



The complete report may include additional information of concern. It is recommended that you read the complete report. The entire Inspection Report, including the InterNACHI Standards of Practice, limitations and scope of Inspection, and Pre-Inspection Agreement must be carefully read to fully assess the findings of the inspection. It is strongly recommended that you have appropriately licensed contractors evaluate each concern listed in the report further, along with the entire system, for additional concerns that may be outside our area of expertise or the scope of our inspection before the close of escrow. Please call us, 270-734-3845, for any clarifications or further questions.

This report is the property of the client for whom it was prepared. Any unauthorized use or sharing of this report can leave the client vulnerable to liability. This report should only be shared as it pertains to the purchase contract of the client. Should the client choose not to buy this house the seller does not have the right to share or distribute this report. The disclosure form for the property should be updated appropriately and the report discarded.

2.2.1 Roof Drainage Systems

DEBRIS

**MINOR CONCERN**

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow.

[Here is a DIY resource](#) for cleaning your gutters.

Recommendation

Contact a handyman or DIY project



2.6.1 Chimney

METAL CHIMNEY CAP

**MODERATE CONCERN**

The cap was damaged or in need of maintenance. Recommend further review and repair to mitigate the risk of pest intrusion.

Recommendation

Contact a qualified chimney contractor.



3.1.1 Siding, Flashing & Trim **GAPS / PENETRATIONS**

 **MINOR CONCERN**

There were one or more locations where gaps might allow for moisture intrusion. Recommend [sealing](#) any such gaps or installing flashing as needed.

Recommendation
Contact a handyman or DIY project



3.1.2 Siding, Flashing & Trim **SIDING - CLOSE TO GROUND**

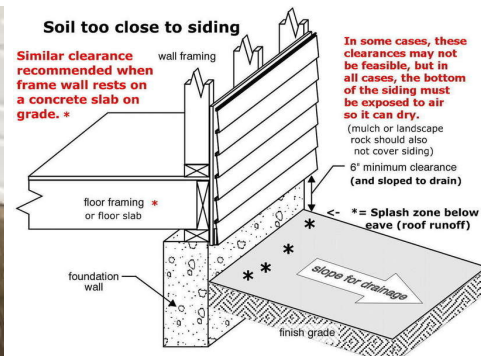
 **MODERATE CONCERN**

There should be a gap between the siding and the soil/ground. There is a risk of moisture wicking as well as a pathway for wood destroying insects. Repair.

Recommendation
Contact a qualified professional.



VIDEO



3.1.3 Siding, Flashing & Trim **CONCRETE CLEARANCE**



There should be a gap between the siding and the concrete and flashing. No major concerns observed but moisture could get trapped between or behind. Heavier rains may impact this area. This is also a potential spot for termite intrusion.



VIDEO

3.3.1 Vegetation, Grading, & Drainage **DOWNSPOUTS - DRAIN NEAR HOUSE**



One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor adjust downspout extensions to drain at least 6 feet from the foundation.

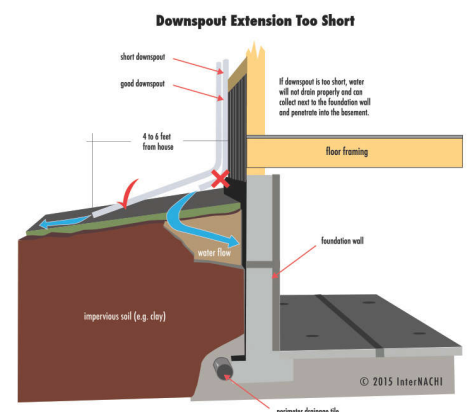
[Here is a helpful DIY link](#) and video on draining water flow away from your house.

Recommendation

Contact a handyman or DIY project



VIDEO



Recommend extending the downspouts further away from the foundation.

3.4.1 Gas, Water, & Electric

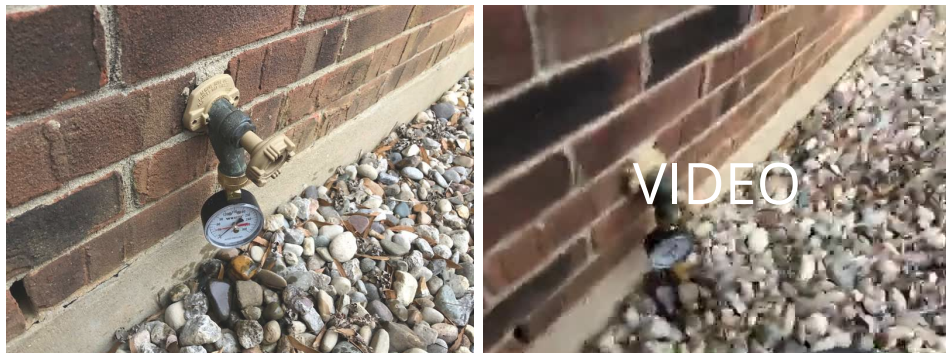
DAMAGED - IN WALL

 MAJOR CONCERN

The hydrant appeared to be damaged inside the wall this is typically caused by freezing. When operating water is dumping inside the wall and there will be no pressure. Replacement is needed. Recommend a frost proof wall hydrant like the one [found here](#). (This is rated major mainly because of the potential for damage. It most likely will not be terribly expensive to fix but it needs to be and may be somewhat difficult to access.)

Recommendation

Contact a qualified plumbing contractor.



3.4.2 Gas, Water, & Electric

GFCI - EXTERIOR/GARAGE

 MODERATE CONCERN

SAFETY All exterior/garage receptacles should be GFCI protected. Have an electrician update or repair.

Recommendation

Contact a qualified electrical contractor.



3.4.3 Gas, Water, & Electric

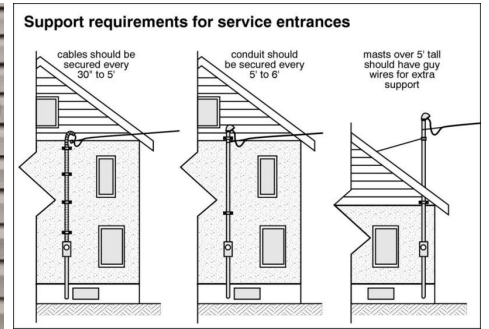
MAST OR METER NOT SECURED OR LOOSE

 MODERATE CONCERN

The service mast or meter appeared loose or inadequately secured. Further review and correction is needed to prevent failure.

Recommendation

Contact a qualified electrical contractor.



3.5.1 Exterior Doors

JAMB - MOISTURE DAMAGE

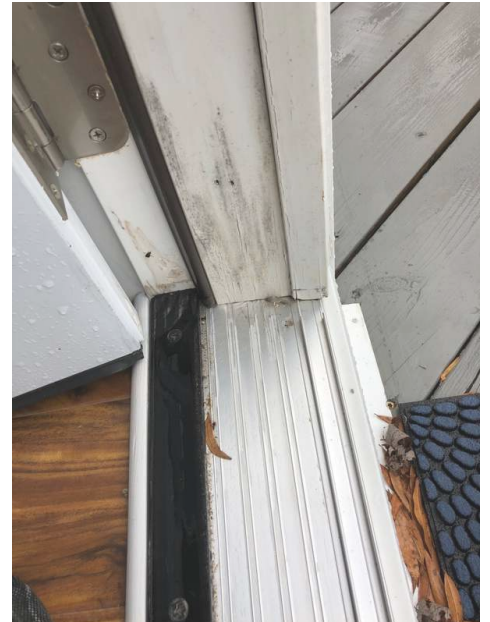


MINOR CONCERN

Some moisture induced degradation was noted at one or more exterior jambs and door. Though this is typical, attempts to prevent furthering should be considered. [Here is some more information that may be useful.](#)

Recommendation

Contact a qualified handyman.



3.7.1 Driveways & Walkways

CRACKING/SETTLING



MINOR CONCERN

Major cracks and/or settling observed. This may indicate inadequate soil prep or erosion. It may be a lack of reinforcing bar. Some trip hazards may exist.

Recommendation

Contact a qualified concrete contractor.



3.7.2 Driveways & Walkways

STANDING WATER



MINOR CONCERN

Standing water, or the potential for, was noted.

Recommendation

Contact a qualified landscaping contractor



3.8.1 Decks & Balconies

FLASHING IMPROPER



MODERATE CONCERN

Where the deck abuts the home should be flashed to keep moisture from penetrating the exterior wall. [Here is an article that explains how a ledger should be installed.](#) Sometimes it is difficult to assess if flashing exists.

Recommendation

Contact a qualified deck contractor.



3.8.2 Decks & Balconies

RIM JOIST MISSING LAG BOLTS



MODERATE CONCERN

SAFETY The rim joist on the deck should be bolted to the post. Or the post should be notched. Failure is possible and the deck could collapse. Repair is needed.

Recommendation

Contact a qualified deck contractor.



3.8.3 Decks & Balconies

JOIST HANGER - UNDERSIZED



MODERATE CONCERN



SAFETY Joist hangers are engineered connectors that will not work as intended if they are undersized or modified on site. If a particular span requires a 2x10 joist to carry the load, for example, then you have to use a 2x10 joist hanger; a smaller hanger doesn't have enough capacity. The reason they make larger hangers is that a larger hanger provides for more nails, which can support a larger load. The hanger also keeps the joist from rotating at the end, which helps to stiffen the floor. If the hanger is too short, it won't resist rotation as well as a taller hanger. All the nail holes need to be utilized and they are not.

Recommendation

Contact a qualified deck contractor.

3.8.4 Decks & Balconies

LEDGER BOARD IMPROPERLY INSTALLED

 MODERATE CONCERN

SAFETY The ledger board did not appear to be adequately attached to the building. This can cause the deck to pull away from the building and possibly collapse. Recommend that the deck and/or ledger board be properly attached by qualified contractor. [Here is an article explaining how a ledger board should be installed.](#)

Recommendation

Contact a qualified deck contractor.



3.8.5 Decks & Balconies

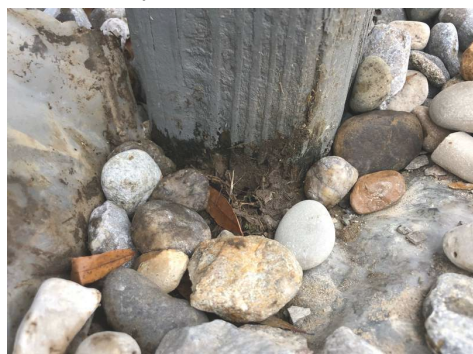
POST FOOTINGS

 MODERATE CONCERN

The covered deck was constructed using buried 4x4 posts. These posts are carrying a larger load and should ideally be resting on footers and piers. The posts are subject to degradation being buried. They may also not be rated for the load. Some slight damage was noted.

Recommendation

Contact a qualified deck contractor.



IMPROPER DECK CONSTRUCTION PRACTICES**MAJOR CONCERN**

Deck was observed to have general poor construction. One or more significant safety concerns exist. Recommend qualified deck contractor evaluate. (This is rated major because of the danger involved with a potential failure more so than the likelihood of failure. That, and there were several different issues. The conditions need further review and correction.)

Recommendation

Contact a qualified deck contractor.

3.10.1 Stairs

RAILING UNSAFE**MINOR CONCERN**

SAFETY There is an unsafe opening in the railing. The spacing on the rail should not exceed 4". An opening greater than 4" is a serious safety hazard especially for children as their head or other body part can become trapped.

Recommendation

Contact a qualified deck contractor.



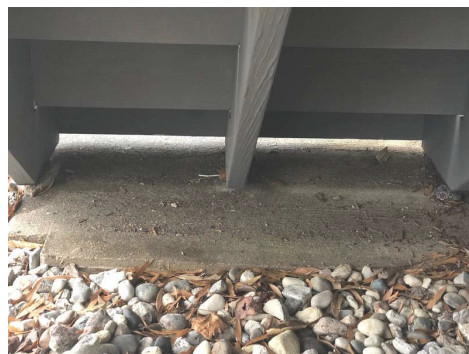
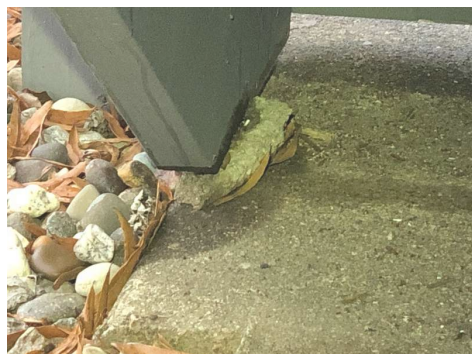
3.10.2 Stairs

IMPROPER BEARING**MODERATE CONCERN**

The steps should ideally be resting on something solid other than the rock shims. The heel of the stringer should be resting on something solid.

Recommendation

Contact a qualified handyman.



3.11.1 Masonry

GAPS - WINDOWS/DOORS**MODERATE CONCERN**

Any gaps around windows or doors should be sealed to mitigate moisture intrusion. Moisture intrusion between the masonry and framing could cause damage to the framing that would be difficult to observe. Recommend making corrections as needed.

Recommendation

Contact a handyman or DIY project



3.11.2 Masonry

SILL SLOPE INCORRECT

 MINOR CONCERN

There should be a 15 slope on the window sill and it should protruding least 1. The concern is moisture draining back towards the window and behind the brick wall. Monitor area and address condition as needed.

Recommendation
Recommend monitoring.



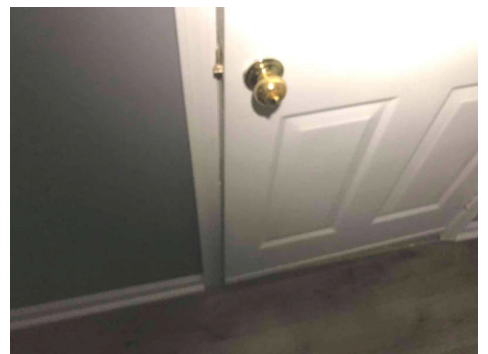
4.1.1 Doors

DOES NOT LATCH - MINOR

 MODERATE CONCERN

One or more of the doors did not latch properly. While this can be an indication of movement, it appeared to need a simple adjustment.

Recommendation
Contact a qualified handyman.



4.1.2 Doors

DOOR DRAGS

 MODERATE CONCERN

Door drags slightly, or worse. Recommend sanding down offending sides.

[Here is a helpful DIY article](#) on how to fix a sticking door.

Recommendation
Contact a handyman or DIY project



4.2.1 Windows

HAZING

 MODERATE CONCERN

One more of the windows had a damaged seal and condensation was noted in between the panes of glass. Recommend further review and correction.

Recommendation

Contact a qualified window repair/installation contractor.



4.3.1 Floors

WATER

 MODERATE CONCERN

There was water on the floor in the basement. It appeared to most likely be related to the damaged wall hydrant on the front wall. Further review and correction is needed.

Recommendation

Contact a qualified professional.



4.6.1 Steps, Stairways & Railings

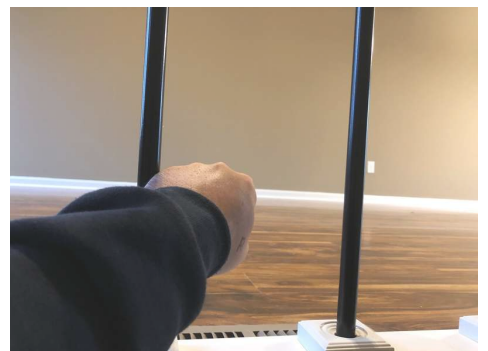
BALUSTER SPACES TOO WIDE

 MAJOR CONCERN

SAFETY The baluster space is not up to modern safety standards. The space between balusters should not allow passage of a 4 3/8-inch sphere for child safety. Recommend making improvements to mitigate fall risks. (This is major mainly because of the hazard posed to children.)

Recommendation

Contact a qualified handyman.



4.6.2 Steps, Stairways & Railings

HANDRAIL - TURN TOWARDS WALL



MINOR CONCERN

SAFETY Hand rails should turn towards the wall to mitigate the fall risk.

Recommendation

Contact a qualified handyman.



4.7.1 Countertops & Cabinets

ISLAND - NOT SECURED

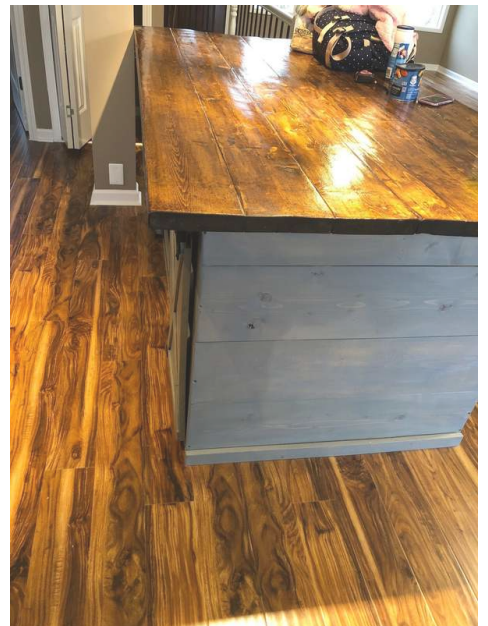


MODERATE CONCERN

SAFETY Island was loose and it presents a tip over hazard. Recommend securing.

Recommendation

Contact a qualified handyman.



4.7.2 Countertops & Cabinets

CABINET SCREWS



MINOR CONCERN

One or more cabinet screws are missing or the wrong type of screws were used. Recommend further review and installing as needed. Drywall screws are tapered and can pull thru the cabinet. Truss head screws should be used.

Recommendation

Contact a handyman or DIY project



5.2.1 Posts, Piers, & Beams

ADJUSTABLE STEEL POSTS



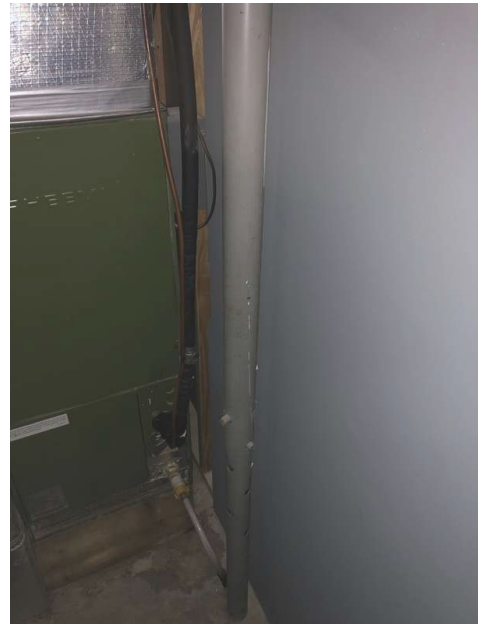
MODERATE CONCERN

Adjustable post are not typically rated for permanent use. Recommend further review by a qualified professional. [Here are some of the guidelines.](#)

They should also be secured to the girder and they are upside down.

Recommendation

Contact a qualified professional.



5.3.1 Basements

BASEMENT BEDROOM



MINOR CONCERN

"Bedrooms" without an egress window are not considered safe because they lack egress. There should be a second way to get out in case of a fire. These windows do not meet the requirements. [Here is some more information.](#)



5.3.2 Basements

FLOOR CRACKS



MINOR CONCERN

Typical cracking of floor noted. This is sometimes caused by lack of control joints and an insufficient amount of reinforcement. No major concern at this time.

Recommendation

Contact a qualified professional.



6.1.1 Outside Unit

FINS DAMAGED/DIRTY



MODERATE CONCERN

The fins were dirty or damaged. This may inhibit their ability to dissipate heat. Recommend further review by an HVAC professional.

Recommendation

Contact a qualified HVAC professional.



6.2.1 Inside Unit

CONDENSATE OVERFLOW SWITCH



MINOR CONCERN

Recommend installing a [condensate overflow switch](#). Otherwise, the condensation could backup and get the area wet. This is more problematic if the unit is in or above a finished area as the potential for damage is greater.

Recommendation

Contact a qualified HVAC professional.



6.2.2 Inside Unit

COIL - DIRTY



MODERATE CONCERN

The coil was dirty and needed to be cleaned at the time of the inspection. Air filters should be changed monthly while the air-conditioning system is in operation. Dirty coil can cause the following problems: - Reduced blower life due to dirt build-up on vanes, which increasing operating costs. - Reduced effectiveness of air filtration resulting in deterioration of indoor air quality. - Frost build-up on air-conditioner evaporator coils, resulting in reduced cooling efficiency and possible damage. - Reduced air flow through the home.

Recommendation

Contact a qualified HVAC professional.



6.2.3 Inside Unit

CONDENSATE TUBE DAMAGED



MINOR CONCERN

Condensate tube was improper because no trap was installed. This can allow air moving in and out of the air handler at this location.

Recommendation

Contact a qualified HVAC professional.



6.2.4 Inside Unit

NEEDS SERVICING/CLEANING



MODERATE CONCERN

Furnace should be cleaned and serviced annually. Recommend a qualified HVAC contractor clean, service and certify furnace.

[Here is a resource](#) on the importance of furnace maintenance.

Recommendation

Contact a qualified HVAC professional.



6.3.1 Filters

FILTER MISSING



MODERATE CONCERN

There was no filter observed. This can cause several different issues as follows.

Air filters should be changed monthly while the air-conditioning system is in operation. Dirty or missing air filters can cause the following problems:

- Reduced blower life due to dirt build-up on vanes, which increasing operating costs.
- Reduced effectiveness of air filtration resulting in deterioration of indoor air quality.
- Increased resistance resulting in the filter being sucked into the blower. This condition can be a potential fire hazard.
- Frost build-up on air-conditioner evaporator coils, resulting in reduced cooling efficiency and possible damage.
- Reduced air flow through the home.

Recommendation

Contact a handyman or DIY project



7.1.1 Main Shut-Off

NOT ACCESSIBLE/OBSERVED



MODERATE CONCERN

The main shut off was either not observed or not accessible for inspection. Recommend further review.

7.3.1 Water Supply

SEDIMENT

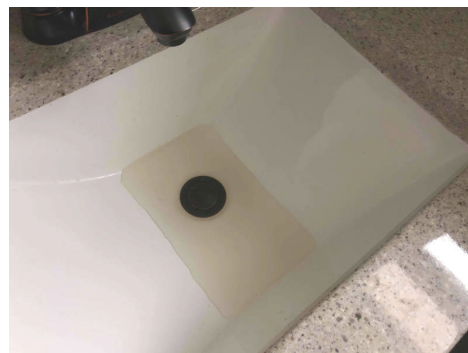


MODERATE CONCERN

There was some sediment buildup in the water lines. Recommend flushing out the water lines. This can be an indication of failure at the water heater as well. Recommend further review and correction as needed by a plumber.

Recommendation

Contact a qualified plumbing contractor.



7.3.2 Water Supply

VOLUME/PRESSURE LOW

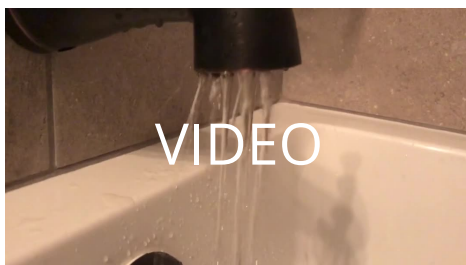
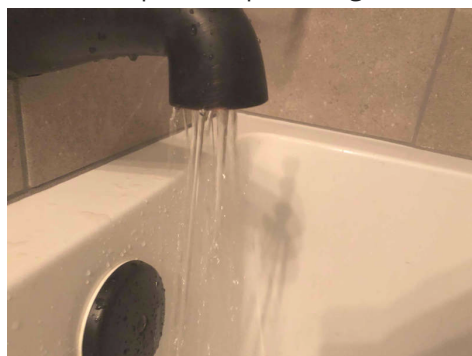


MODERATE CONCERN

The volume/pressure was low at one or more of the fixtures. This may impact the use of some of the fixtures, mainly the tub.

Recommendation

Contact a qualified plumbing contractor.



7.4.1 Hot Water - Tank

NO EXPANSION TANK



MINOR CONCERN

No expansion tank was present. Expansion tanks allow for the thermal expansion of water in the pipes. Not all jurisdictions require them.

Recommendation

Contact a qualified plumbing contractor.

7.4.2 Hot Water - Tank

CONNECTOR MISSING



MODERATE CONCERN

There should be a romex connector installed where the wire enters the water heater.

Recommendation

Contact a qualified electrical contractor.



NO MEANS OF DISCONNECT



MINOR CONCERN

Recommendation

7.5.1 Sinks

HANDLE DAMAGED/LOOSE



MODERATE CONCERN

Recommendation

A close-up photograph of a kitchen sink with a black faucet. The word "VIDEO" is overlaid in large white letters.

VIDEO

MISSING LABELS



MINOR CONCERN

Recommendation

[illegible]

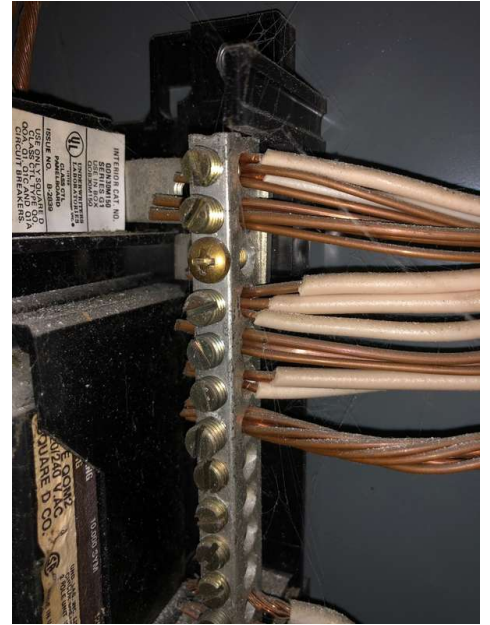
NEUTRALS - SHARED TERMINAL



MINOR CONCERN

Recommendation

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8.2.1 Breakers / Fuses

BREAKER FAULTY



MODERATE CONCERN

One or more of the breakers did not trip when tested. Recommend further review and replacement as needed.

Recommendation

Contact a qualified electrical contractor.



8.2.2 Breakers / Fuses

LUG DOUBLE TAPPED

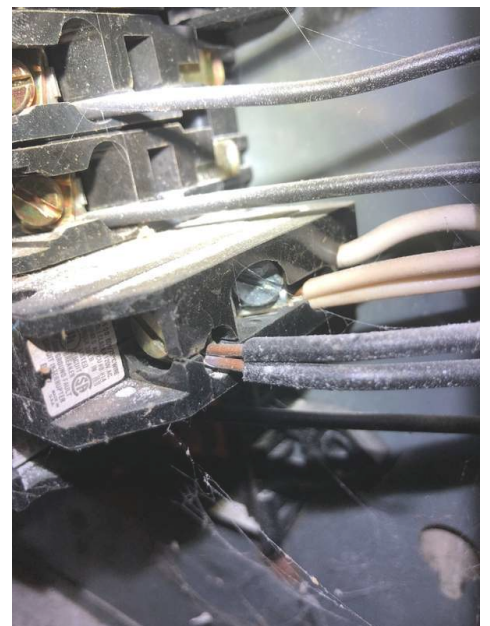


MODERATE CONCERN

The lug was double tapped. Not all lugs are rated for more than one wire. Recommend correcting as needed.

Recommendation

Contact a qualified electrical contractor.



8.4.1 Receptacles & Switches

COVER PLATES MISSING



MINOR CONCERN

SAFETY One or more receptacles are missing a cover plate or the cover was damaged/loose. This causes short and shock risk. Recommend installation of plates.

Recommendation

Contact a handyman or DIY project



8.4.2 Receptacles & Switches

REVERSE POLARITY



MODERATE CONCERN

One or more receptacles have been wired with reverse polarity. This can create a shock hazard. Recommend licensed electrician evaluate & repair.

Recommendation

Contact a qualified electrical contractor.



8.4.3 Receptacles & Switches

PURPOSE NOT IDENTIFIED

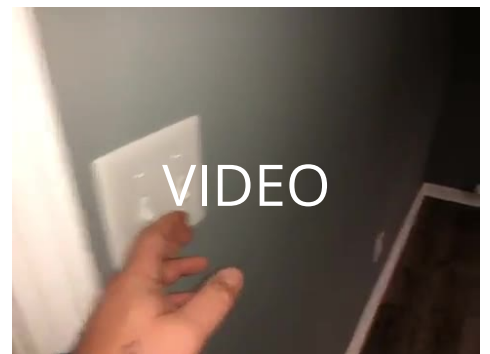


MINOR CONCERN

There was one or more switches where the purpose was not identified. Based on the homes age, sometimes switches controlled receptacles.

Recommendation

Recommend monitoring.



8.6.1 GFCI & AFCI

GFCI - INTERIOR

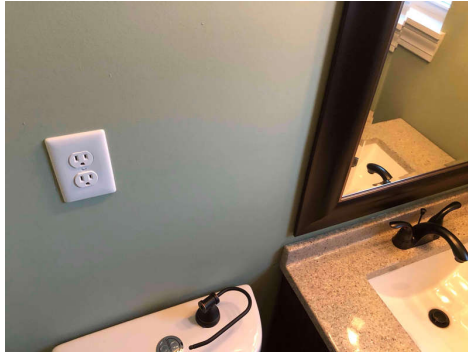


MODERATE CONCERN

SAFETY It is recommended that GFCI receptacles be installed and functioning in any location within 6 foot of water. This includes all bathroom, kitchen, outside, or laundry receptacles.

Recommendation

Contact a qualified electrical contractor.



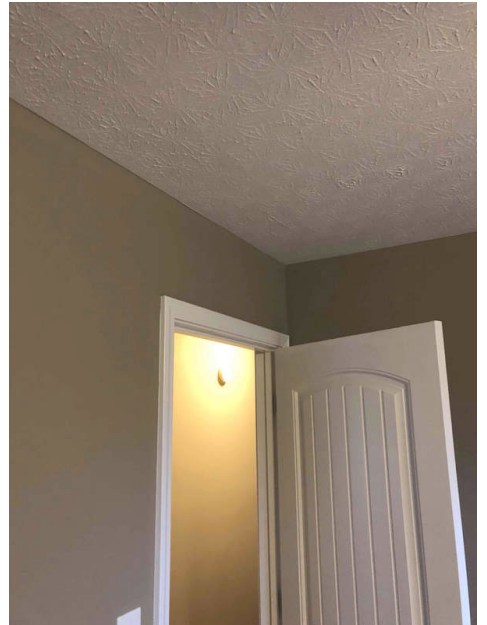
8.7.1 Smoke Detectors

SMOKE DETECTORS

 MODERATE CONCERN

SAFETY Recommend installing smoke detector batteries prior to moving in. Every bedroom should have a functioning smoke detector in addition to other areas. Here is some information on the current recommendations.

Recommendation
Recommended DIY Project



8.8.1 Carbon Monoxide Detectors

ATTACHED GARAGE

 MODERATE CONCERN

SAFETY Recommend installing CO monitors because of the attached garage. They sell them at most home improvement stores.

Recommendation
Contact a handyman or DIY project

9.1.1 Access

ACCESS PANEL - MISSING INSULATION

 MINOR CONCERN

The access panel was missing insulation. Some energy loss can occur.

Recommendation
Recommended DIY Project

9.2.1 Attic Insulation

INSULATION - GAPS

 MODERATE CONCERN

There were gaps noted in the insulation. This can enable energy loss and make some areas more difficult to regulate.

Recommendation

Contact a qualified insulation contractor.



9.4.1 Exhaust Systems

BATHROOM VENTS INTO ATTIC



MODERATE CONCERN

Bathroom fan vents into the attic, which can cause moisture and mold. Recommend a qualified attic contractor properly install exhaust fan to terminate to the exterior.

Recommendation

Contact a qualified HVAC professional.



10.2.1 Range/Oven/Cooktop

ANTI-TIP DEVICE MISSING

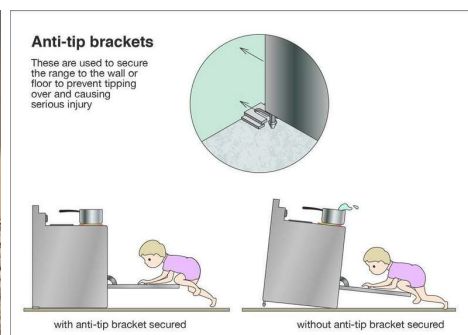


MODERATE CONCERN

SAFETY There was no anti-tip device installed. Consider installing one like [this](#) to mitigate the risk of a tip over. Not having one installed is a safety hazard.

Recommendation

Contact a handyman or DIY project



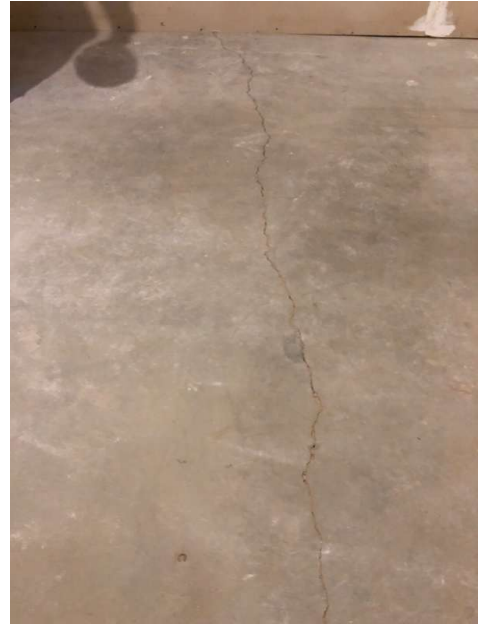
11.2.1 Floor

CRACKING - NORMAL



MINOR CONCERN

Cracking of the floor was noted. This is caused by a lack of control joints and/or insufficient reinforcement. No major concerns observed at this time.



11.2.2 Floor

STANDING WATER



MODERATE CONCERN

There were signs of standing water noted in one or more locations. The cause was not determined. It looks like water may have been coming through the wall at this corner at some point. The area was currently dry.

Recommendation

Contact a qualified professional.



11.3.1 Walls & Firewalls

DAMAGED DRYWALL



MINOR CONCERN

Garage wall had damaged drywall. Recommend drywall contractor repair.

Recommendation

Contact a qualified drywall contractor.



11.4.1 Door

NOT SELF-CLOSING



MINOR CONCERN

SAFETY Door from garage to home should have self-closing hinges to help prevent spread of a fire to living space. Most homes don't have them around here but it's a good update to make.

[DIY Resource Link.](#)

Recommendation

Contact a handyman or DIY project

