



SUMMARY
 1234 Main St. Leominster Ma 01453
 Buyer Name
 02/15/2018 9:00AM

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2.1.1 Siding, Flashing & Trim

WINDOW TRIMS NOT PROPERLY SEALED

 Recommendation

WIDESPREAD

Seams that may allow moisture intrusion should be properly sealed.

Recommendation
 Contact a qualified professional.



2.1.2 Siding, Flashing & Trim

CRACKS

 Recommendation

Several cracks and loose material was observed on parged areas of the foundation.

Recommendation
 Contact a qualified professional.



2.1.3 Siding, Flashing & Trim

MISSING FLASHING

 Recommendation

Inspector was not able to verify the presence of flashing at the left side entry where the landing is attached to the house. A lack of flashing can lead to moisture intrusion and wood rot and should be corrected. Further investigation recommended.

Recommendation
 Contact a qualified professional.

2.3.1 Decks, Balconies, Porches & Steps

DECK

 Recommendation

Improper support and corroded fasteners were noted. Correction by licensed contractor is recommended.

Recommendation
Contact a qualified professional.



2.3.2 Decks, Balconies, Porches & Steps

IMPROPERLY SECURED BALUSTERS

 Safety Hazard

The balusters at the left side stairs with landing were not properly secured and represent a safety hazard.

Recommendation
Contact a qualified professional.



2.3.3 Decks, Balconies, Porches & Steps

POOR ATTACHMENT

 Safety Hazard

The steps were poorly attached to the landing and should be properly secured.

Recommendation
Contact a qualified professional.



2.3.4 Decks, Balconies, Porches & Steps

UNSAFE STAIRS

 Recommendation

Consider adding a handrail to the rear landscaped stairs for safety.

Recommendation
Contact a qualified professional.



2.5.1 Vegetation, Grading, Drainage & Retaining Walls

Recommendation

NEGATIVE GRADING

RIGHT REAR CORNER

Grading is sloping towards the home in some areas. This could lead to water intrusion and foundation issues. Recommend qualified landscaper or foundation contractor regrade so water flows away from home.

[Here is a helpful article](#) discussing negative grading.

Recommendation

Contact a qualified professional.



2.5.2 Vegetation, Grading, Drainage & Retaining Walls

FOUNDATION PLANTINGS OVERGROWN

Recommendation

Vegetation was in contact with the structure and should be trimmed back.

Recommendation

Contact a handyman or DIY project



2.5.3 Vegetation, Grading, Drainage & Retaining Walls

Recommendation

LEANING RETAINING WALL

ADJACENT TO DRIVEWAY

The retaining wall was leaning and in need of repair.

Recommendation

Contact a qualified professional.



2.7.1 Window Wells and Areaways

WINDOW NOT OPERABLE

 Recommendation

The right rear corner window was not operable.

Recommendation
Contact a qualified professional.



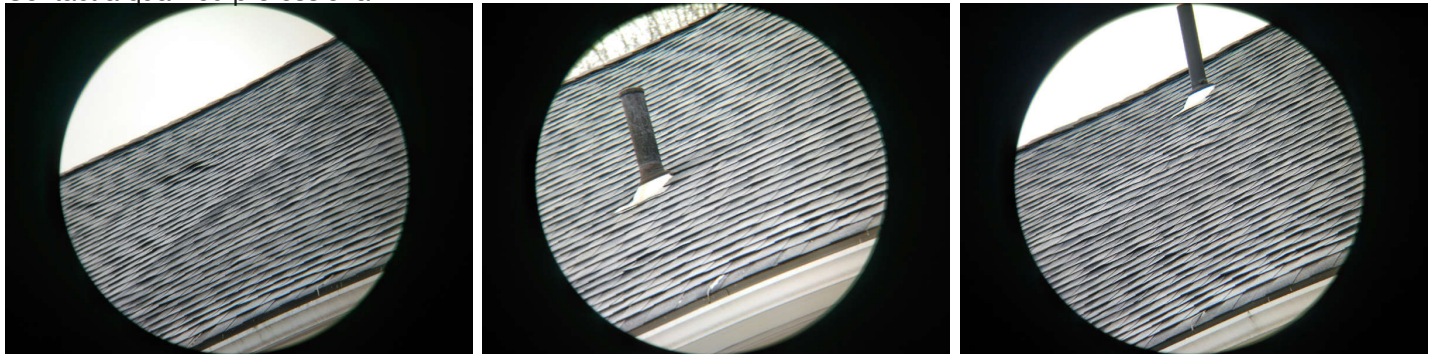
3.1.1 Coverings

CURLED SHINGLES AND RAISED AREAS

 Recommendation

Several areas at the left side roof plane exhibited curling shingles and lifted sections. Further investigation recommended.

Recommendation
Contact a qualified professional.



3.1.2 Coverings

MATERIAL AT THE END OF ITS LIFE

 Recommendation

The rolled roofing material over the front porch was in poor condition and appeared to be toward the end of its useful life.

Recommendation
Contact a qualified professional.



3.2.1 Roof Drainage Systems

DOWNSPOUTS DRAIN NEAR HOUSE



FRONT LEFT CORNER

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor adjust downspout extensions to drain at least 6 feet from the foundation.

[Here is a helpful DIY link](#) and video on draining water flow away from your house.

Recommendation

Contact a qualified professional.



3.2.2 Roof Drainage Systems

MECHANICAL DAMAGE



Apparent mechanical damage observed, possibly from past issues with ice. Damaged trim was also noted in this area.

Recommendation

Contact a qualified professional.



3.3.1 Flashings

ACTIVE MOISTURE INTRUSION



Active moisture intrusion was noted at the chimney penetration in the attic. This is likely a flashing issue but should be further investigated to determine the cause.

Recommendation

Contact a qualified professional.



Moisture meter showed elevated levels of moisture.

3.4.1 Skylights, Chimneys & Roof Penetrations

CHIMNEY CAP MISSING



No chimney cap was observed. This is important to protect from moisture intrusion and protect the chimney. Recommend a qualified roofer or chimney expert install.

Recommendation

Contact a qualified professional.

3.4.2 Skylights, Chimneys & Roof Penetrations

CHIMNEY EXTERIOR CRACKED

Recommendation

Small vertical cracks noted.

Recommendation

Contact a qualified professional.

3.4.4 Skylights, Chimneys & Roof Penetrations

NO CROWN

Recommendation

There did not appear to be a crown at the top of the chimney to properly shed water.

Recommendation

Contact a qualified professional.

4.1.1 Foundation, Basement & Crawlspaces

HEAVING/SETTLING

Recommendation

The left side garage floor had significant cracks and evidence of heaving/settling.

Recommendation

Contact a qualified professional.



4.1.2 Foundation, Basement & Crawlspaces

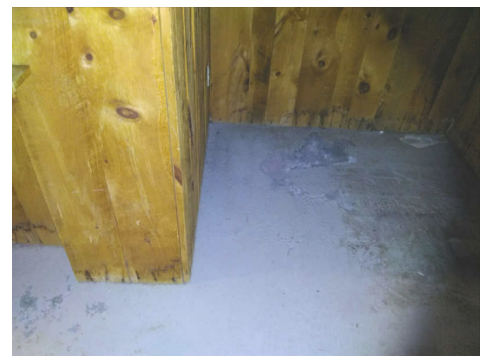
HISTORIC STAINING

Recommendation

Evidence of past moisture intrusion was apparent on several wood wall sections in the basement.

Recommendation

Recommend monitoring.



4.1.3 Foundation, Basement & Crawlspaces

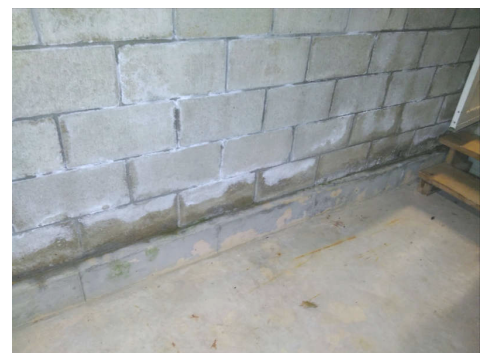
MOISTURE INTRUSION

Recommendation

Active moisture intrusion noted at the right rear corner.

Recommendation

Contact a qualified professional.



4.1.4 Foundation, Basement & Crawlspaces

SIGNIFICANT FOUNDATION CRACKS

Recommendation

Significant foundation cracks were noted in several areas. Further investigation by structural engineer is recommended.

Recommendation
Contact a qualified professional.



4.1.5 Foundation, Basement & Crawlspaces

UNDERCUT FOUNDATION

Recommendation

The lack of a proper footing was observed at the open sump pit in the basement.

Recommendation
Contact a qualified professional.



4.2.1 Floor Structure

CORRODED POST

Recommendation

Support post was severely corroded and should be replaced.

Recommendation
Contact a qualified professional.



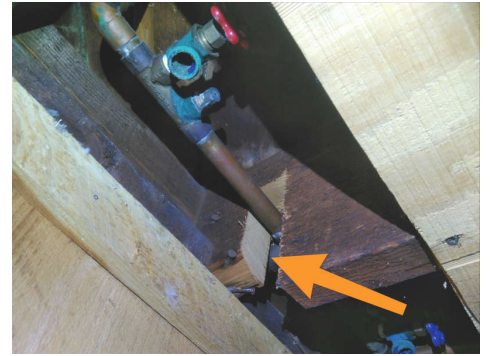
4.2.2 Floor Structure

NOTCHED JOIST

An excessively notched floor joist was noted.

Recommendation
Contact a qualified professional.

 Recommendation



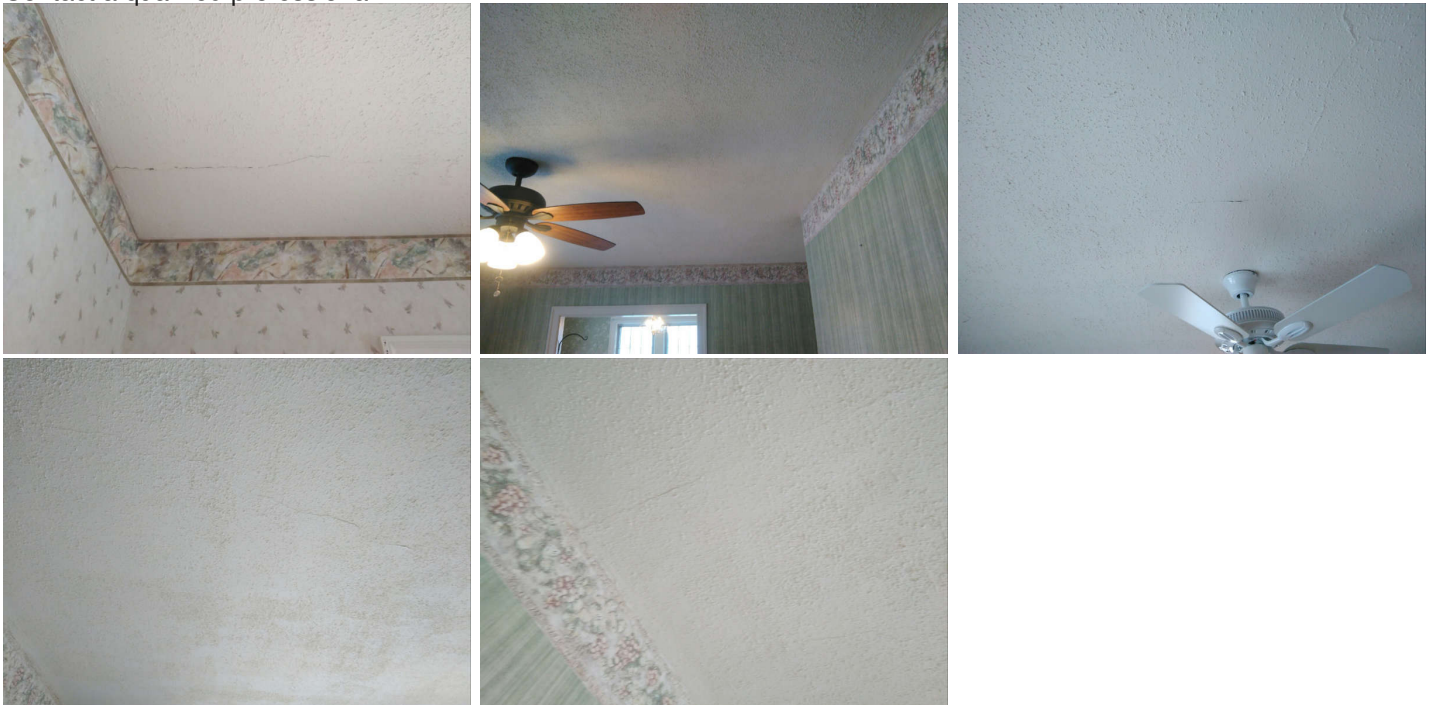
4.4.1 Ceiling Structure

SIGNIFICANT CRACKING

Many ceilings throughout the living space were significantly crack and some sagging was observed.

Recommendation
Contact a qualified professional.

 Recommendation



4.5.1 Roof Structure & Attic

WATER STAINING

Historic water stains were noted. Observe during rains to determine if any current leaks exist. The conditions at the time of inspection were not conducive to finding active roof leaks.

Recommendation
Recommend monitoring.

 Recommendation

5.1.1 Fixtures / Faucets

CORROSION

Corrosion noted at under sink plumbing.

 Recommendation

Recommendation
Contact a qualified professional.



5.1.2 Fixtures / Faucets

CRACKED COMPRESSION NUT

 Recommendation

Repair recommended to prevent a leak at the drain.

Recommendation
Contact a qualified professional.



5.1.3 Fixtures / Faucets

LOSE TOILET-TO-FLOOR CONNECTION

 Recommendation

The toilet was not bolted securely to the floor which can lead to leakage into the floor assembly.

Recommendation
Contact a qualified professional.

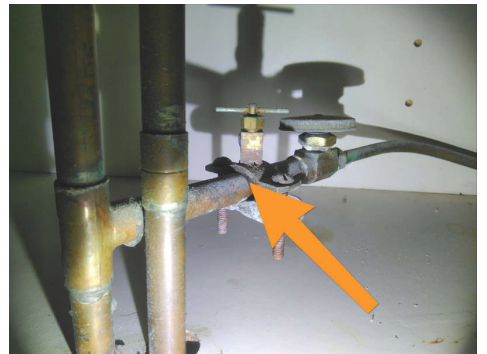
5.1.4 Fixtures / Faucets

SADDLE VALVE

 Recommendation

The presence of a saddle valve was noted underneath the kitchen sink. These valves are notorious for leaking, recommend removal.

Recommendation
Contact a qualified professional.



5.1.5 Fixtures / Faucets

SHOWER VALVE

 Recommendation

Minor leak noted when shower valve is operated. The tub drain stop in this location was also stuck in the closed position.

Recommendation
Contact a qualified professional.

5.2.1 Drain, Waste, & Vent Systems

IMPROPER CONFIGURATION

The laundry drain system was not properly configured and should be evaluated by licensed plumber for correction.

Recommendation
Contact a qualified professional.

 Recommendation



5.2.2 Drain, Waste, & Vent Systems

IMPROPER PITCH

BASEMENT

Improper pitch noted that a section of ABS drain pipe. The pipe was negatively and may not flow correctly.

Recommendation
Contact a qualified professional.

 Recommendation



5.2.3 Drain, Waste, & Vent Systems

MINOR LEAK

The laundry sink drain was leaking and should be repaired.

Recommendation
Contact a qualified professional.

 Recommendation

5.2.4 Drain, Waste, & Vent Systems

PITTING

BASEMENT

Pitting was observed at the cast iron drain pipe. Pitting is an indication that the pipe has corroded from the inside out and should be replaced.

Recommendation
Contact a qualified professional.

 Recommendation



5.4.1 Vents, Flues, & Chimneys

IMPROPERLY SEALED CLEANOUTS

There should be no open gaps in a chimney structure.

Recommendation
Contact a qualified professional.

 Recommendation



5.6.1 Fuel Storage & Distribution Systems

ABANDONED OIL TANK

Oil tanks no longer in use should be removed.

Recommendation

Contact a qualified professional.

 Recommendation

5.6.2 Fuel Storage & Distribution Systems

POSSIBLE GAS LEAK

A strong gas odor was observed at the exterior gas meter.

Recommendation

Contact your local utility company

 Safety Hazard

5.7.1 Miscellaneous

ACTIVE MOISTURE

An open sump with active moisture was observed in the basement. The source of the moisture was not readily apparent.

Recommendation

Recommend monitoring.

 Recommendation

5.7.2 Miscellaneous

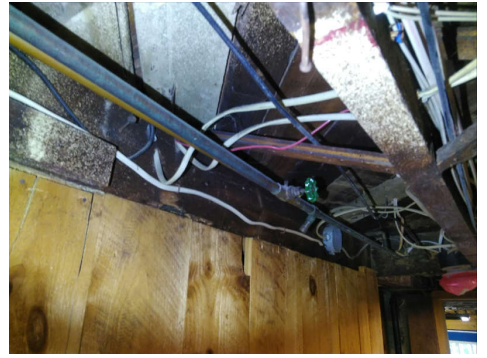
IMPROPER SUPPORTS

Sections of piping were not supported properly which can impose additional strain on the pipe and may cause premature failure.

Recommendation

Contact a qualified professional.

 Recommendation



5.7.3 Miscellaneous
MINOR LEAKS

 Recommendation

Several minor plumbing leaks and/or corrosion was observed, and should be repaired.

Recommendation
Contact a qualified professional.



5.7.4 Miscellaneous
PINHOLE LEAK

 Recommendation

A pinhole leak in a copper pipe was observed. Pinhole leaks should be repaired immediately to prevent a larger problem from occurring.

Recommendation
Contact a qualified professional.



6.2.1 Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels

 Safety Hazard

CORRODED GROUND

Grounding connections at the main water supply were corroded severely and should be replaced.

Recommendation
Contact a qualified professional.



6.2.2 Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels

 Recommendation

MAIN DISCONNECT

EXTERIOR AT THE METER BASE

Main disconnect was not accessible due to a padlock.

Recommendation
Contact a qualified professional.



6.5.1 Polarity and Grounding of Receptacles

OUTLET(S) NOT GROUNDED

 Recommendation

One or more three prong receptacle were not properly grounded and should be corrected. Further evaluation to determine scope of repair needed is recommended.

Recommendation
Contact a qualified professional.



6.9.1 Miscellaneous

ABANDONED WIRING

 Recommendation

BASEMENT

Apparent abandoned wiring noted in several areas. Abandon wiring should be properly terminated or removed.

Recommendation
Contact a qualified professional.

6.9.2 Miscellaneous

KNOB AND TUBE

 Safety Hazard

Several sections of improperly spliced knob and tube wiring were observed throughout the attic and basement spaces. Generally speaking, once knob and tube wiring is modified it is not considered safe and should be removed.

Recommendation
Contact a qualified professional.

6.9.3 Miscellaneous

OPEN JUNCTION BOXES

 Recommendation

Several open junction boxes were noted throughout the basement and attic. Junction boxes should be properly sealed.

Recommendation
Contact a qualified professional.



6.9.4 Miscellaneous

OPEN KNOCKOUT

 Recommendation

Knockouts at junction boxes should be sealed.

Recommendation
Contact a qualified professional.

7.1.1 Heating Equipment

LEAK

 Recommendation

The pressure temperature relief valve was leaking. The cause of the league should be investigated and repaired.

The relief valve was also not properly routed to the floor.

Recommendation
Contact a qualified professional.



7.1.2 Heating Equipment
LOW WATER PRESSURE

 Recommendation

According to the gauge on the front of the boiler if the water pressure was low and should be checked.

Recommendation
Contact a qualified professional.

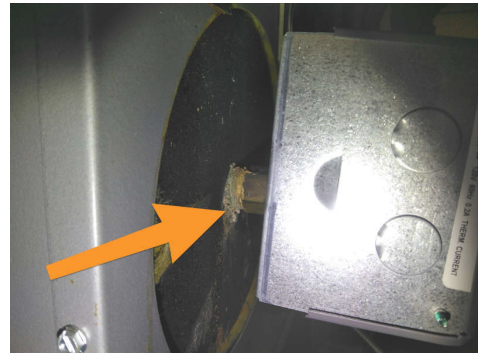


7.1.3 Heating Equipment
SEEPAGE

 Recommendation

Evidence of historic leakage was noted and should be repaired.

Recommendation
Contact a qualified professional.



7.1.4 Heating Equipment
SERVICE NEEDED

 Recommendation

Boiler was overdue for annual service.

Recommendation
Contact a qualified professional.

7.2.1 Distribution Systems
HEAT ZONES

 Recommendation

Two heat zones were not functional at the time of inspection. Further investigation recommended to determine the cause and make appropriate repairs.

Recommendation
Contact a qualified professional.

9.3.1 Floors

MINOR WATER DAMAGE

 Recommendation

Apparent water damage noted at right rear bedroom at right side wall. Monitor for future water intrusion. The source was not readily apparent.

Recommendation
Contact a qualified professional.



9.4.1 Steps, Stairways & Railings

MISSING HANDRAIL

 Safety Hazard

BASEMENT

Recommendation
Contact a qualified professional.

9.4.2 Steps, Stairways & Railings

TEMPORARY STEPS

 Safety Hazard

The steps into both garages were of a temporary nature and not securely fastened, which is a safety hazard.

Recommendation
Contact a qualified professional.

9.7.1 Windows

FAILED SEAL

 Recommendation

BEDROOM

Observed condensation between the window panes, which indicates a failed seal.

Recommendation
Contact a qualified professional.



9.7.2 Windows

FAILED THERMAL SEAL

 Recommendation

The large ornamental window at the rear of the home had an apparent failed thermal seal.

Recommendation
Contact a qualified professional.



11.3.1 Exhaust Systems

POOR CONFIGURATION

Recommendation

The exhaust venting system had long runs of tubing that were uninsulated and may not work as efficiently as designed.

Recommendation
Contact a qualified professional.



12.1.1 Fireplaces, Stoves & Inserts

CORROSION

Recommendation

The damper was corroded, though it was operable.

Recommendation
Contact a qualified professional.

12.1.2 Fireplaces, Stoves & Inserts

DIRTY

Recommendation

The smoke chamber was dirty. Recommend further evaluation by a chimney sweep.

Recommendation
Contact a qualified professional.

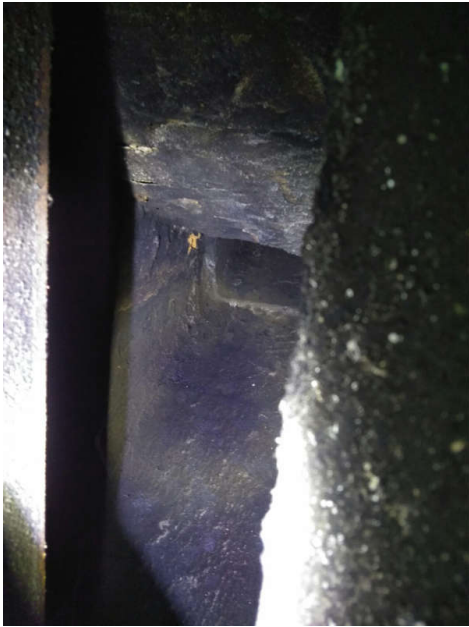
12.1.3 Fireplaces, Stoves & Inserts

LOOSE MASONRY

Safety Hazard

Loose masonry was noted in the smoke chamber and should be evaluated by a qualified mason. The fireplace should not be used until further evaluation has been performed.

Recommendation
Contact a qualified professional.



13.5.1 Fire safety
INADEQUATE



Open gaps, combustible materials, and an inadequate fire door we observed and should be corrected.

Recommendation
Contact a qualified professional.

