



2.1.1 Coverings

**ROOF DAMAGE**

 Recommend Repair

Inspector notes cement roof tiles slipping out of place in numerous areas around house both on front and back. Cracked/broken tiles noted on both the rake and the surface of the roof. Nail heads are backing out at rake and multiple rakes are uneven and show signs of movement. Roof valleys should be cut and opened to prevent buildup of debris and proper water flow. Additionally these tiles appear to be the older 12" size that is no longer manufactured and difficult to find replacements. Inspector recommends further evaluation by roofing professional. If the same size, style, and color of roof tile cannot be sourced consider roof covering replacement.

Recommendation  
Contact a qualified roofing professional.











### 2.2.3 Roof Drainage Systems

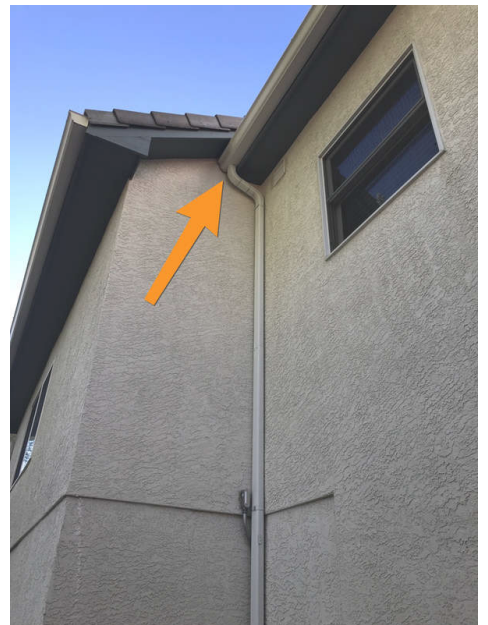
#### **DOWN SPOUTS ARE TOO SMALL**

Recommend Repair

Down spouts appear to be undersized for the size of the gutters. Recommend further evaluation for replacement by roofing professional.

Recommendation

Contact a qualified roofing professional.



### 2.3.1 Flashings

#### **FLASHING MISSING**

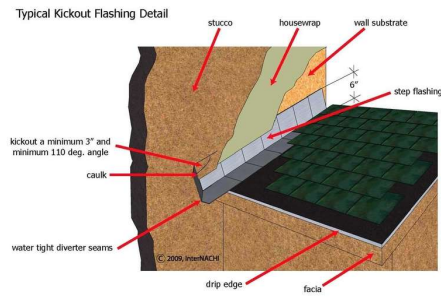
Recommend Repair

ALL WHERE REQUIRED

Kick out flashing was missing or inadequate at time of inspection in one or more areas. Kick out flashing provide protection against moisture intrusion. Recommend a qualified roofing contractor evaluate and repair.

Recommendation

Contact a qualified roofing professional.



2.4.1 Skylights, Chimneys & Other Roof Penetrations

 Recommend Repair

**VENT STACK TOO SHORT**

It is of the inspectors opinion the vent stacks are too short. They should be 6" minimum or 6" higher than snow accumulation for the geographic area. Recommend further evaluation by qualified roofing professional.

Recommendation  
Contact a qualified professional.



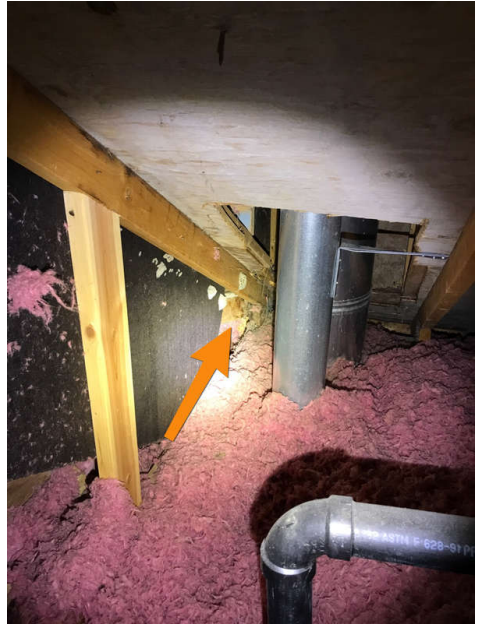
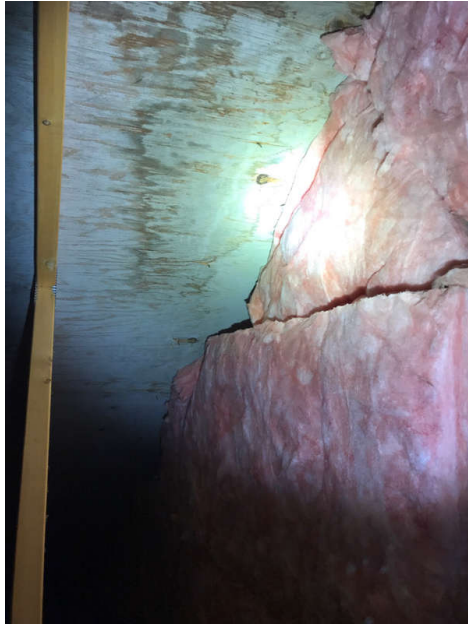
4.5.1 Ceiling Structure

 Recommend Repair

**EVIDENCE OF WATER INTRUSION**

Roofing structure showed signs of water intrusion, which could lead to more serious structural damage. This does not appear to be an active roof leak and there was no sign of moisture at time of inspection. Recommend a qualified contractor identify source or moisture and remedy.

Recommendation  
Contact a qualified roofing professional.



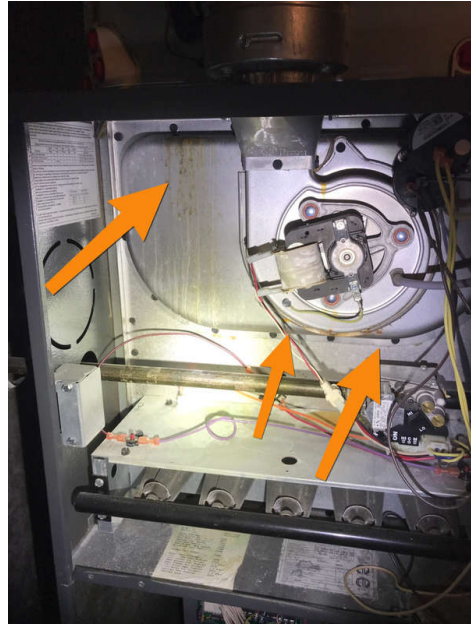
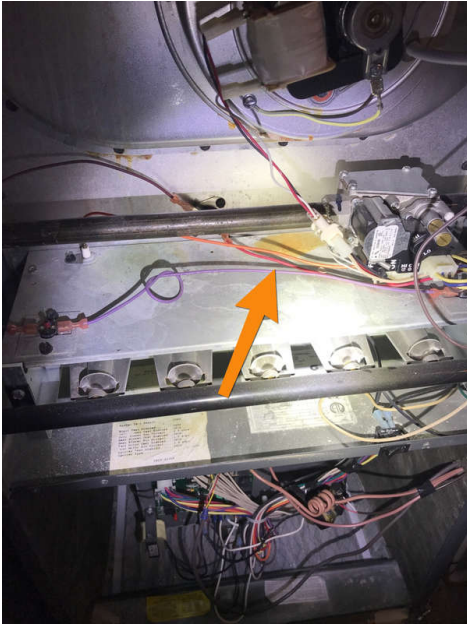
### 5.1.1 Equipment **CORROSION**

 Recommend Repair

Furnace had evidence of corrosion or previous water infiltration in one or more areas. This could be the result of a leak, which the source would need to be identified. Recommend a HVAC contractor evaluate and repair.

Recommendation  
Contact a qualified HVAC professional.





5.1.2 Equipment

**NEEDS SERVICING/CLEANING**

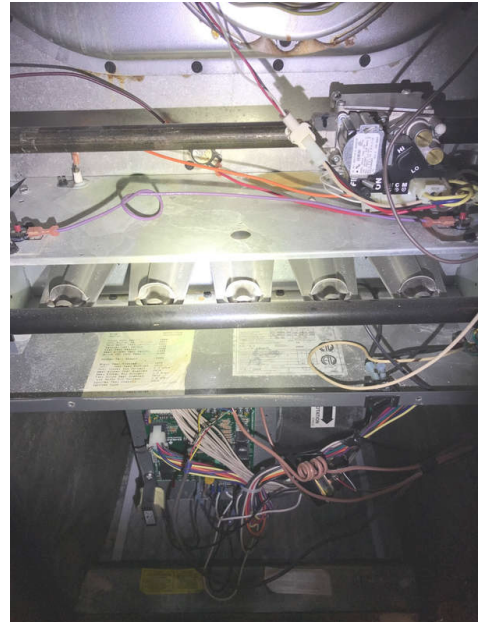
 Recommend Repair

Furnace and AC should be cleaned and serviced annually. Recommend a qualified HVAC contractor clean, service and certify both the furnace and AC Unit.

[Here is a resource](#) on the importance of furnace maintenance.

Recommendation

Contact a qualified HVAC professional.



7.1.1 Main Water Shut-off Device

**ACTIVE WATER LEAK**

BASEMENT UTILITY ROOM

 Recommend Repair

Active water leak at water meter and main water shutoff. Recommend repair by licensed plumber.

Recommendation

Contact a qualified plumbing contractor.



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8.2.1 Main & Subpanels, Service & Grounding,  
Main Overcurrent Device

**DOOR STICKS**

GARAGE

Electrical Dead Front Cover Door sticks when trying to open. Recommend having door repaired or replaced for ease of access in case emergency shutdown of electricity is required.

Recommendation

Contact a qualified electrical contractor.

 Safety Hazard



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8.6.1 Smoke Detectors

**PAST LIFE EXPECTANCY**

ALL DETECTORS

Fire detectors should be replaced every 10 years. Detectors appears to be past its life cycle expectancy. Recommend replacing.

Recommendation

Contact a handyman or DIY project

 Safety Hazard



### 8.7.1 Carbon Monoxide Detectors

#### **MISSING CO DETECTOR**



No Carbon Monoxide detector found. A carbon-monoxide detector should be installed on every level with bedrooms and within 15 feet of those bedrooms.

Recommendation

Contact a qualified professional.

### 9.3.1 Exhaust Systems

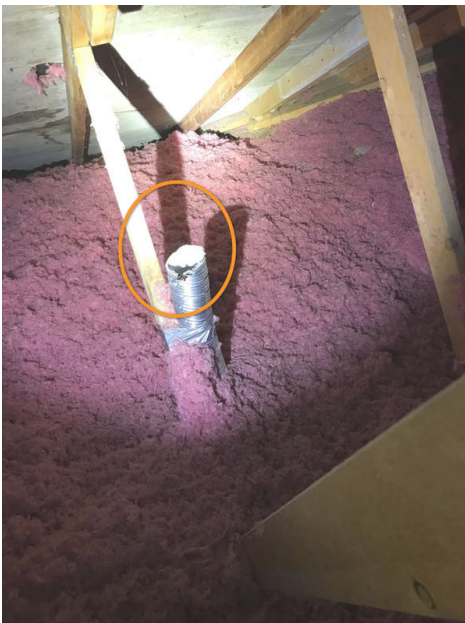
#### **BATHROOM VENTS INTO ATTIC**



Bathroom fan vents into the attic, which can cause moisture and mold. Recommend a qualified attic contractor properly install exhaust fan to terminate to the exterior or near a roof vent. Possible mold found on vent cover. Consider air quality testing in attic space to ensure there is no mold contamination.

Recommendation

Contact a qualified HVAC professional.





10.5.1 Ceilings

**ACTIVE WATER LEAK IN CEILING**

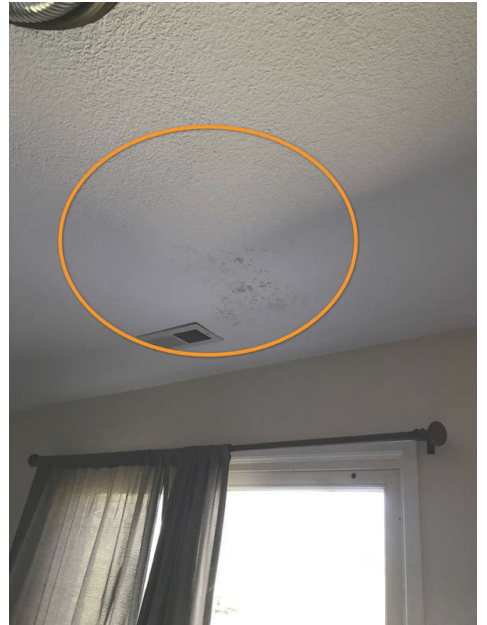
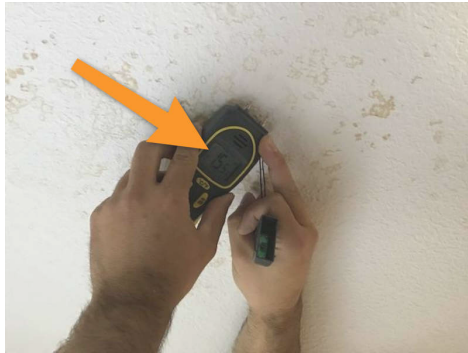
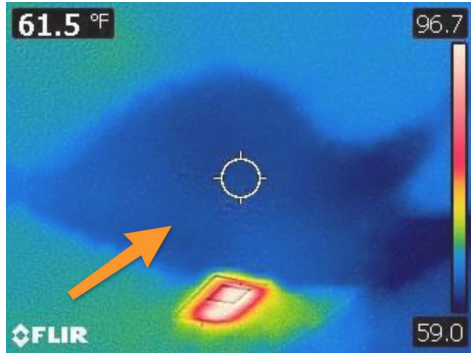
 Recommend Repair

BASEMENT FAMILY ROOM

Evidence of an active water leak in the basement ceiling. There is water staining, variation in temperature change on IR, and high levels of moisture (15%) noted on moisture detector. Recommend further evaluation and repair by licensed plumber and drywall contractor to identify source, repair leak, mitigate any mold growth, and repair ceiling.

Recommendation

Contact a qualified professional.



12.5.1 Garage Door Opener

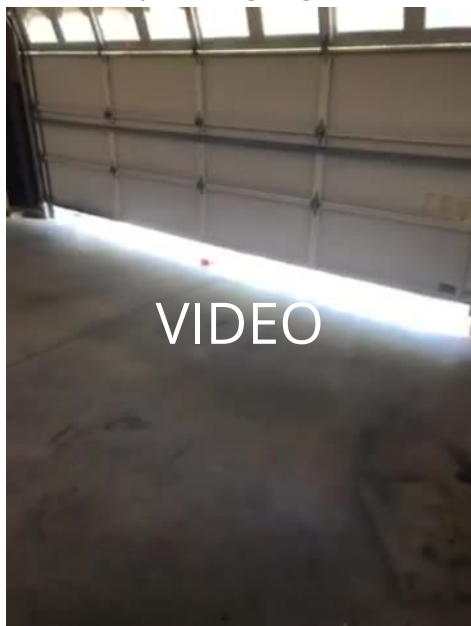
**MISSING SAFETY FEATURES ON GARAGE DOOR**

 Safety Hazard

Garage door did not reverse when 1 1/2 block is placed under it during closing. This is a required safety feature. Recommend repair by garage door contractor.

Recommendation

Contact a qualified garage door contractor.



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12.6.1 Occupant Door (From garage to inside of home)

**NOT SELF-CLOSING**



Door from garage to home should have self-closing hinges to help prevent spread of a fire to living space. Recommend a qualified contractor install self-closing hinges.

[DIY Resource Link.](#)

Recommendation

Contact a qualified door repair/installation contractor.

