

## DEFICIENCIES SUMMARY

1234 Main St. Everett WA 98201

Buyer Name  
09/09/2017 9:00AM

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JAKE Home Inspections has prepared this confidential report for your personal use. This report is based on my opinions of the condition of the systems and components inspected on this date. The scope of this inspection is intended to be an overview rather than an exhaustive evaluation of a particular system or component.

My inspection is performed by visual examination only. Representative samples of building components are viewed in areas that are accessible at the time of the inspection. I do not include examination of concealed items within the walls, under concrete slabs or in other areas not visible without removing permanently assembled components or moving personal property. Not all needed repairs can be identified during the inspection. Unexpected repairs should be anticipated.

The inspection is conducted according to the Standards of Practice of the American Society of Home Inspectors (ASHI). The inspection should not be considered a guarantee or warranty of any kind for the continued use of any system component, nor does it dictate what should or should not be included in the property.

### 2.5.1 Front Steps

## DECK - ROTTED BOARDS

One or more deck boards are showing signs of rot. Recommend a qualified contractor replace.

Recommendation  
Contact a quality handyman.



2.5.2 Front Steps

## DECK STEPS -PAINT

The finish is peeling off the deck steps. Have a licensed contractor scrape off the loose paint and then repaint to protect the wood from deterioration.

Recommendation  
Contact a qualified painter.



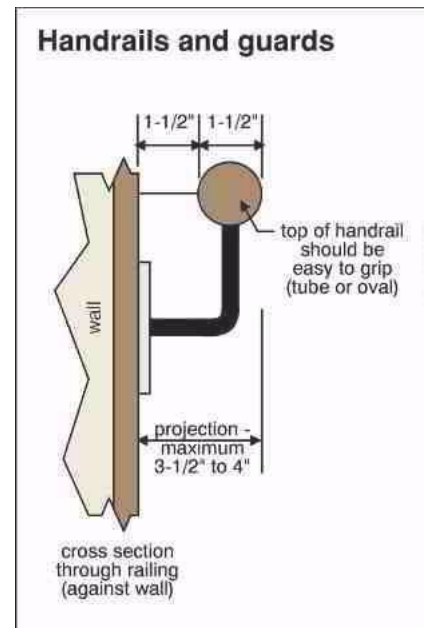
2.5.3 Front Steps

## MISSING HANDRAILS

**! Safety Hazard and/or Requires Immediate Attention**

Missing graspable handrails at steps. Have a licensed contractor install a graspable handrail at steps. Handrail should be continuous and uninterrupted.

Recommendation  
Contact a qualified deck contractor.



2.14.1 Back Steps

## DECK CONNECTION HARDWARE

### BACK STEPS

**! Safety Hazard and/or Requires Immediate Attention**

The deck connectors tying the deck to the house structure are insufficient or improperly attached. Have a licensed contractor repair or replace the deck connection hardware.

Recommendation  
Contact a qualified deck contractor.

2.14.2 Back Steps

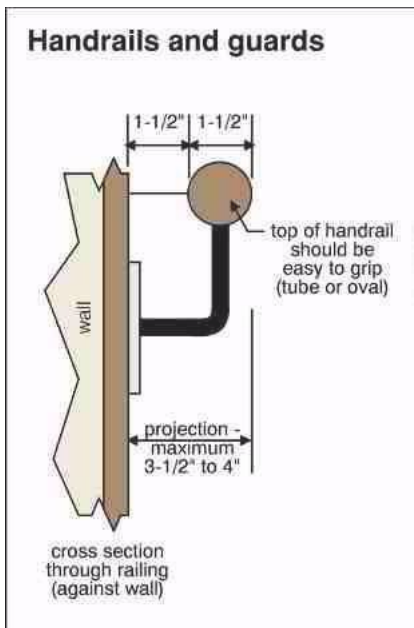
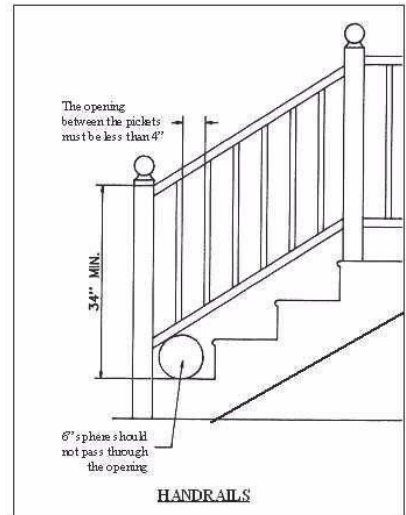
# MISSING HANDRAILS

**⚠ Safety Hazard and/or Requires Immediate Attention**

Missing graspable handrails at steps. Have a licensed contractor install a graspable handrail at steps. Handrail should be continuous and uninterrupted.

Recommendation

Contact a qualified deck contractor.



3.1.1 Coverings

# AGE

The shingles displayed overall wear. Recommend having a licensed contractor clean and seal the shingles to help them last longer.

Recommendation

Contact a qualified roofing professional.



### 3.2.1 Roof Drainage Systems

## DEBRIS IN GUTTER

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow. Install basket strainers in the downspout openings in the gutters to help prevent debris from clogging the footing drains.

[Here is a DIY resource](#) for cleaning your gutters.

Recommendation  
Contact a quality handyman.



### 3.4.1 Chimneys

## CHIMNEY CAP MISSING

No chimney cap was observed. This is important to protect from moisture intrusion and protect the chimney. Recommend installing a cap over the flue opening.

Recommendation  
Contact a quality handyman.



### 4.1.1 Water Heater

## AGE

The water heater is reaching the end of its service life. Expect to replace it in 3 to 5 years.

Recommendation  
Contact a qualified plumber.

### 4.1.2 Water Heater

## MISSING LEAK ALARM

The water heater is located in finished space. It has a drain pan and a drain line opening in the pan. Water leakage could overflow the drain pan and water could damage the finish materials in the house. Recommend placing a "leak alarm" in the drain pan of the water heater. The leak alarm senses water in the pan and alerts the occupants of an active water leak.

Recommendation  
Recommended DIY Project

#### 4.3.1 Plumbing Fixtures

## FAUCET LEAK

Leaking faucet. The insta-hot faucet is leaking at the handle. Have a licensed contractor repair or replace the faucet.

Recommendation  
Contact a quality handyman.



#### 4.3.2 Plumbing Fixtures

## LEAKING WATER SUPPLY PIPE

CRAWLSPACE

**! Safety Hazard and/or Requires Immediate Attention**

There are water leaks in the water supply lines. It cannot be determined where or how many leaks there are. Have a licensed plumber repair all of the water supply leaks.

Recommendation  
Contact a qualified plumber.



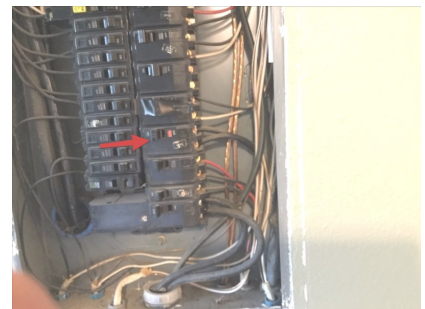
#### 5.2.1 Electric Panel

## BREAKER TRIPPING

**! Safety Hazard and/or Requires Immediate Attention**

The range circuit breaker trips when all burners and the oven are turned on. It is unknown if the issue is with the range or with the electric circuit. Have the proper licensed contractor evaluate the issue and make required repairs/replacement.

Recommendation  
Contact a qualified electrician.



#### 5.4.1 Light Fixtures

## MISSING LIGHT SHADE

HALL

Install a new light shade to protect the light bulb from breakage.

Recommendation  
Recommended DIY Project



5.6.1 Receptacles

## 220V OVEN

The oven outlet trips when burners and oven are turned on. Have a licensed contractor check the oven and repair or replace as needed. If it's electrical, have a licensed contractor repair the circuit.

Recommendation

Contact a qualified electrician.

5.7.1 GFCI & AFCI

## MISSING GFCI RECEPTACLES AT EXTERIOR

NORTH

**⚠ Safety Hazard and/or Requires Immediate Attention**

Exterior electrical receptacles should be GFCI protected and be inside weatherproof boxes

Recommendation

Contact a qualified electrician.



GFCI receptacle inside weatherproof box

5.8.1 Smoke Alarms

# MISSING SMOKE ALARMS

BEDROOMS, HALL

**⚠️ Safety Hazard and/or Requires Immediate Attention**

A smoke alarm should be located in the hall adjacent to bedrooms and in each bedroom within three feet of the bedroom door. Install a new photoelectric smoke alarm in the hallway and bedrooms.

Recommendation

Contact a quality handyman.



5.9.1 Carbon Monoxide Alarms

# DEFECTIVE

LIVING

**⚠️ Safety Hazard and/or Requires Immediate Attention**

Carbon monoxide alarm is connected, but not functioning properly. Recommend replacement.

Recommendation

Recommended DIY Project



5.9.2 Carbon Monoxide Alarms

# MISSING CARBON MONOXIDE ALARM

2ND FLOOR HALL

**⚠️ Safety Hazard and/or Requires Immediate Attention**

CO Alarms should be installed at each level of the house and in hallways adjacent to bedrooms. Install a new CO alarm at each level of the house.

Recommendation

Contact a quality handyman.

### 6.1.1 Heating Equipment

## FURNACE IN BEDROOM CLOSET

Because the furnace is in a bedroom closet, recommend not using the closet to store clothing or other combustible materials. Install a CO alarm above the closet door to alert the occupants of a gas leak.

Recommendation

Recommended DIY Project

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### 6.2.1 Distribution Systems

## DIRTY DUCTS

Ducts are dirty. Have a licensed contractor clean out the duct work.

Recommendation

Contact a qualified professional.





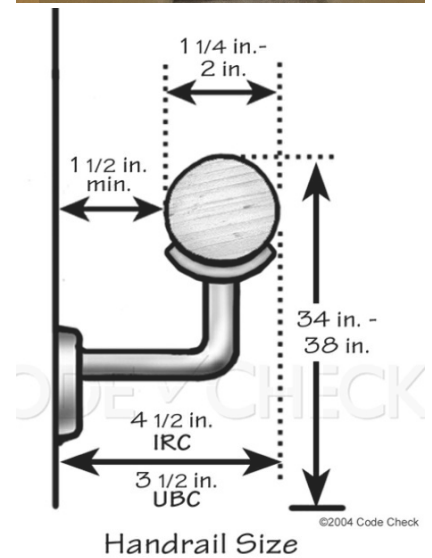
7.4.1 Railings

# NO GRASPABLE HANDRAIL

**⚠ Safety Hazard and/or Requires Immediate Attention**

Staircase had no handrails. This is a safety hazard. Recommend a qualified handyman install a graspable handrail.

Recommendation  
Contact a quality handyman.



7.6.1 Countertops & Cabinets

# COUNTERTOP CRACKED/CHIPPED

Countertop had one or more cracks or chips. Recommend qualified countertop contractor evaluate and repair.

[Here is a helpful article](#) on repairing cracks, chips & fissures.

Recommendation  
Contact a qualified countertop contractor.



7.6.2 Countertops & Cabinets

# GROUT DETERIORATING

## BATHROOM

Grout lines were cracked or deteriorated. Recommend a qualified contractor repair or replace grout.

Recommendation

Contact a qualified countertop contractor.



7.7.1 Doors

# DAMAGED DOOR

## HALL

Repair or replace the damaged door.

Recommendation

Contact a quality handyman.



7.7.2 Doors

# DOOR IS BINDING

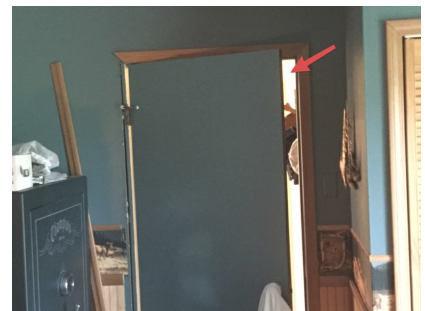
## MASTER BEDROOM, UPSTAIRS BEDROOM

Door sticks and does not open smoothly. Recommend having a licensed contractor adjust the door.

[Here is a helpful DIY article](#) on how to fix a sticking door.

Recommendation

Contact a quality handyman.



### 7.7.3 Doors

## DOOR RUBBING CARPET

Interior door is rubbing against the carpet. Have a licensed contractor trim about 1 to 2 inches off the bottom of the door so that there is a gap between the bottom of the door and the carpet.

#### Recommendation

Contact a quality handyman.



### 7.12.1 Trim

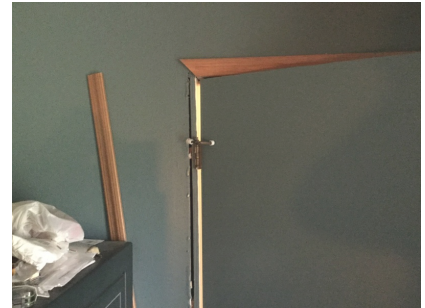
## MISSING TRIM

### BEDROOM

Trim boards are missing throughout the house. Have a licensed contractor install trim at door frames, window frames, floor base and ceiling.

#### Recommendation

Contact a qualified carpenter.



### 8.1.1 Fireplaces, Stoves & Inserts

## FIREBOX DIRTY

Clean out the fire box. Have a licensed contractor check the flue for creosote. Clean as needed.

#### Recommendation

Contact a qualified chimney contractor.



### 8.3.1 Chimney & Vent Systems

## CONDITION OF FLUE UNKNOWN

**⚠ Safety Hazard and/or Requires Immediate Attention**

The chimney flue was not visible for inspection. Have a licensed contractor clean the flue before using the pellet stove.

#### Recommendation

Contact a qualified chimney contractor.



9.1.1 Attic Insulation

## ATTIC HATCH

Attic hatch does not fit properly. Attic air is escaping into the living area. Replace the hatch cover with a new one or install weatherstripping around the door opening to make it air-tight.

Recommendation  
Recommended DIY Project



9.4.1 Exhaust Systems

## DIRTY EXHAUST FANS

Have a licensed contractor clean all bathroom, laundry and kitchen exhaust fans to ensure they are working effectively at removing excess moisture from the house. Excess moisture in the house can lead to mildew and mold.

Recommendation  
Contact a qualified professional.



9.4.2 Exhaust Systems

## VINYL DRYER DUCT

**! Safety Hazard and/or Requires Immediate Attention**

Vinyl dryer duct is susceptible to melting when lint is allowed to build up inside. Recommend replacing the vinyl duct with a rigid metal duct to reduce the chance of lint build up and potentially catching fire.

Recommendation  
Contact a quality handyman.



#2 or #4 best ducts for dryers

9.5.1 Crawlspace / Basement Insulation

## FALLING INSULATION

Insulation in the crawlspace is falling from the subfloor. Have a licensed contractor secure the installation to prevent it from falling.

Recommendation  
Contact a qualified insulation contractor.

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9.5.2 Crawlspace / Basement Insulation

## MISSING INSULATION

### AROUND BATHROOM FLOOR

Insulation is missing from between the floor joists. Install new insulation where missing.

#### Recommendation

Recommended DIY Project

