.6.1 GFCI & AFCI

**KITCHEN GFCI**

Outlets within 6 feet of a water source need to be GFCI protected. Recommend qualified electrician for repair.

Recommendation

Contact a qualified professional.

 Recommendation



Kitchen

6.6.2 GFCI & AFCI

**BATHROOM GFCI**

Outlet(s) were not GFCI protected. Recommend qualified electrician for repair.

Recommendation

Contact a qualified professional.

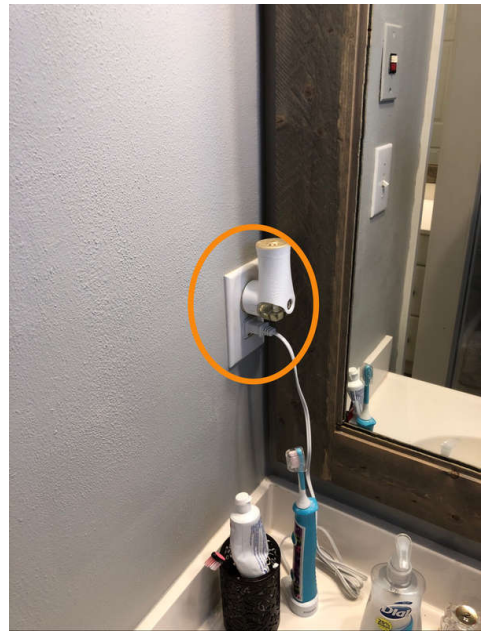
 Recommendation



Hall Bathroom



Basement hall Bathroom



Basement hall Bathroom

### 6.6.3 GFCI & AFCI

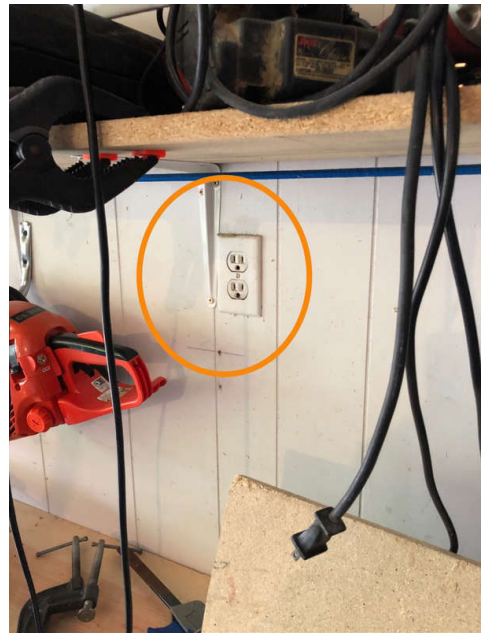
#### **GARAGE GFCI**

 Recommendation

The outlets in the garage did not trip when tested. Recommend qualified electrician for adding a GFCI receptacle to properly protect the garage.

Recommendation

Contact a qualified electrical contractor.



Garage

### 8.3.1 Floors

#### **SLOPED-SETTLEMENT**

 Recommendation

The floor was sloped and some settling has occurred. This can be an indication of foundation settling or other issues. Recommend qualified foundation professional for further evaluation.

Recommendation

Contact a foundation contractor.



8.6.1 Doors

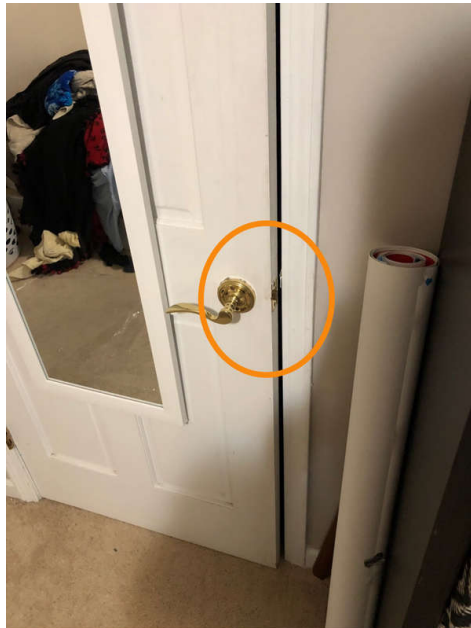
**DOOR DOESN'T LATCH**

 Recommendation

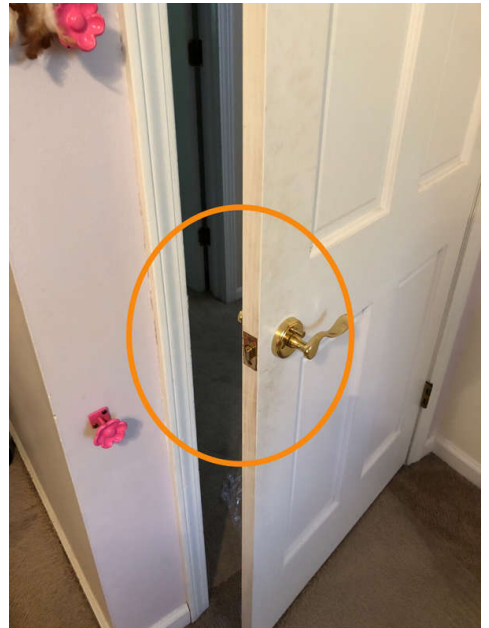
Door doesn't latch properly. Recommend handyman repair latch and/or strike plate.



East Bedroom



East Bedroom closet



Northeast Bedroom



Southeast Bedroom

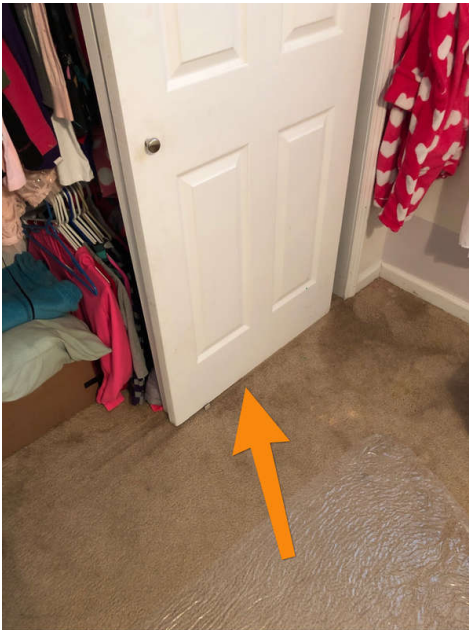
### 8.6.2 Doors

#### **DOOR DRAGS ON CARPET**

 Recommendation

The door drags on the carpet. Possibly need trimmed at the bottom. Recommend qualified professional for repair.

Recommendation  
Contact a qualified professional.



Northeast Bedroom



Southeast Bedroom

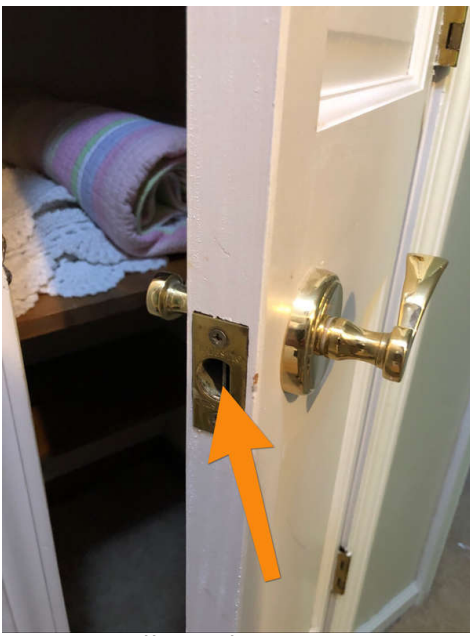
### 8.6.3 Doors

#### **MISSING HARDWARE**

 Recommendation

Hardware is missing for the door which makes operation difficult. Recommend handyman for repair.

Recommendation  
Contact a qualified handyman.



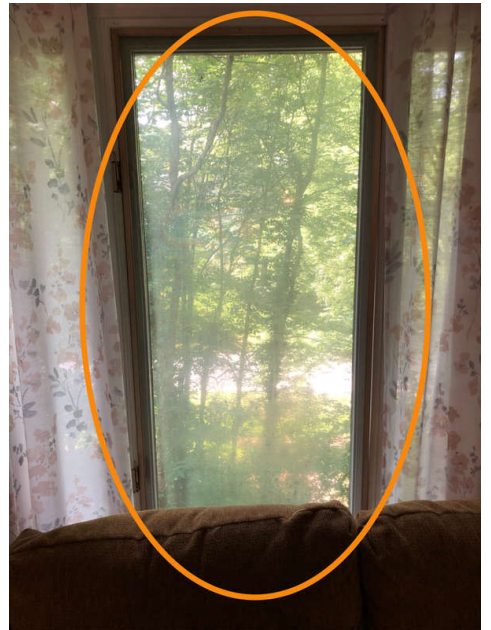
Basement linen closet

### 8.7.1 Windows

#### **FAILED SEAL**

 Recommendation

Observed condensation between the window panes, which indicates a failed seal. Recommend qualified window contractor evaluate & replace.



Bay window- Dining Room

### 8.7.2 Windows

#### **MISSING SCREEN**

 Recommendation

Window missing screen. Recommend replacement.

### 8.7.3 Windows

#### **DIFFICULT TO OPERATE**

 Recommendation

Some windows were difficult to operate. This could be because of their age and/or swelling. Recommend working them loose and maintaining workability or calling a window professional for further evaluation and make all necessary repairs.

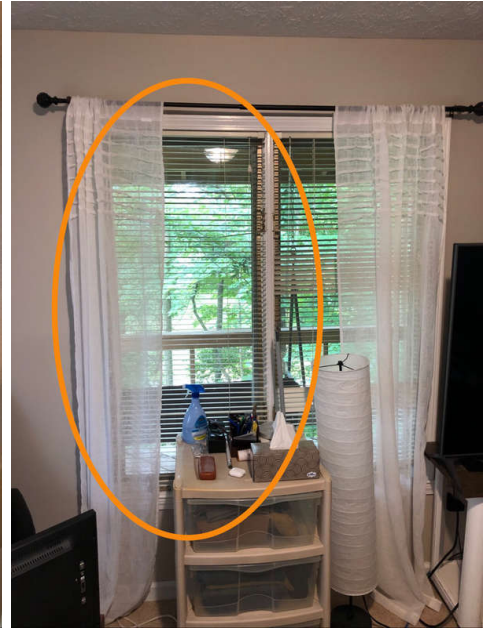
Recommendation  
Contact a qualified window repair/installation contractor.



Wouldn't completely close- Dining Room



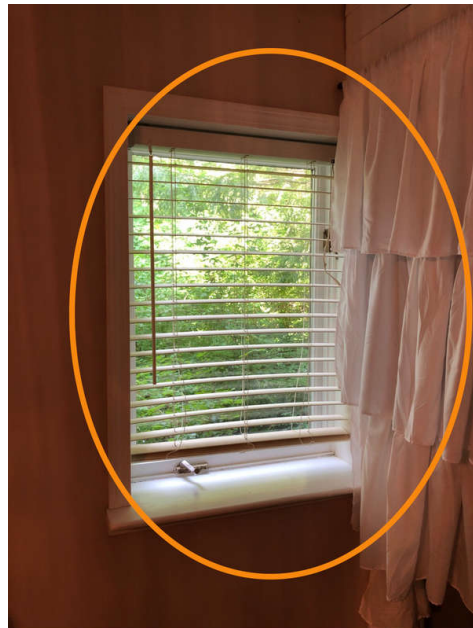
Hall Bathroom



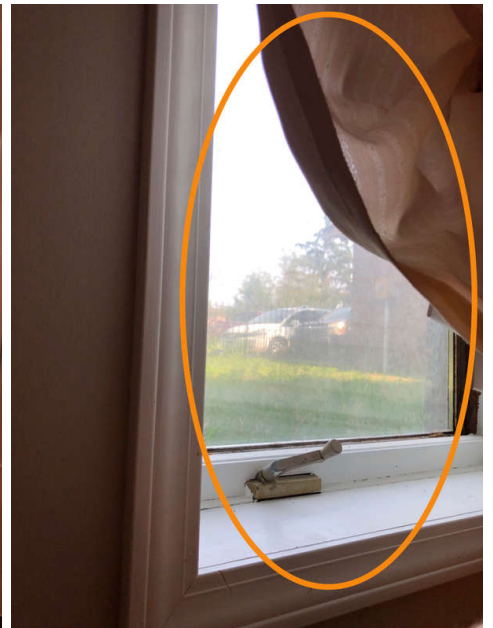
East Bedroom-closing difficulty



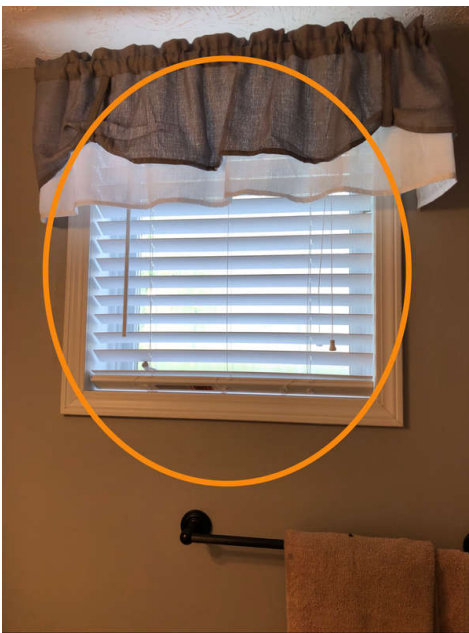
West Living Room-won't close



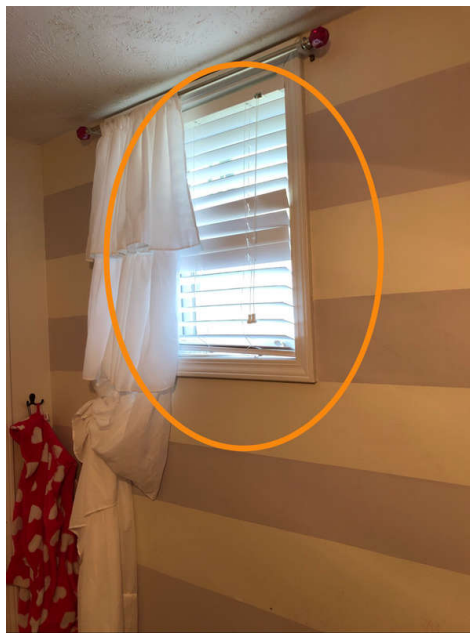
Southwest Basement Bedroom



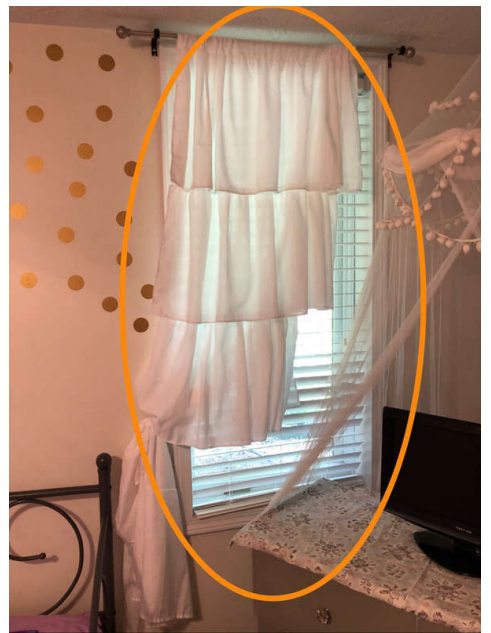
Master Bathroom



Basement hall Bathroom



Northeast Bedroom



Northeast Bedroom

#### 8.7.4 Windows **WOOD ROT**

 Recommendation

Wood rot was noted on the exterior trim. Recommend contacting window professional for repairing and replacing all affected materials.

Recommendation  
Contact a qualified professional.



North



West Living Room

#### 9.1.1 Cooling Equipment **CONDENSATE-LEAK**

 Recommendation

There appears to be a condensation leak. Recommend qualified professional to evaluate and properly drain condensate water.

Recommendation  
Contact a qualified professional.



Crawlspace-by access

10.3.1 Range/Oven/Cooktop  
**RANGE NOT FASTENED**

 Recommendation

Range was not fastened to the floor. This poses a safety hazard to children. Recommend a qualified contractor secure range so it can't tip.

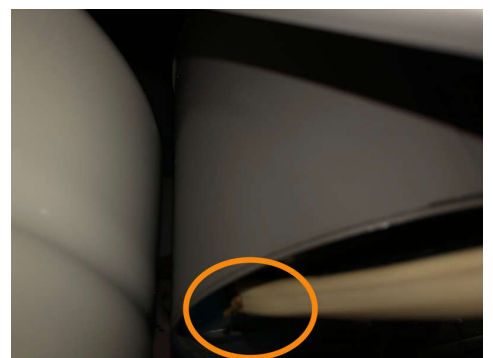


10.4.1 Garbage Disposal  
**GROMMET NEEDED**

 Recommendation

A grommet is needed where the electrical wire enters the disposal. Recommend qualified professional for installation.

Recommendation  
Contact a qualified professional.



Disposal



### CONDUIT

 Recommendation

Current standards state that the exposed wiring should be in electrical conduit for safety. However, depending on when disposal was installed, it may not have been required at that time. Recommend qualified electrician for installing conduit.

Recommendation

Contact a qualified electrical contractor.



Disposal wire

### NO VAPOR BARRIER

 Recommendation

There is no vapor barrier beneath the flooring. This can result in unwanted moisture affecting the floor structure. Recommend qualified professional to install a vapor barrier.

Recommendation

Contact a qualified professional.

### RECOMMEND CLEANING

 Maintenance Item

Recommend cleaning and complete inspection of liner prior to using fireplace.

Recommendation

Contact a qualified chimney sweep.

### DAMAGED FIREBRICK

 Recommendation

The fire brick was damaged in places. Recommend qualified fire place professional for repair.

Recommendation

Contact a qualified professional.



Fire brick

12.1.3 Fireplaces, Stoves & Inserts

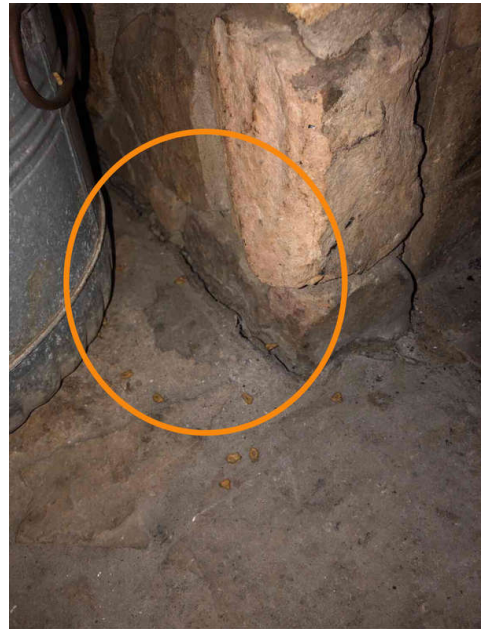
**HEARTH-SETTLEMENT**

The hearth has settled which has caused a gap to form. This could indicate an underlying problem. Recommend qualified professional for evaluation and possible repair.

Recommendation

Contact a qualified professional.

 Recommendation



Hearth

13.1.1 Bees

**SWARMING**

Bees were swarming at the time of inspection. Recommend qualified professional for treatment.

Recommendation

Contact a qualified professional.

 Recommendation



West

13.2.1 Termite

**EVIDENCE OF PREVIOUS/CURRENT TREATMENT**

There was evidence of previous termite treatment. It is unknown if it is a recent treatment or not. Recommend asking current owner when treatment was done.

Recommendation

Contact a qualified professional.

 Recommendation



Drill holes- South patio



Bait station-around entire house