



**SUMMARY**  
 1234 Main St. Colorado Springs CO  
 80920  
 Buyer Name  
 02/08/2018 9:00AM

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4.3.1 Walkways, Patios & Driveways

**EXPANSION JOINT - REPAIR / REPLACE FOAM**

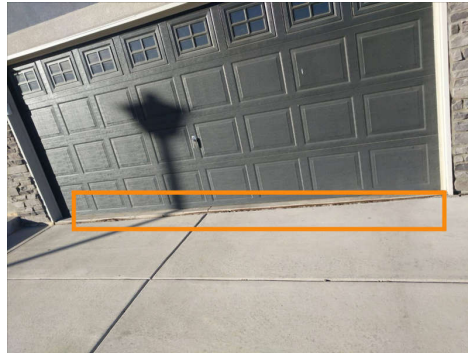
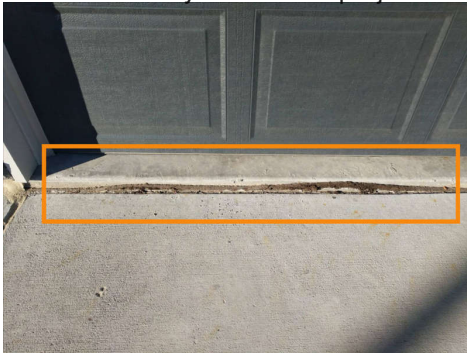
Recommendation

DRIVEWAY

The expansion joint in between the home and the driveway has a foam material that appears to be damaged. This material allows for expansion and contraction but also keeps debris and water out of the joint. I recommend having the foam repaired or replaced.

Recommendation

Contact a handyman or DIY project



4.5.1 Soffits & Fascia

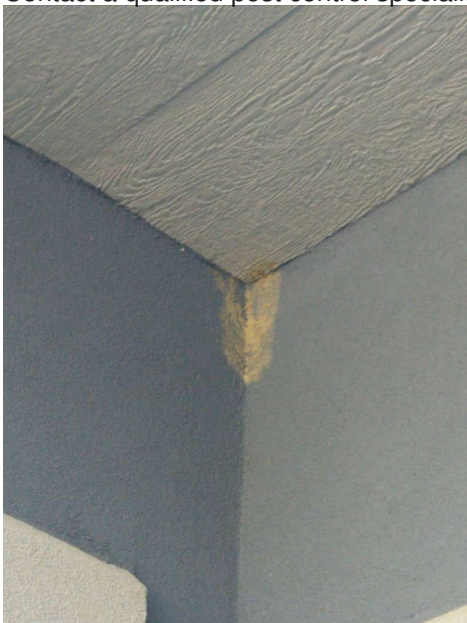
**WASP / BEE NEST**

Recommendation

While inspecting the soffit and fascia, it appeared that a wasp or bee nest was recently removed. I recommend contacting a Pest Control Professional if the pests return in the future.

Recommendation

Contact a qualified pest control specialist.



#### 4.6.1 Vegetation, Grading, Drainage & Retaining Walls

### EROSION

 Recommendation

Excessive erosion is occurring in one or more areas of grading around the home. Other homes in the area appear to have gravel along the perimeter of the home. I suspect this would help with the drainage of the South exterior side of the home. I recommend having the erosion evaluated and addressed in order to prevent further issues.

Recommendation

Contact a qualified landscaper or gardener.

#### 4.8.1 Windows

### WINDOW WELL - FAILURE

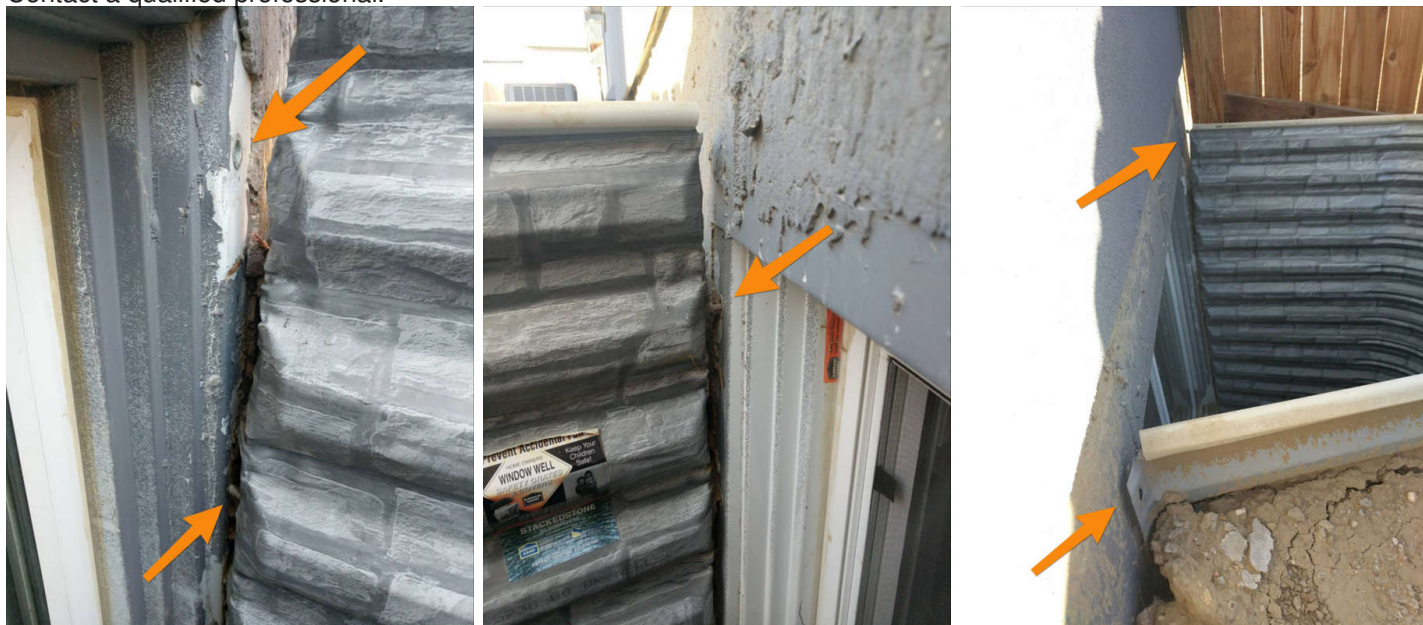
 Recommendation

SOUTHEAST CORNER

Window wells show signs of failure. The sides appear to be bowing in and the fasteners that secured the well to the home have failed. I recommend having evaluated by a professional for repair or replacement.

Recommendation

Contact a qualified professional.



#### 4.8.2 Windows

### WINDOW WELL - FAILURE

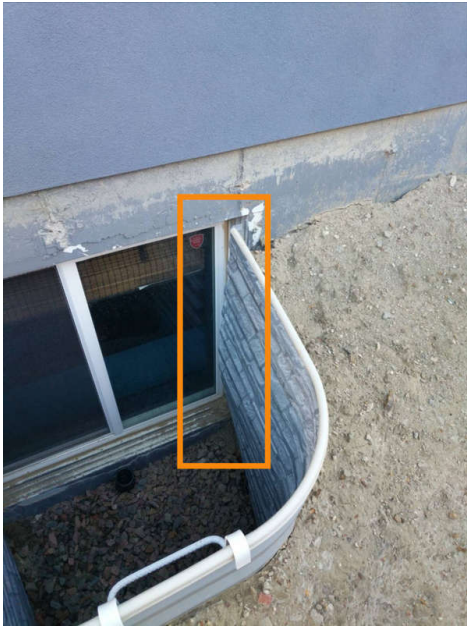
 Recommendation

SOUTHWEST CORNER

Window wells show signs of failure. The sides appear to be bowing in and the fasteners that secured the well to the home have failed. I recommend having evaluated by a professional for repair or replacement.

Recommendation

Contact a qualified professional.



5.5.1 Garage Door Opener and Safety  
**RESISTANCE SETTINGS - NEED  
ADJUSTMENT**

The garage door does not automatically reverse when resistance is applied while it's coming down. This test is done to simulate if a child or pet were to be laying under the door so this is a safety hazard. I recommend having the resistance setting adjusted.

Recommendation  
Recommended DIY Project



6.3.1 Branch Wiring Circuits, Breakers & Fuses  
**EXPOSED WIRES**  
SOUTH EXTERIOR



While inspecting the irrigation system, a wire that runs from the control module to the sprinkler zone valves appears to be exposed and is susceptible to damage. I recommend having the wire enclosed inside of conduit in order to protect the wire from any damage.

Recommendation

Contact a qualified electrical contractor.



#### 6.5.1 Lighting Fixtures, Switches & Receptacles

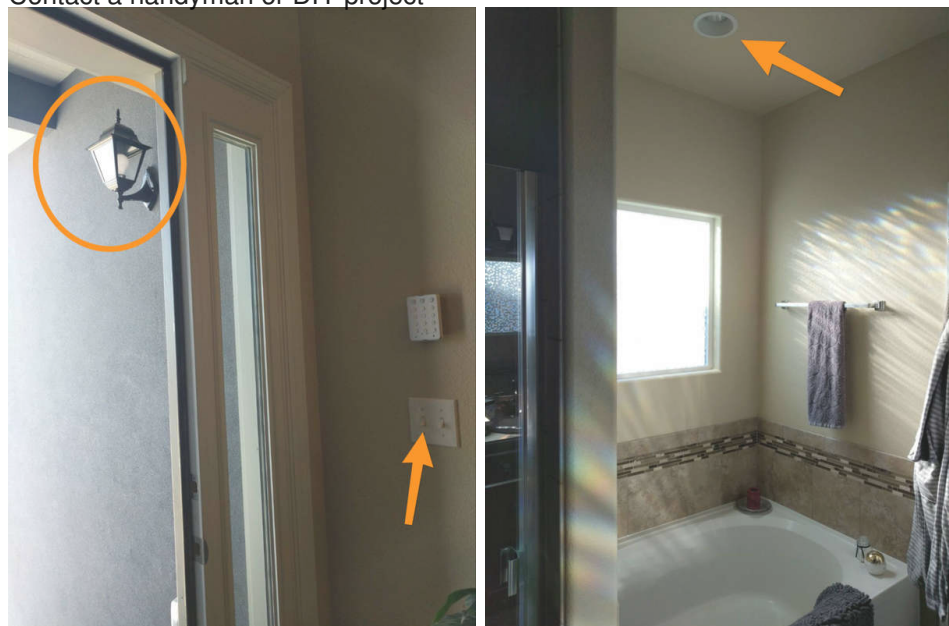
### LIGHT FIXTURE - INOPERABLE

FRONT PORCH, MASTER BATHROOM

One or more lights were not operating during the inspection. It could be just a defective light bulb, however I recommend having the circuit evaluated to ensure that it does function,

Recommendation

Contact a handyman or DIY project



#### 7.1.1 Foundation

### CRACKING - MINOR

SOUTHWEST CORNER

While inspecting the foundation, I observed minor cracking in the foundation. As concrete ages, shrinkage and minor surface cracking is normal. I recommend monitoring the areas and having them further evaluated if cracking worsens.



Recommendation  
Recommend monitoring.



### 7.2.1 Floor Structure

#### **SLAB - MINOR CRACKING**

 Recommendation

While inspecting the concrete slab in the home, I observed minor cracking. This is very typical in this area and is due to soil movement. I would consider these cracks purely cosmetic but I do recommend using a sealant to prevent water intrusion. Then monitor and maintain as necessary.

Recommendation  
Recommend monitoring.



### 7.3.1 Wall Structure

#### **FRAMING - MODIFIED / IMPROPER**

 Recommendation

##### BASEMENT UTILITY ROOM

An area of an interior wall appears to have been improperly modified in order to have a tub drain installed. I recommend having the framing evaluated to and repaired if deemed necessary by a professional.

Recommendation  
Contact a qualified professional.



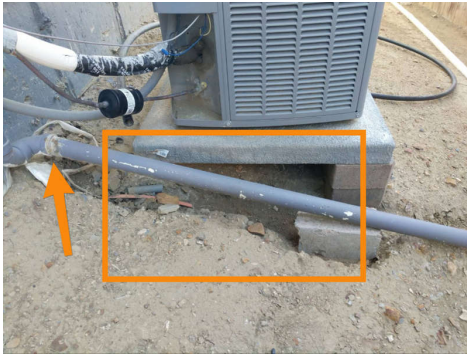
### 9.1.1 Cooling Equipment

#### **EROSION UNDER CONDENSOR PAD**

 Recommendation

The concrete pad supporting the AC condenser appears to have major corrosion around it. I recommend monitoring the AC system for leaks that could be causing the erosion, then making any necessary repairs.

Recommendation  
Contact a handyman or DIY project



### 10.6.2 Fixtures

## TUB/SHOWER FAUCET - SEAL

 Recommendation

GUEST BATHROOM - MAIN LEVEL

The tub/shower faucet appears to be loose, which can allow water to get inside the wall. When the faucet is properly installed, a tight seal is created which prevents any water from getting into the wall cavity. I recommend having the faucet evaluated and repaired if necessary in order to prevent moisture intrusion.

Recommendation

Contact a qualified plumbing contractor.



### 11.3.1 Floors

## TILE - DAMAGED TILE

 Recommendation

When inspecting the home's flooring, I found that one or more tiles in the home were damaged. I recommend having the damaged tiles replaced. In the utility room, there was a stack of extra tiles that APPEARED to be the same tile.

Recommendation

Contact a qualified flooring contractor



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#### 14.7.1 Exhaust Systems

### **DRYER VENT NOT ATTACHED**

 Recommendation

The dryer vent is connected to the back of the dryer but does not connect to the exhaust vent on the other side. It appears that the previous occupants are using the dryer to provide heat into the home. I recommend attaching to properly attaching the dryer vent to exhaust to the exterior in order to prevent moisture issues.

Recommendation  
Recommended DIY Project

