



SUMMARY
1234 Main St. Uniontown OH 44685
Buyer Name
09/12/2018 9:00AM

Ron Fast
Certified Master Inspector, ASHI,
InterNACHI, Radon, Pest, Thermal
First-In Home Inspection
3307600094
ron@firstinohio.com



It is recommended that any noted deficiencies be evaluated and repaired by a certified contractor of trade.

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2.5.1 Siding & Trim

WARPING/BUCKLING

 Recommendation

Vinyl siding was warping or buckling in areas. This is often as a result of nailing siding boards to tight to the home, preventing expansion/contraction. Recommend a qualified siding contractor evaluate and repair.



2.5.2 Siding & Trim

MOSS/ALGAE (SIDING)

 Maintenance/Monitor

Moss/Algae present on exterior covering. Recommend removal to prevent premature wear.

Recommendation
Recommended DIY Project



2.5.3 Siding & Trim

WEATHERED WOOD TRIM

 Maintenance/Monitor

Areas of wood trim had peeling paint or were weathered and in need of fresh paint.

Recommendation

Contact a qualified professional.



2.5.4 Siding & Trim

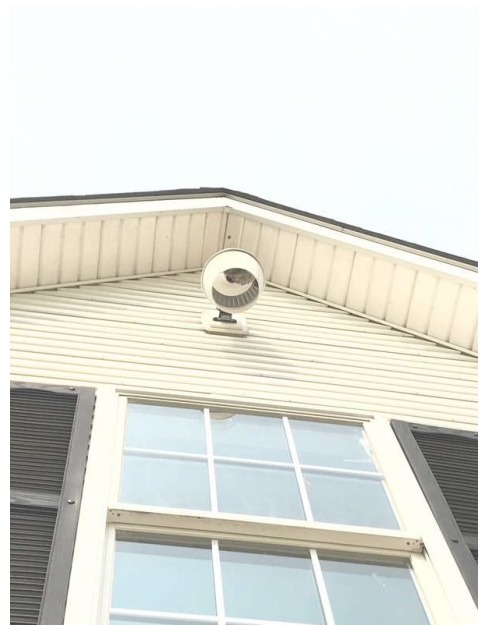
BEE NEST

 Maintenance/Monitor

Recommend removal of bee nest.

Recommendation

Contact a qualified professional.



2.5.5 Siding & Trim

MISSING J-CHANNEL AT EXTERIOR SIDING

 Maintenance/Monitor

Recommendation

Contact a qualified professional.



2.12.1 Exterior Plumbing

LOOSE HOSE BIB

 Recommendation

The exterior faucet was loose and needs properly secured to prevent damage to the water lines. Recommend repair.

Recommendation

Contact a qualified professional.



2.14.1 Vegetation

VEGETATION (CONTACT W/ EXTERIOR)

 Recommendation

There was vegetation in contact with the exterior of the dwelling. Vegetation in contact with the exterior can cause premature deterioration of roof and siding, and make an easy entry point for pest. Recommend clearance of 12 inches of the vegetation from exterior walls.

Recommendation

Contact a qualified professional.



3.1.1 Shingles

DAMAGE (WIND)

Creased or torn tabs

The roof had areas of wind damage such as broken adhesive strips and creased or torn shingle tabs. The Inspector recommends replacement of the damaged shingles by a qualified roofing contractor to avoid damage from moisture intrusion.



Maintenance/Monitor



3.1.2 Shingles

LOOSE OR MISSING SHINGLES (WIND)



Maintenance/Monitor

The roof had loose or missing shingles.

The Inspector recommends replacement of any loose or missing shingles by a qualified roofing contractor to avoid damage from moisture intrusion.



3.1.3 Shingles

MOSS BUILD-UP

 Maintenance/Monitor

Moss build up on the roof usually results from excessive shade and can lead to shortened roof life and increased risk of leaks.



3.6.1 Roof Drainage Systems

GUTTERS (DISCONNECTED)

 Recommendation

One or more gutter sections needed to be re-connected in order to properly control roof run-off. This condition can result in excessively high moisture levels in soil at the foundation. Excessive moisture levels in soil near the foundation can effect the ability of the soil to support the weight of the structure above and can cause damage related to soil/foundation movement. The Inspector recommends repair to help protect the home structure and occupants. All work should be performed by a qualified contractor.

Recommendation
Contact a qualified professional.



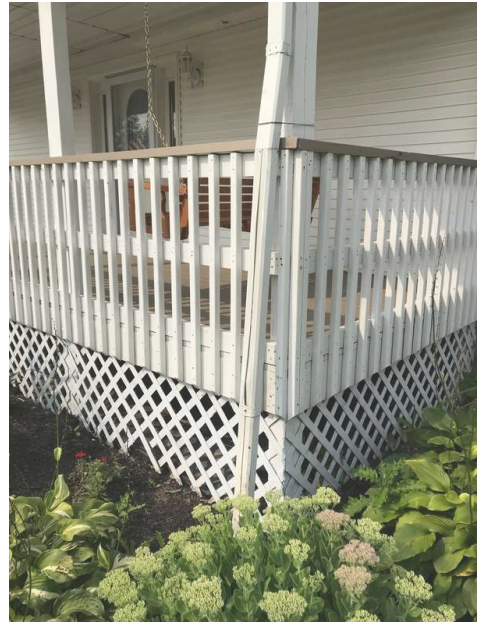
3.6.2 Roof Drainage Systems

GUTTERS (LOOSE)

Gutters were loose in areas and should be securely re-attached by a qualified contractor.

Recommendation
Contact a qualified professional.

 Recommendation



4.3.1 Electrical

OUTLETS (OK/NO GFCI)

 Safety Hazard

Electrical receptacles in the garage appeared to be in serviceable condition at the time of the inspection but had no Ground Fault Circuit Interrupter (GFCI) protection. Although this condition may have been commonly considered safe or acceptable at the time the home was originally constructed, as general knowledge of safe building practices has improved with the passage of time, building standards have changed to reflect current understanding. Consider having GFCI protection installed as a safety precaution. This can be achieved by: 1. Replacing the current standard receptacles with GFCI receptacles 2. Replacing the receptacle in the garage circuit which is nearest the main electrical service panel with a GFCI receptacle. 3. Replacing the breaker currently protecting the electrical circuit that contains these garage receptacles with a GFCI breaker.

Recommendation
Contact a qualified professional.



4.3.2 Electrical

COVER PLATES (MISSING)

 Recommendation

At the time of the inspection, electrical receptacle cover plates were missing in the garage. This condition left energized electrical components exposed to touch, a shock/electrocution hazard. The Inspector recommends that cover plates be installed by a qualified contractor.

Recommendation
Contact a qualified professional.





5.3.1 Attic Ventilation

THERMOSTATIC FAN(S) (NOT ACCESSIBLE)

 Recommendation

Thermostatic fan(s) was not accessible and, therefore, was not tested at the time of inspection.

Recommendation

Contact a qualified professional.

5.3.2 Attic Ventilation

RIDGE AND POWER ROOF VENT

 Recommendation

Combining an attic power vent fan with a ridge vent is usually not recommended because: It could reverse the natural flow of hot air out the ridge vent. If air is drawn in through the ridge vent while it's raining, it might pull rainwater in with it, which could lead to leaking or mold in the attic.

Recommendation

Contact a qualified professional.

5.6.1 Electrical

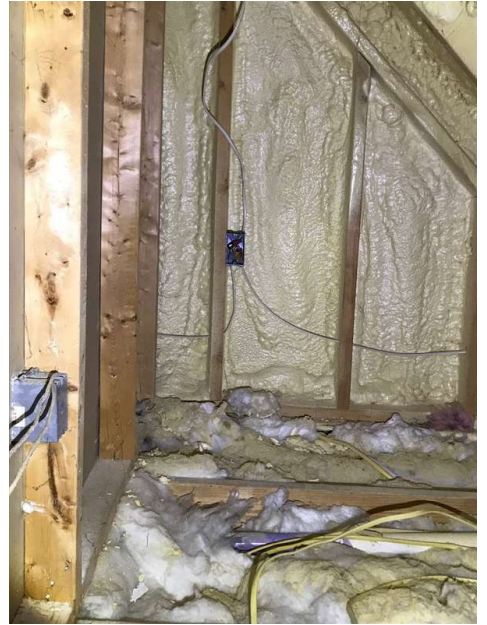
COVER PLATE MISSING

 Safety Hazard

Cover plate(s) are missing from one or more electric boxes, such as for receptacles, switches and/or junction boxes. They are intended to contain fire and prevent electric shock from exposed wires. This is a safety hazard due to the risk of fire and shock. Cover plates should be installed where missing.

Recommendation

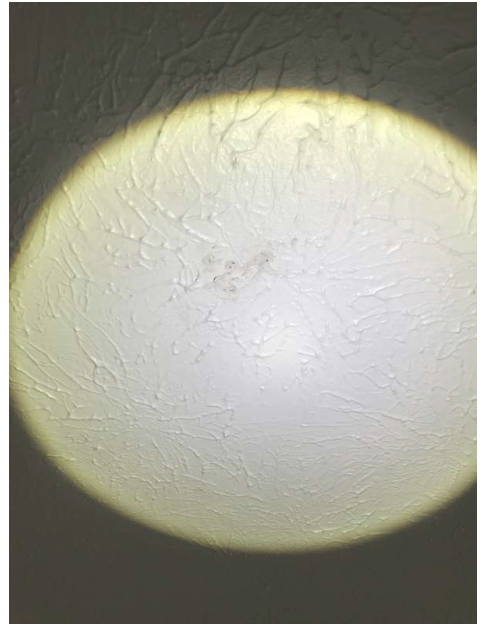
Contact a qualified electrical contractor.



6.1.1 Floors, Walls, Ceilings
CEILING PATCH
2ND FLOOR NORTH BEDROOM

 Recommendation

Recommendation
Recommend monitoring.

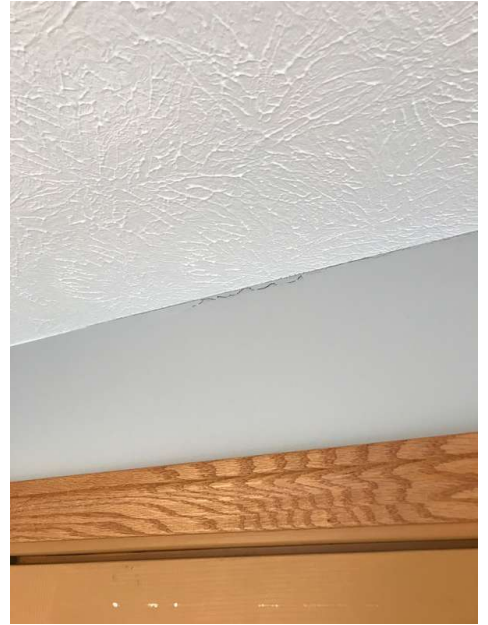


6.1.2 Floors, Walls, Ceilings
CEILING-MINOR CRACKS

 Recommendation

Minor cracks were found in ceilings in one or more areas. They do not appear to be a structural concern, but the client(s) may wish to repair these for aesthetic reasons.

Recommendation
Contact a qualified drywall contractor.



6.3.1 Windows and Doors

DOOR-BINDS IN JAMB

2ND FLOOR SOUTH BEDROOM, 2ND FLOOR CLOSET

One or more doors bind in their jamb and cannot be closed and latched, or are difficult to open and close. A qualified contractor should evaluate and repair as necessary. For example, adjusting jamba or trimming doors.

Recommendation

Contact a qualified door repair/installation contractor.



6.3.2 Windows and Doors

WINDOW-DOUBLE PANE SEAL



Seals between double-pane glass in one or more windows appear to have failed based on condensation or stains between the panes of glass. A qualified contractor should evaluate and replace glass where necessary.

The client(s) should be aware that evidence of broken seals may be more or less visible from one day to the next depending on the temperature, humidity, sunlight, etc. Windows or glass doors other than those that the inspector identified may also have failed seals and need glass replaced too.

Recommendation

Contact a qualified window repair/installation contractor.



6.5.1 Smoke and CO alarms

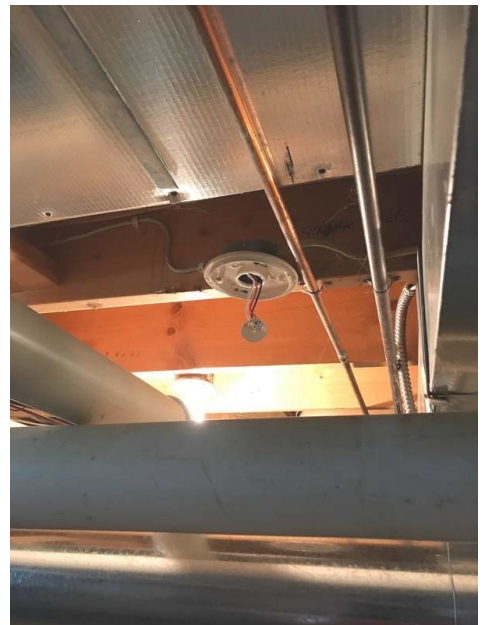
SMOKE ALARMS MISSING



Smoke alarms were missing from one or more bedrooms / from one or more hallways leading to bedrooms / on one or more levels. Smoke alarms should be installed as necessary so a functioning alarm exists in each hallway leading to bedrooms, in each bedroom, on each level, in rooms with a fireplace and in any attached garage.

Recommendation

Recommended DIY Project



7.1.1 General

SUPPLY PIPES (CORRODED/NOT ACTIVELY LEAKING)



Heavily corroded faucet supply pipes beneath the sink in this bathroom are liable to leak soon. The Inspector recommends replacement by a qualified contractor to prevent future damage to the cabinet floor and possibly the home wall/floor structures.

Recommendation
Contact a qualified professional.



7.1.2 General

SHOWER DOOR LOOSE

The shower door is loose. Recommend repair.

Recommendation
Contact a qualified professional.

 Recommendation



7.1.3 General

RADON MITIGATION FAN NOISE

There is an obvious noise that comes from the radon fan that can be heard while in the master bedroom. Outside the fan runs quiet but inside a deep continuous sound can be heard.

Recommendation
Contact a qualified professional.

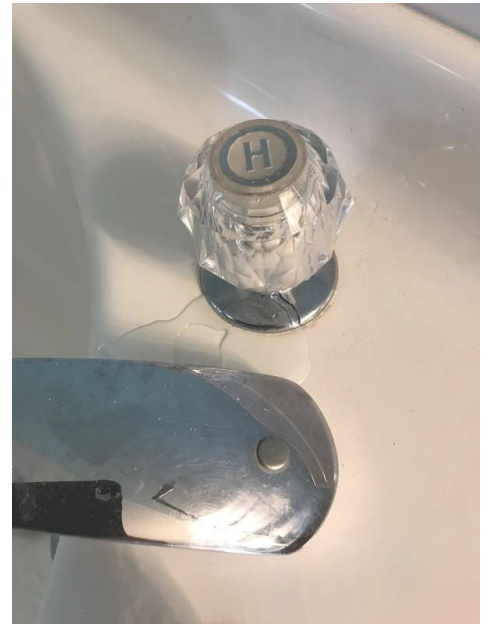
 Maintenance/Monitor

7.3.1 Sinks and Faucets

FAUCET LEAKING

 Maintenance/Monitor

A fixture is leaking which is causing wasted water. Recommend correction by replacing faucet.



9.2.1 Sink

SPRAY WAND IS LOOSE

The spray wand is loose and needs secured.

Recommendation

Contact a qualified professional.



10.4.1 Microwave

LIGHT DID NOT OPERATE

The lights on the microwave did not operate when tested. The bulbs may need replaced. And the the plastic cover is damaged.

Recommendation

Contact a qualified professional.





11.1.1 Main & Sub Panels

PANEL SCREWS (IMPROPER/MISSING)

Improper and/or missing panel screws. Recommend use of proper panel screws for the dead front cover.

Recommendation

Contact a qualified professional.

 Recommendation



11.1.2 Main & Sub Panels

SUBPANEL (NEUTRAL/GROUND BOND)

Neutral and equipment ground wires were bonded (connected) at sub-panel(s). This should only occur in the main service panel, not sub-panels, and is a shock hazard. Neutral wires should be attached to a "floating" neutral bar not bonded to the panel, and grounding wires should be attached to a separate grounding bar bonded to the sub-panel. Recommend that a qualified electrician repair per standard building practices.

Recommendation

Contact a qualified professional.

 Recommendation



11.1.3 Main & Sub Panels

WATER LINES ABOVE PANEL

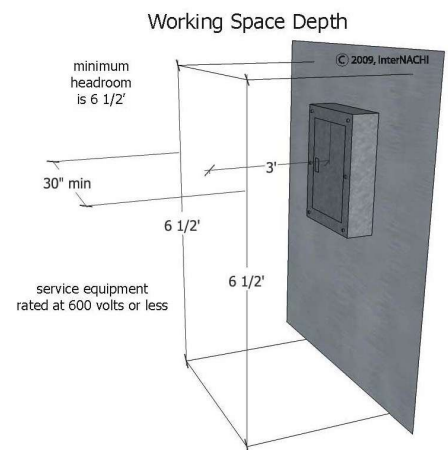
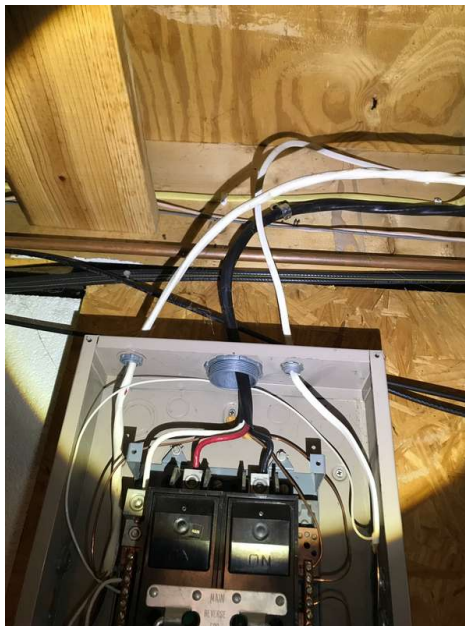


(a) Dedicated Electrical Space. The space equal to the width and depth of the equipment and extending from the floor to a height of 1.8 m (6 ft) above the equipment or to the structural ceiling, whichever is lower, shall be dedicated to the electrical installation. No piping, ducts, leak protection apparatus, or other equipment foreign to the electrical installation shall be located in this zone.

(b) Foreign Systems. The area above the dedicated space required by 110.26(F)(1)(a) shall be permitted to contain foreign systems, provided protection is installed to avoid damage to the electrical equipment from condensation, leaks, or breaks in such foreign systems.

Recommendation

Contact a qualified professional.



12.1.1 General

NO CATCH PAN



The washing machine is installed over a finished living space and has no catch pan or drain installed. These are not commonly installed, but they are recommended to prevent water damage to finished interior spaces below if or when the washing machine leaks, overflows or is drained. Recommend having a qualified contractor install both a catch pan and drain.

Recommendation

Contact a qualified professional.



13.2.1 Distribution Pipes

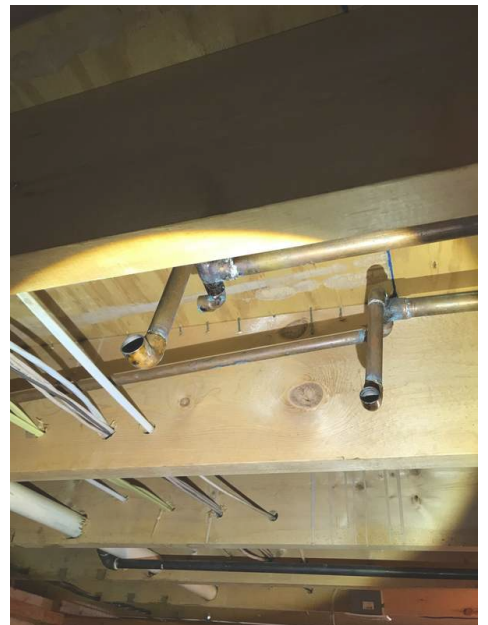
UNCAPPED WATER LINE

Recommendation

Recommend capping unused water lines to prevent a leak.

Recommendation

Contact a qualified plumbing contractor.



13.4.1 Sump Pumps / Sewage Ejectors

SEWAGE EJECTOR PUMP (LEAKING/FUMES)

Recommendation

The area around the sewage ejector pump had a strong odor, indicating that sewer gas is leaking into the living space. This condition should be corrected by a qualified contractor.

Recommendation

Contact a qualified professional.

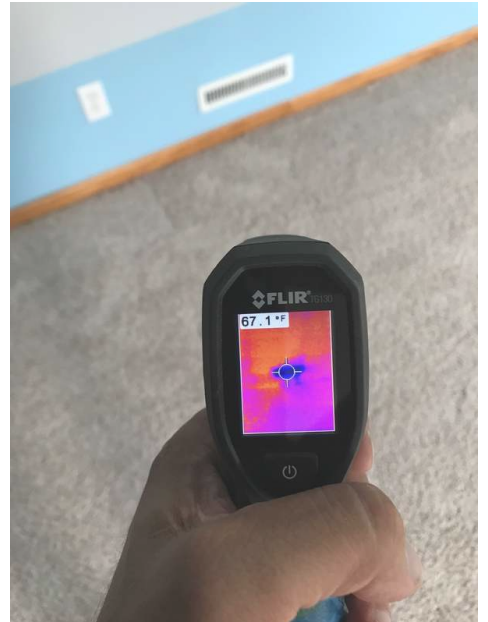


14.1.1 Cooling Equipment
SYSTEM (INADEQUATE COOLING)
2ND FLOOR

 Recommendation

The air-conditioning system operated, but the air produced by the system was not cool enough. The Inspector recommends service by a qualified HVAC technician.

Recommendation
Contact a qualified professional.

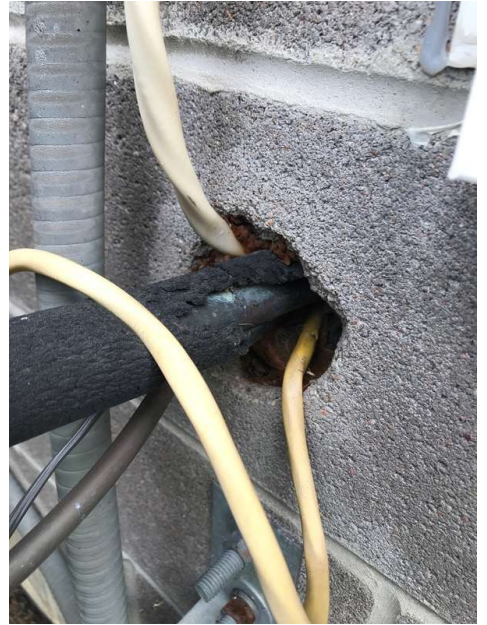


14.1.2 Cooling Equipment
WALL PENETRATION (SEAL)

 Recommendation

The hole in the exterior wall-covering cut to allow penetration of air-conditioning lines should be sealed with an appropriate sealant to prevent moisture and insect entry.

Recommendation
Contact a qualified professional.



15.1.1 Heating Equipment

NO RESPONSE

This furnace did not respond to the thermostat. The Inspector recommends that before the expiration of the Inspection Objection Deadline you have this furnace serviced by a qualified HVAC contractor.

Recommendation
Contact a qualified professional.

 Recommendation



17.6.1 Joists And Trusses

IMPROPER NOTCHING

Recommendation
Contact a qualified professional.

 Recommendation

