



About :

This inspection attempts to identify significant defects, overdue maintenance, future maintenance issues, gradual deterioration, inferior building work, and/or other areas of concern.

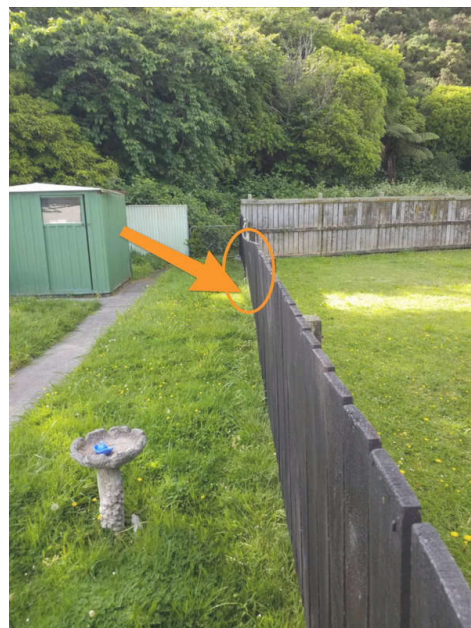
An inspection carried out in accordance with NZS 4306 2005 is not a statement that a property complies with the requirement of any regulation or bylaw, nor is the report a warranty against any problems developing after the date of the property report. Refer to NZS 4306 2005 for full detail.

2.1.1 Fencing

**FENCING - BROKEN POST**

Recommendation

Contact a qualified handyman.



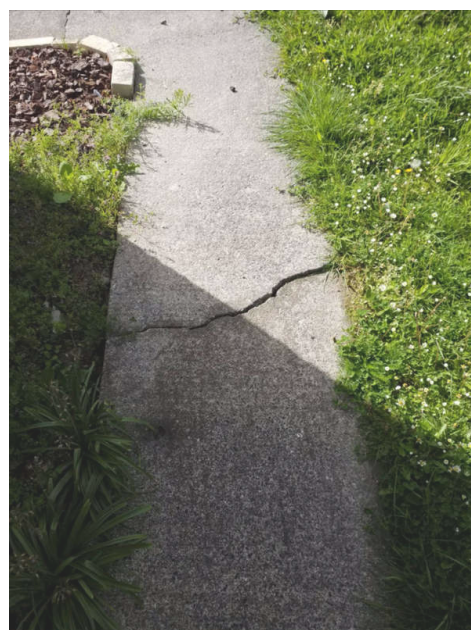
2.2.1 Paths

**PATH CRACKING - MINOR**

Normal settling & cracking observed. Recommend monitor and/or patch/seal.

Recommendation

Recommended DIY Project



2.3.1 Contour grading

**PONDING WATER**

Standing water observed, which could indicate poor drainage and/or grading. Recommend

monitor and/or have landscaper correct.

Recommendation

Contact a qualified landscaper or gardener.



3.2.1 Structural Masonry

### STRUCTURAL MASONRY - MAJOR DEFECT

 Safety Hazard

**Our inspector has found what we would consider major Issues, we recommend you seek advice from a professional specific to this type of construction or obtain a structural engineers report**

Here's a helpful link to better understand the attributes of **block construction**: [http://www.nzcma.org.nz/document/279-27/14.NZCMA\\_MM\\_-\\_4.1\\_-\\_Design\\_of\\_Reinforced\\_Concrete\\_Masonry\\_Structures.pdf](http://www.nzcma.org.nz/document/279-27/14.NZCMA_MM_-_4.1_-_Design_of_Reinforced_Concrete_Masonry_Structures.pdf)

**Content on Brick construction**: <http://www.renovate.org.nz/bungalow/walls-and-claddings/brick-bungalows/#h3-2>

Recommendation

Contact a qualified structural engineer.



5.1.1 Subfloor Space

### ASBESTOS SUSPECTED.

 Safety Hazard

Test sample is required for our lab to verify the presence of Asbestos.

Please note that there is an increased cost for removal and disposal of any asbestos

**link to the dangers of asbestos**: <http://www.health.govt.nz/your-health/healthy-living/environmental-health/hazardous-substances/asbestos/asbestos-and-health>

**link to locations asbestos found in**

**NZ**: <http://www.eqr.co.nz/sites/default/files/resources/Where%20Asbestos%20May%20Be%20Present%20WorkSafe%20Fact%20Sheet.pdf>

Recommendation

Contact a qualified professional.



### 5.1.2 Subfloor Space

#### **ELECTRICAL - SUPPORT**



Loose or hanging cables can be a safety hazard especially if they come into contact with the ground.

We recommend these cables be properly secured and checked for fault or redundancy by a registered electrician.

Recommendation

Contact a qualified electrical contractor.



### 5.1.3 Subfloor Space

#### **PLUMBING - DUX QUEST**



Dux Quest pipes and connections identified.

Dux Quest was withdrawn from the market about 30 years ago. It pre-dates the current Building Code and the Building Act.

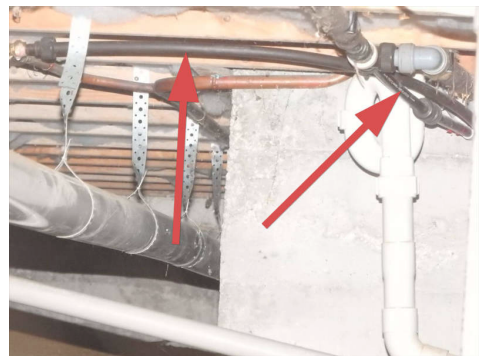
This product has been causing major problems for home owners throughout NZ.

Often insurance companies won't cover damage done by Dux Quest piping, especially if it has leaked before.

**More information here.** <https://www.propertytalk.com/forum/showthread.php?33161-An-insurance-policy-that-does-not-cover-burst-pipe!-Be-wary>

Recommendation

Contact a qualified plumbing contractor.



### 7.2.1 Fibre cement sheet product

#### **ASBESTOS PRODUCT SUSPECTED.**



Test sample is required for our lab to verify the presence of Asbestos.

Please note that should you want this altered or replaced, there would be an increased cost for removal and disposal of any product containing asbestos.

**link to the dangers of asbestos:** <http://www.health.govt.nz/your-health/healthy-living/environmental-health/hazardous-substances/asbestos/asbestos-and-health>

**link to locations asbestos found in**

**NZ:** <http://www.eqr.co.nz/sites/default/files/resources/Where%20Asbestos%20May%20Be%20Present%20WorkSafe%20Fact%20Sheet.pdf>

Recommendation

Contact a qualified professional.



### 7.3.1 Brick veneer

#### **CRACKING**

Cracked, missing, loose Masonry

Performance of this deflection element has been compromised.

Maintenance or repair required in this area

Recommendation

Contact a qualified masonry professional.





### 7.3.2 Brick veneer

#### **VENTILATION/WEEP HOLES**

This cladding system is not using weep holes to ventilate the cavity.

The cavity system here is relying on ventilation from the subfloor, this encourages warm moist air from the underfloor to circulate the internal wall cavity thus creating a good growing environment for mould. this is considered bad building practice and should be rectified should works be carried out in this area.

Here's a helpful link. <https://www.renovate.org.nz/1940-60s/walls-and-cladding/wall-cladding-original-details/brick-veneer-cladding/>

Recommendation

Contact a qualified general contractor.



### 9.1.1 Door - Timber unit

#### **NOT SAFETY GLASS**

We recommend that any entrance door should have safety glass.

Here is a link that explains the minimum requirements for safety glass in joinery: [http://www.wanz.org.nz/download/Human%20Impact%20Safety\\_PRINT.pdf](http://www.wanz.org.nz/download/Human%20Impact%20Safety_PRINT.pdf)

Recommendation

Contact a qualified window repair/installation contractor.

### 9.2.1 Door - Timber unit

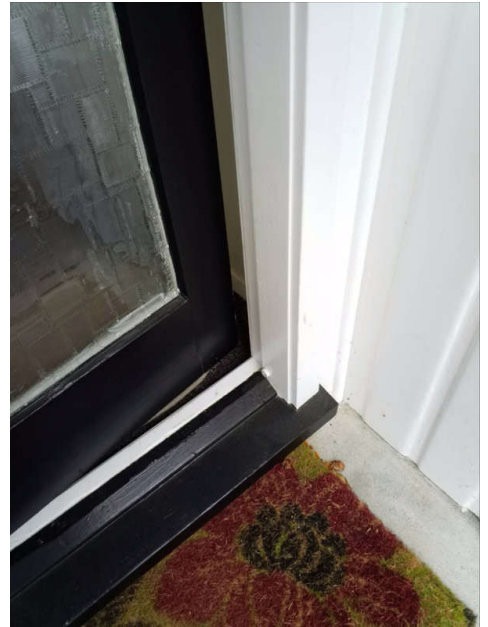
#### **FLASHING**

This door is missing its flashing strip at the bottom, the back door has one. Maintenance or repair required in this area

**Here's a helpful link to better understand types and attributes:**

Recommendation

Contact a qualified carpenter.



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### 9.2.2 Door - Timber unit

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Recommendation

Contact a qualified window repair/installation contractor.

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### 9.3.1 Window - Aluminium unit

#### **GLAZING SEAL**

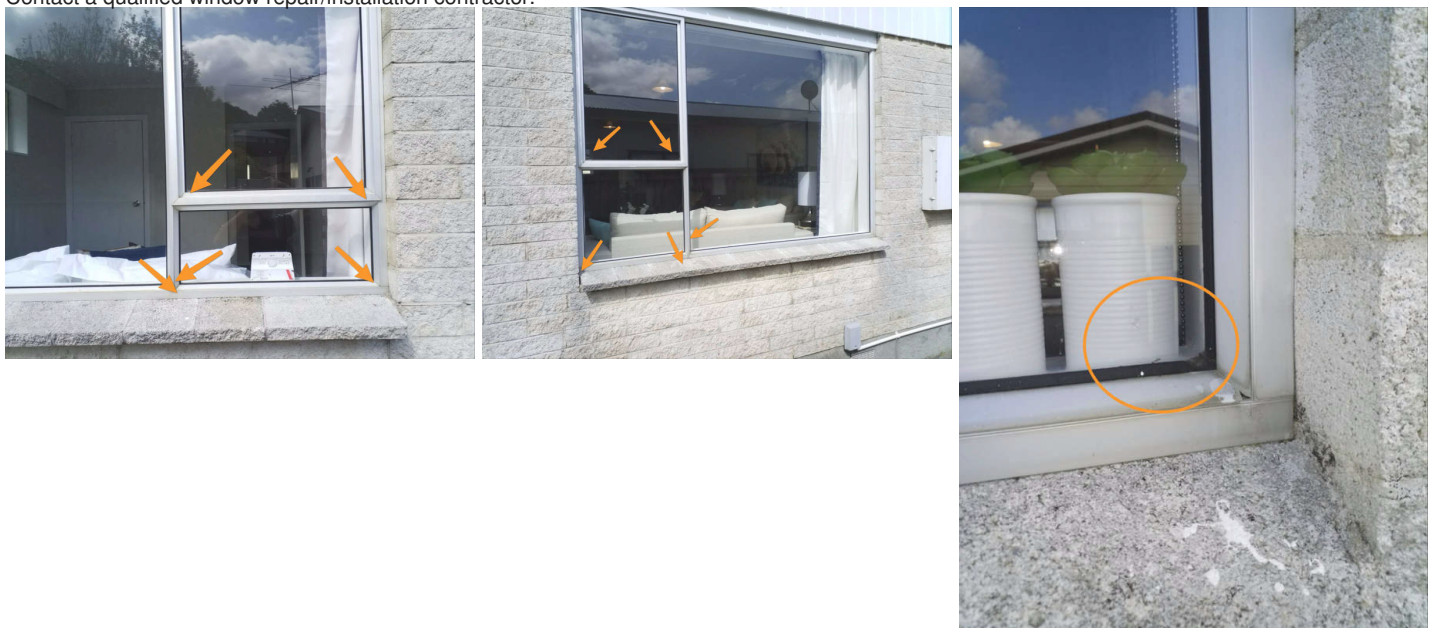
KITCHEN

It's a common issue with older aluminium joinery, UV light causes shrinkage to the glazing seals exposing gaps typically in the corners of any glazed section.

We recommend replacement of the seals in this area.

Recommendation

Contact a qualified window repair/installation contractor.



10.2.1 Material - Pressed metal tiles

### **CORROSION**

We have found rust in this area.

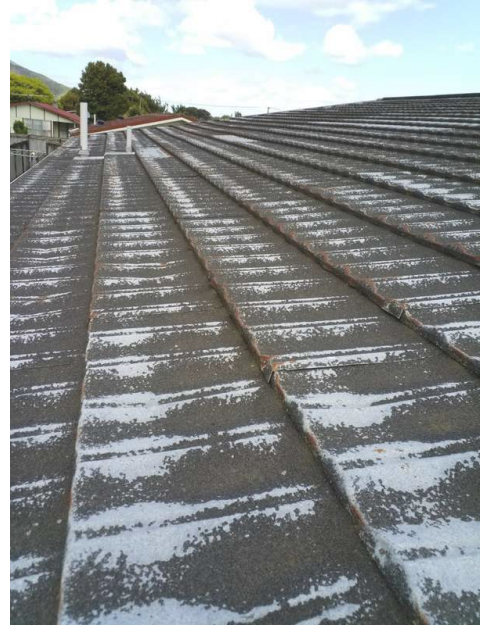
This is a potential weathertightness problem.

Maintenance or repair required in this area.

Profiled metal claddings are non-absorbent and are vulnerable to condensation on the inside of the cladding. They must be installed over an absorbent underlay.

Recommendation

Contact a qualified roofing professional.



12.2.1 Roofing framing & connections

### **CONNECTION, INADEQUATE**

ROOFSpace

We strongly recommend this plate to be bolted and proper tie connections to be installed.

Here's a link to more info on this: <http://www.buildmagazine.org.nz/assets/PDF/Build-131-16-BuildRight-ToStrapOrNotToStarp.pdf>

Recommendation

Contact a qualified carpenter.



15.8.1 Doors and frames

### **DEFECTIVE HARDWARE**

Broken or defective hardware, (hinges, stays, latches, rollers, locks, handles etc.)

Refer to photo.

Maintenance or repair required in this area

Recommendation

Contact a qualified handyman.



16.7.1 Shower

### **LOW WATER PRESSURE**

Hot water flow is minimal.

Recommendation  
Contact a qualified professional.

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#### 16.10.1 Ventilation

### **NOT SAFTY GLASS**

Tempered glass required here. Safety hazard.

Recommendation  
Contact a qualified professional.

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#### 20.3.1 Doors and frames

### **DOORS BINDING**

These doors are catching the frame, the door should have been trimmed to suit.

Recommendation  
Contact a qualified handyman.

