



The complete report may include additional information of concern. It is recommended that you read the complete report. The entire Inspection Report, including the InterNACHI Standards of Practice, limitations and scope of Inspection, and Pre-Inspection Agreement must be carefully read to fully assess the findings of the inspection. It is strongly recommended that you have appropriately licensed contractors evaluate each concern listed in the report further, along with the entire system, for additional concerns that may be outside our area of expertise or the scope of our inspection before the close of escrow. Please call us, 270-734-3845, for any clarifications or further questions.

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2.1.1 Coverings

NAILS EXPOSED / RAISED SHINGLES

**MINOR CONCERN**

There were some locations where the nails have either pushed up or were face nailed and they needed to be sealed. There are a couple of different options out there. [Here is an example](#). If neglected, they could develop into a leak or blown off shingle. Any observed leaks will be noted elsewhere.

Recommendation
Contact a qualified handyman.



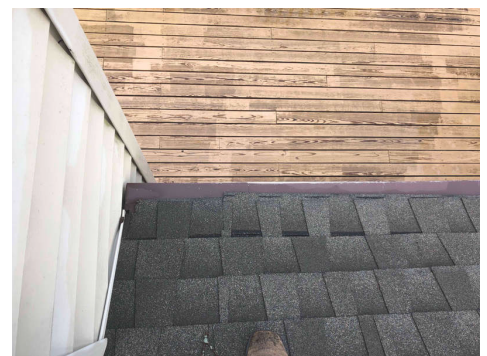
2.1.2 Coverings

LOOSE / MISSING

**MINOR CONCERN**

One or more of the shingles were loose or missing. This will allow for moisture intrusion. This will also increase the likelihood of additional wind damage. The cause may or may not be related to poorly bonded shingles, age, or improperly nailed shingles. Further review of the entire roof is recommend for this reason. Repairs, depending on location and other factors, are not typically hard to accomplish.

Recommendation
Contact a qualified roofing professional.



Back

2.1.3 Coverings

TREE BRANCHES - NO DAMAGE



MINOR CONCERN

Be sure to keep the tree branches trimmed back to prevent damage to the roof.

Recommendation

Contact a handyman or DIY project



2.1.4 Coverings

POSSIBLE ICE DAMMING



MINOR CONCERN

The wide flashing here could allow for ice damming. It's designs to eliminate the need for a gutter here but ice damming could occur.

Recommendation

Recommend monitoring.



Front

2.6.1 Chimney

METAL CHIMNEY CAP



MINOR CONCERN

The cap was damaged or in need of maintenance. Recommend further review and repair to mitigate the risk of pest intrusion.

Recommendation

Contact a qualified chimney contractor.



3.1.1 Siding, Flashing & Trim

SIDING - CLOSE TO GROUND

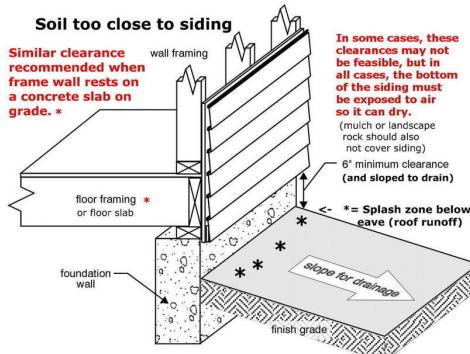
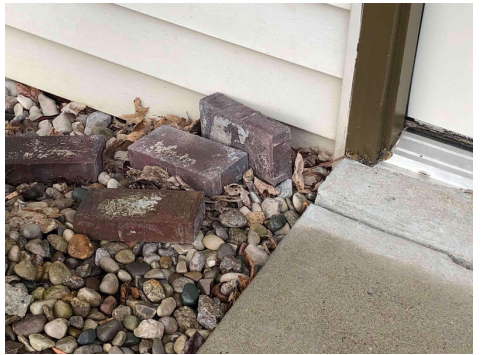


MINOR CONCERN

There should be a gap between the siding and the soil/ground. There is a risk of moisture wicking as well as a pathway for wood destroying insects.

Recommendation

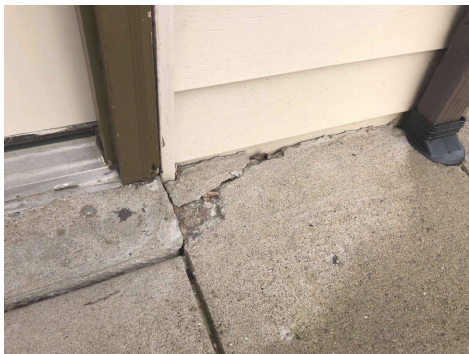
Contact a qualified professional.



3.1.2 Siding, Flashing & Trim **CONCRETE CLEARANCE**

 **MINOR CONCERN**

There should be a gap between the siding and the concrete and flashing. No major concerns observed but moisture could get trapped between or behind.



3.1.3 Siding, Flashing & Trim **FAILING PAINT**

 **MINOR CONCERN**

The paint was damaged or failing and preventative measures are needed to mitigate further damage to the siding. Recommend further by a paint or siding contractor for repair costs and options.

Recommendation
Contact a qualified professional.



3.3.1 Vegetation, Grading, & Drainage

NEGATIVE GRADING

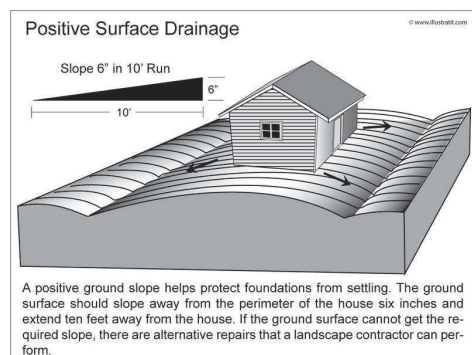
 MODERATE CONCERN

Grading is sloping towards the home in some areas. This could lead to water intrusion and foundation issues. Recommend qualified landscaper or foundation contractor regrade so water flows away from home.

[Here is a helpful article](#) discussing negative grading.

Recommendation

Contact a qualified landscaping contractor

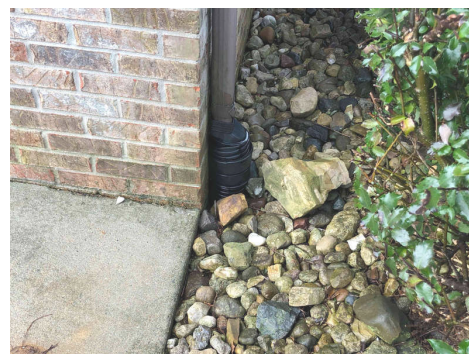


3.3.2 Vegetation, Grading, & Drainage

DOWNSPOUTS - BURIED

 MINOR CONCERN

Buried downspouts are not recommended because they can become detached without the homeowners knowledge. That situation would lead to water against the foundation and potential problems.



3.3.3 Vegetation, Grading, & Drainage

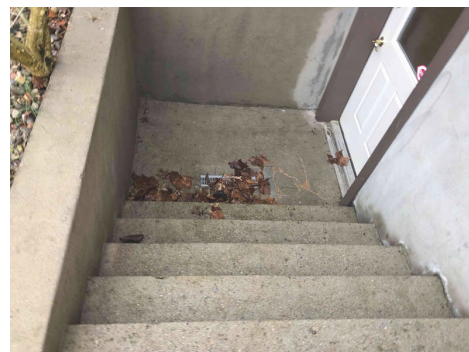
EXTERIOR DRAIN CLOGGED

 MINOR CONCERN

The exterior drain appeared to be clogged or at the risk of. Recommend clearing out as needed.

Recommendation

Recommended DIY Project



Back Basement

3.4.1 Gas, Water, & Electric

NOT ATTACHED

The wall hydrant was not attached to the wall.

Recommendation

Contact a qualified handyman.



3.4.2 Gas, Water, & Electric

WATER PRESSURE - HIGH

The water pressure inside the residence exceeds 80 psi and the regulator should be adjusted so that the static pressure is between 60 and 75 psi. However, it may be that the regulator has failed, or is failing, or not present and the pressure cannot be reduced, in which case the regulator should be replaced or installed by a qualified plumber.

Recommendation

Contact a qualified plumbing contractor.



3.4.3 Gas, Water, & Electric

EXPOSED WIRES

Exposed wires are subject to damage and should be protected and or bury/exterior rated material.

Recommendation

Contact a qualified electrical contractor.



Front

3.5.1 Exterior Doors

JAMB - MOISTURE DAMAGE

MULTIPLE

Some moisture induced degradation was noted at one or more exterior jambs and door. Though this is typical, attempts to prevent furthering and repair damage should be considered. [Here is some more information that may be useful.](#)

Recommendation

Contact a qualified handyman.





3.5.2 Exterior Doors

DOOR GLASS HAZING - FAILED SEAL

BASEMENT SOUTH

The sliding glass door had double-pane glazing in which condensation was visible. This indicates a loss of thermal integrity. The door should be repaired or replaced as necessary by a qualified contractor. Replacement is more typical.

Recommendation

Contact a qualified door repair/installation contractor.



3.5.3 Exterior Doors

MOISTURE INTRUSION

BACK

There was evidence of moisture intrusion under the or thru the exterior door.

Recommendation

Contact a handyman or DIY project



3.6.1 Windows

WINDOW WELL NEEDED

A window well should be installed and the grading should be improved so that water is going away from the foundation.

Recommendation

Contact a handyman or DIY project





3.7.1 Driveways & Walkways

SURFACE DAMAGE

 MODERATE CONCERN

Deterioration noted at the driveway caused either by poor finishing practices or salt/brine. Some continuation is possible.

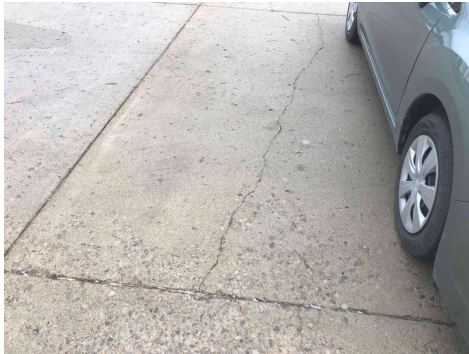


3.7.2 Driveways & Walkways

TYPICAL CRACKING

 MINOR CONCERN

Some typical cracking observed. No significant deficiencies were observed.



3.7.3 Driveways & Walkways

DAMAGE

 MINOR CONCERN

There was some damage noted at the drive/sidewalk. Some continuation is probable. This appeared to be rebar too close to the surface.



3.8.1 Decks & Balconies

RIM JOIST MISSING LAG BOLTS



MODERATE CONCERN

SAFETY The rim joist on the deck should be bolted to the post. Or the post should be notched. Failure is possible and the deck could collapse. Repair is needed.

Recommendation

Contact a qualified deck contractor.



3.8.2 Decks & Balconies

JOIST HANGERS - MISSING



MODERATE CONCERN

Joist hanger(s) are missing or improperly installed. This could cause the deck structure to fail. Recommend that joist hangers be properly installed by qualified contractor.

Recommendation

Contact a qualified deck contractor.



3.8.3 Decks & Balconies

SPINDLES MISSING/DAMAGE



MODERATE CONCERN

SAFETY Spindles were damaged, missing, or loose in one or more locations. Fall hazards exist as well as other concerns. Recommend further review and repair.

Recommendation

Contact a qualified deck contractor.



3.8.4 Decks & Balconies

LEDGER BOARD IMPROPERLY INSTALLED



MODERATE CONCERN

SAFETY The ledger board did not appear to be adequately attached to the building. This can cause the deck to pull away from the building and possibly collapse. Recommend that the deck and/or ledger board be properly attached by qualified contractor. [Here is an article explaining how a ledger board should be installed.](#)

Recommendation

Contact a qualified deck contractor.



3.10.1 Stairs

STAIRS - GROUND CONTACT



MINOR CONCERN

Stringers should not be resting on the ground. They are not rated for ground contact. Monitor. Repair as needed.

Recommendation

Contact a qualified deck contractor.



3.10.2 Stairs

STAIRS - HANDRAIL MISSING



MINOR CONCERN

SAFETY There should be a handrail installed that allows for one handed grasping. This helps minimize the fall hazard. This handrail is too low.

Recommendation

Contact a handyman or DIY project



3.10.3 Stairs

STAIRS - RISERS



MINOR CONCERN

SAFETY There were no risers installed. Risers are recommended because of the potential fall hazard.

Recommendation

Contact a handyman or DIY project



3.11.1 Masonry

GAPS - WINDOWS/DOORS

 MODERATE CONCERN

Any gaps around windows or doors should be sealed to mitigate moisture intrusion. Moisture intrusion between the masonry and framing could cause damage to the framing that would be difficult to observed. Recommend making corrections as needed.

Recommendation

Contact a handyman or DIY project



3.11.2 Masonry

WEEP HOLES

 MINOR CONCERN

No means was provided for ventilating the air space behind the brick (weep holes). Good building practice requires ventilating the air space behind the brick to help prevent moisture problems.

Under certain circumstances, this condition can create moisture problems resulting from condensation and excessive moisture levels in wall assembly materials. This condition may also trap any moisture which finds its way into this space from roof or plumbing leaks. Excessive moisture levels in wall materials can also encourage the growth of microbes such as mold fungi.

There is not typically a way to correct this condition because it requires flashing that can not be installed after the fact. Recommend monitoring the area.



3.12.1 Foundation Perimeter

CMU CRACKING - MINOR

 MINOR CONCERN

Concrete Masonry Unit (CMU) foundation walls had minor stepped cracking visible in mortar joints. Cracking was normal and there were no major concerns. Consider sealing gaps to prevent further damage. Monitor horizontal cracking for any widening and take additional measures if the gap increases.

Recommendation

Contact a handyman or DIY project



3.13.1 Fence / Retaining Wall

FALL HAZARD

 MINOR CONCERN

SAFETY There were fall hazards noted. Use caution and consider measures to mitigate the risk.



3.14.1 Vents

SCREEN



MINOR CONCERN

There should not be a screen installed on the dryer vent. Recommend making corrections.

Recommendation

Contact a handyman or DIY project



4.2.1 Windows

E-COATING



MODERATE CONCERN

MASTER BATHROOM

There were some slight signs of damage to the E-coating between the panes. This is an early sign of loss off seal. Recommend budgeting for replacement.

Recommendation

Contact a qualified window repair/installation contractor.



4.2.2 Windows

HARDWARE - MISSING/DAMAGED



MODERATE CONCERN

NORTHEAST BEDROOM 1ST FLOOR

Some of the windows had damaged or missing hardware. Repair as needed.

Recommendation

Contact a qualified window repair/installation contractor.



4.2.3 Windows

HARDWARE - MISSING/DAMAGED



MODERATE CONCERN

SOUTHEAST 1ST FLOOR

Some of the windows had damaged or missing hardware. Repair as needed.

Recommendation
Contact a qualified window repair/installation contractor.



4.2.4 Windows
SAFETY GLASS NEEDED

 MODERATE CONCERN

SAFETY Safety glass is recommended for windows that are located close to the ground or within a shower stall/tub. I could not identify any indication that this was safety glass. Recommend making improvements for safety reasons.

Recommendation
Contact a qualified window repair/installation contractor.

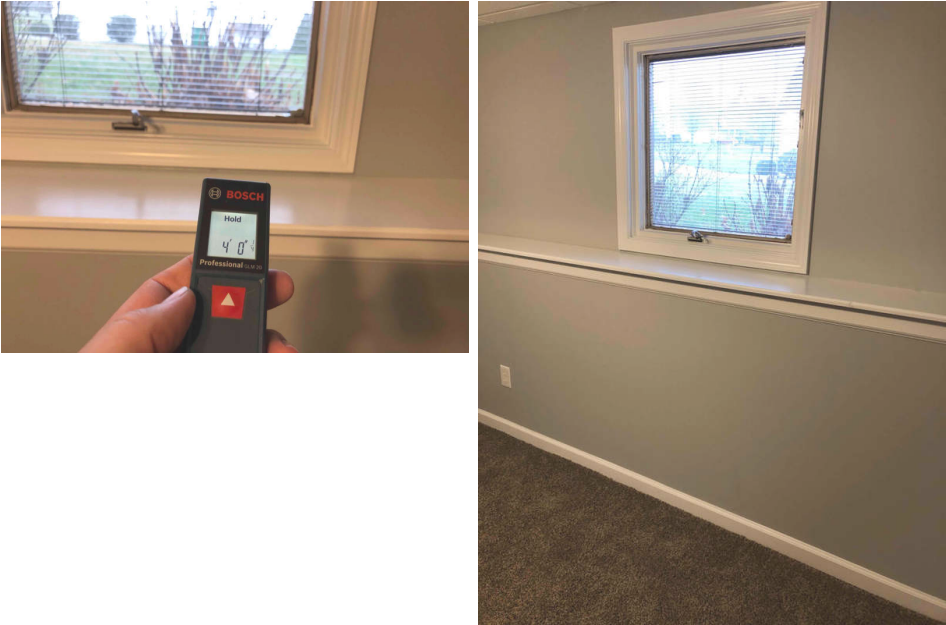


4.2.5 Windows
WINDOW EGRESS

 MINOR CONCERN

SAFETY Window did not meet currently accepted guidelines for egress. Commonly observed in older homes. Recommend understanding the limitations.

Recommendation
Contact a qualified window repair/installation contractor.



4.2.6 Windows

WOOD ROT NOTED

NORTHWEST BEDROOM 1ST FLOOR

There was rot noted at one or more of the windows. Further damage will occur without correction.

Recommendation

Contact a qualified professional.



MODERATE CONCERN



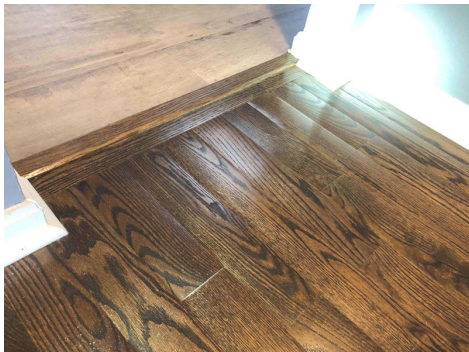
4.3.1 Floors

MOISTURE DAMAGE

Floors had areas of visible moisture damage. It appeared to be dry and from a previous event.



MINOR CONCERN



Dining Room

4.6.1 Steps, Stairways & Railings

BALUSTER SPACES TOO WIDE

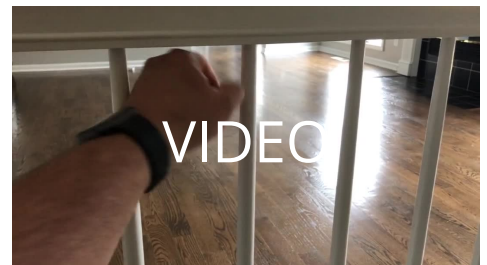


MINOR CONCERN

SAFETY The baluster space is not up to modern safety standards. The space between balusters should not allow passage of a 4 3/8-inch sphere for child safety. Recommend making improvements to mitigate fall risks.

Recommendation

Contact a qualified handyman.



4.6.2 Steps, Stairways & Railings

HANDRAIL - TURN TOWARDS WALL



MINOR CONCERN

SAFETY Hand rails should turn towards the wall to mitigate the fall risk.

Recommendation

Contact a qualified handyman.



5.1.1 Foundation

EVIDENCE OF PREVIOUS REPAIRS



MINOR CONCERN

There was evidence of previous repairs noted to the foundation. Possible moisture intrusion. No leaks observed.

Recommendation
Recommend monitoring.



5.2.1 Posts, Piers, & Beams
POSTS - NOT SECURED

 MINOR CONCERN

Posts should be secured to the girder and/or the floor. This would minimize the risk of failure during a seismic event or keep the girder from rotating.

Recommendation
Contact a qualified handyman.



5.4.1 Floor, Sill, Rim Joist
MICROBIAL GROWTH - NO ELEVATED MOISTURE

 MODERATE CONCERN

The floor joists showed evidence of microbial growth. No elevated moisture levels were detected. Laboratory testing would be needed to confirm.

Recommendation
Contact a qualified professional.



6.1.1 Outside Unit
VEGETATION TOO CLOSE

 MODERATE CONCERN

Vegetation was too close to the compressor, which can limit heat dissipation and limit effectiveness. Recommend cutting back vegetation to avoid overheating compressor.

Recommendation

Recommended DIY Project



6.1.2 Outside Unit

DISCONNECT RUSTED



MINOR CONCERN

The disconnect was rusted and correction is recommended.

Recommendation

Contact a qualified electrical contractor.



6.2.1 Inside Unit

CORROSION



MODERATE CONCERN

Furnace was corroded in one or more areas. This could be the result of improper venting, which the source would need to be identified. Recommend a HVAC contractor evaluate and repair.

Recommendation

Contact a qualified HVAC professional.



7.3.1 Water Supply

HANDLE MISSING/LOOSE



MODERATE CONCERN

BATHROOM

One of the handles was missing or loose. Repair.

Recommendation

Recommended DIY Project



7.4.1 Hot Water - Tank

T&P LEAK



MINOR CONCERN

The temperature and pressure relief valve showed signs of previous leaks. This is a sign of failure and the valve should be replaced.

Recommendation
Contact a qualified plumbing contractor.



7.6.1 Toilets

IMPROPER FLUSH

The toilet was not flushing correctly. Further review and repair is needed.

Recommendation
Contact a qualified plumbing contractor.

MODERATE CONCERN



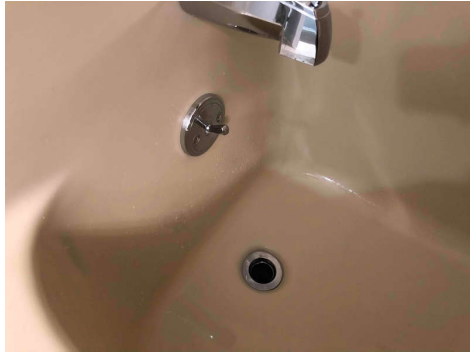
7.7.1 Tubs/Showers

STOPPER DAMAGED

The stopper was damaged or removed. Repair as needed.

Recommendation
Contact a qualified plumbing contractor.

MODERATE CONCERN



7.8.1 Sump Pump

SUMP PIT LID

 MODERATE CONCERN

SAFETY Sump pump lid should be secured or installed to mitigate potential drowning hazard.

Recommendation
Contact a handyman or DIY project



7.8.2 Sump Pump

NEEDS CLEANING

 MINOR CONCERN

Sump pump was excessively dirty and in need of cleaning/servicing.

Recommendation
Contact a qualified plumbing contractor.

7.8.3 Sump Pump

BACKUP FAILED

 MODERATE CONCERN

The back up pump was leaking and causing the system to operate more frequently.

Recommendation
Contact a qualified plumbing contractor.



8.1.1 Panels

NEUTRALS - SHARED TERMINAL



MINOR CONCERN

The neutrals and ground should not share the same terminal because it is important to keep the circuit grounded even when the neutral is disconnected. Neutrals should not share the same terminal. These conditions may have been acceptable when this panel was installed but they are now considered unsafe. Recommend making corrections.

Recommendation

Contact a qualified electrical contractor.



8.1.2 Panels

SCREWS MISSING OR WRONG TYPE



MODERATE CONCERN

SAFETY Sharp pointed screws were noted or screws were missing. Sharp pointed screws can potentially penetrate a wire. This is a safety hazard. Recommend replacing with the proper machine screw.

Recommendation

Contact a qualified electrical contractor.



8.2.1 Breakers / Fuses

NO PERMIT FOR NEW CIRCUITS

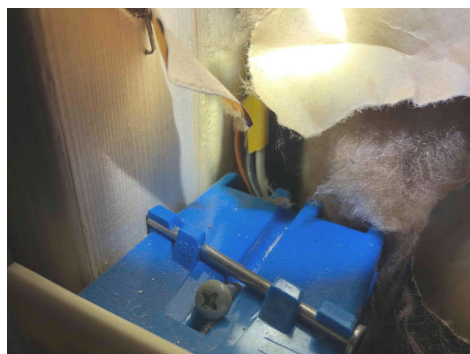


MODERATE CONCERN

There were a few circuits added but no additional inspection stickers noted. Consider further review.

Recommendation

Contact a qualified electrical contractor.



8.4.1 Receptacles & Switches

COVER PLATES MISSING



SAFETY One or more receptacles are missing a cover plate or the cover was damaged/loose. This causes short and shock risk. Recommend installing plates where needed.

Recommendation

Contact a handyman or DIY project



8.4.2 Receptacles & Switches

REVERSE POLARITY



One or more receptacles have been wired with reverse polarity. This can create a shock hazard. Recommend licensed electrician evaluate & repair.

Recommendation

Contact a qualified electrical contractor.



Southwest Basement

8.7.1 Smoke Detectors

SMOKE DETECTORS



SAFETY Recommend installing smoke detector batteries prior to moving in. Every bedroom should have a functioning smoke detector in addition to other areas. Here is some information on the current recommendations.

Recommendation

Recommended DIY Project

8.7.2 Smoke Detectors

OLDER SMOKE DETECTORS



It is recommended that smoke detectors be changed every 10 years.

Recommendation

Contact a handyman or DIY project



8.8.1 Carbon Monoxide Detectors

NONE OBSERVED



MODERATE CONCERN

SAFETY Anytime there are gas burning appliances installed there should be multiple CO monitors installed. Homes with attached garages fall under the same recommendations.

Recommendation

Contact a handyman or DIY project

9.2.1 Attic Insulation

BATT INSULATION - NOT ENCAPSULATED



MODERATE CONCERN

Insulation is diminished in R-value when installed vertically and not encapsulated. Convection impedes its ability to insulate. Consider encapsulating to increase efficiency.

Recommendation

Contact a qualified insulation contractor.



9.2.2 Attic Insulation

INSULATION - GAPS



MINOR CONCERN

There were gaps noted in the insulation. This can enable energy loss and make some areas more difficult to regulate.

Recommendation

Contact a qualified insulation contractor.



9.5.1 Attic/Structure

FACIA DAMAGE/STAINS NOTED

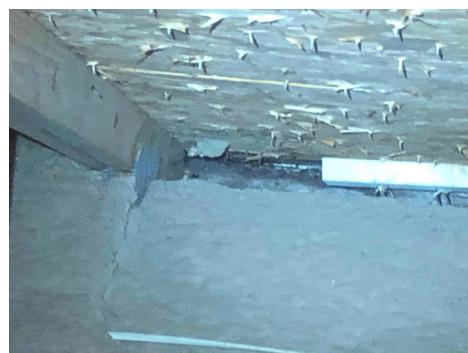


MODERATE CONCERN

There was some staining/damage noted at the fascia. Cause not determined. Further review recommended.

Recommendation

Contact a qualified professional.



Front

9.6.1 Leaks

PREVIOUS LEAKS

MULTIPLE



MINOR CONCERN

There was some water staining indicating previous water leaks. Previous leaks around plumbing boots.

Recommendation
Recommend monitoring.



9.6.2 Leaks

PREVIOUS LEAKS

ATTIC KITCHEN

There was some water staining indicating previous water leaks. This could have been the source for the moisture damage at the kitchen floor. No active leaks observed.

Recommendation
Recommend monitoring.



MINOR CONCERN



10.1.1 Countertops & Cabinets

CABINET SCREWS

One or more cabinet screws are missing or the wrong type of screws were used. Recommend further review and installing as needed. Drywall screws are tapered and can pull thru the cabinet. Truss head screws should be used.

Recommendation
Contact a handyman or DIY project



MINOR CONCERN



10.1.2 Countertops & Cabinets

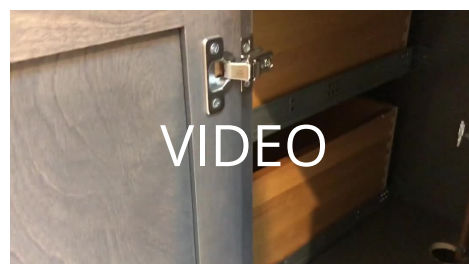
HINGES/HANDLES LOOSE

One or more of the hinges or handles were loose. Recommend taking measures to correct.

Recommendation
Contact a handyman or DIY project



MINOR CONCERN



NOT SELF-CLOSING



SAFETY Door from garage to home should have self-closing hinges to help prevent spread of a fire to living space. Most homes dont have them around here but its a good update to make.

[DIY Resource Link.](#)

Recommendation

Contact a handyman or DIY project
