



JAKE Home Inspections has prepared this confidential report for your personal use. This report is based on my opinions of the condition of the systems and components inspected on this date. The scope of this inspection is intended to be an overview rather than an exhaustive evaluation of a particular system or component.

My inspection is performed by visual examination only. Representative samples of building components are viewed in areas that are accessible at the time of the inspection. I do not include examination of concealed items within the walls, under concrete slabs or in other areas not visible without removing permanently assembled components or moving personal property. Not all needed repairs can be identified during the inspection. Unexpected repairs should be anticipated.

The inspection is conducted according to the Standards of Practice of the American Society of Home Inspectors (ASHI). The inspection should not be considered a guarantee or warranty of any kind for the continued use of any system component, nor does it dictate what should or should not be included in the property.

2.1.1 Driveways

DRIVEWAY CRACK



Water can penetrate the crack and erode the substrate below the concrete. The freeze-thaw cycle during the winters could also further deteriorate the concrete at the crack. Recommend filling the crack with a high-quality caulk or cement filler.

Recommendation

Contact a handyman or DIY project



2.2.1 Walkways

TRIP HAZARD - PERIMETER WALKWAY



WEST SIDE

Uneven surfaces at perimeter walkway could pose a trip hazard. Homeowner could be liable for injuries caused by the trip hazards. Have a licensed contractor repair or replace uneven walking surfaces to eliminate trip hazards.

Recommendation

Contact a qualified landscaper or gardener.



2.2.2 Walkways

WALKWAY CRACKING - MINOR



Recommended Repair

FRONT WALK

Minor cosmetic cracks observed. Recommend monitor and/or patch/seal.

[Here is a DIY article](#) on repairing cracked sidewalks.

Recommendation

Contact a handyman or DIY project



2.7.1 Fascia

NEW FASCIA NOT PAINTED



Recommended Repair

SEVERAL LOCATIONS

New fascia board has not been painted. Paint the fascia board to protect the wood from the weather and premature deterioration.

Recommendation

Contact a qualified painter.



2.10.1 Siding

DAMAGED METAL SIDING



Recommended Repair

SOUTH SIDE

There are several locations where the siding is damaged from hanging items. Fill the holes with a paintable caulk and then paint the patches.

Recommendation

Contact a handyman or DIY project



2.10.2 Siding

METAL SIDING WORKING LOOSE

EAST SIDE

Several panels of siding are working loose. This type of siding is susceptible to working loose during high winds. Have a licensed contractor secure loose slats of siding where needed. The new homeowner should inspect the siding for loose or missing pieces after high wind events.

Recommendation

Contact a qualified siding specialist.



Recommended Repair

2.12.1 Trim

WOOD TRIM IN CONTACT WITH CONCRETE

GARAGE

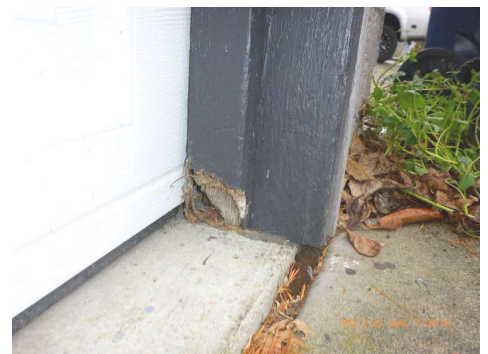
Wood trim pieces were in direct contact with concrete. Wood trim contacting concrete surfaces will deteriorate at a faster rate as water is soaked up. Recommend a licensed contractor repair by cutting the bottom of the trim, cutting enough off the end of the trim piece to leave a gap between the trim and the surface of the concrete to allow for air circulation and quick drying.

Recommendation

Contact a qualified general contractor.



Recommended Repair



2.13.1 Back Deck

IMPROPER DECK CONSTRUCTION PRACTICES

Deck was observed to have general poor construction. Recommend qualified deck contractor correct all deck deficiencies.

Recommendation

Contact a qualified deck contractor.



Safety Hazard

2.13.2 Back Deck

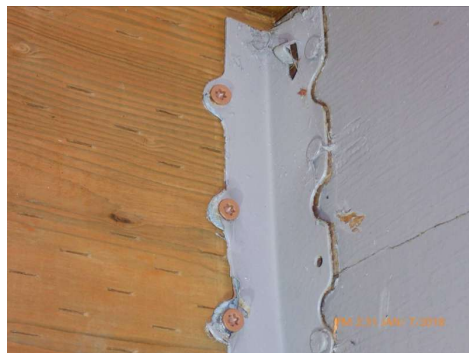
IMPROPER FASTENERS

 Safety Hazard

The deck joists, stair stringers and beam-to-joist brackets are secured with improper fasteners. The existing fasteners are designed for deck boards only and not structural metal brackets, they do not have the same shear strength as dedicated bracket fasteners. Have a licensed contractor replace the existing fasteners with new, proper fasteners as prescribed by the bracket manufacturer.

Recommendation

Contact a qualified deck contractor.



Joist-to-ledger



Beam-to-joist



Stair stringer-to-deck

2.13.3 Back Deck

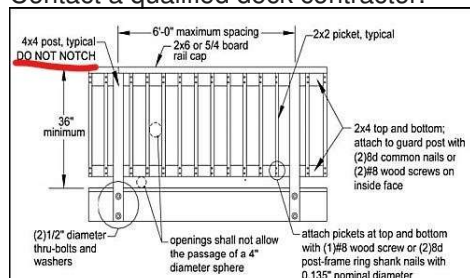
4 X 4 POSTS NOTCHED

 Safety Hazard

The deck 4x4 guardrail posts have been notched making them weak and in danger of breaking if put under a heavy load such as an adult falling into the guardrail. The posts should be replaced with new posts that are not notched. Have a licensed contractor replace the notched posts with new posts.

Recommendation

Contact a qualified deck contractor.





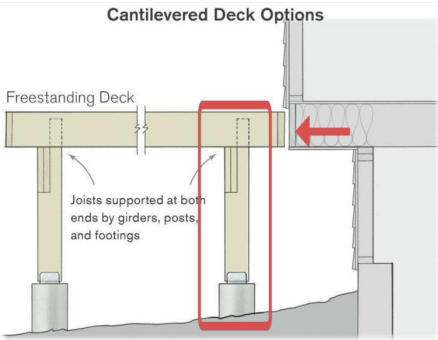
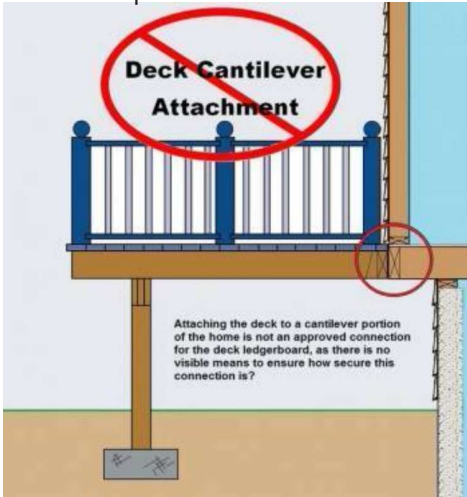
2.13.4 Back Deck

DECK ATTACHED TO HOUSE CANTILEVER

 Safety Hazard

The new deck is attached to the house at a cantilever. This is not recommended deck-building practice. Although the house is almost 40 years old and previous decks may have been built this way, the deck could potentially pull away from the house and cantilever. Recommend installing new vertical deck supports and new beam under the deck near the cantilever to remove the dead weight of the deck off of the house structure.

Recommendation
Contact a qualified deck contractor.



Preferred method of deck support. Note deck is not attached to the house cantilever.



Existing condition of deck-to-house connection

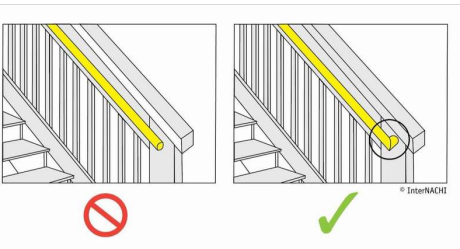
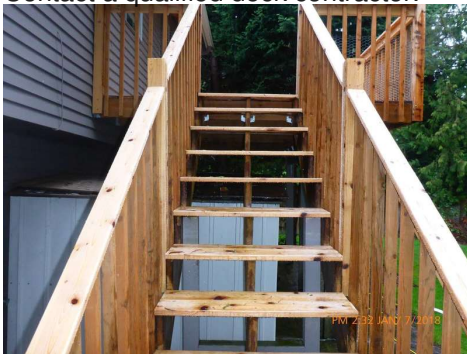
2.14.1 Back Steps

MISSING GRASPABLE HANDRAILS

 Safety Hazard

Missing graspable handrails at steps. Have a licensed contractor install a graspable handrail at steps. Handrail should be continuous and uninterrupted.

Recommendation
Contact a qualified deck contractor.



2.14.2 Back Steps

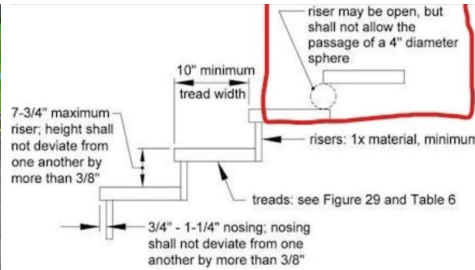
GAP BETWEEN RISERS

Recommended Repair

Space between the stair treads is greater than 4 inches. Add wood material at the risers to close the gap or make the gaps smaller between the stair treads.

Recommendation

Contact a qualified deck contractor.



Stair Riser Gap

2.15.1 Patios

HOT TUB ON PATIO

Recommended Repair

A hot tub sits on top of the patio. If the patio was not designed to support the hot tub, concrete could settle and crack under the weight of the hot tub. Recommend asking seller if special thought was put into the design of the patio where the hot tub sits.

Recommendation

Contact a foundation contractor.



2.20.1 Vegetation

SHRUBS - CONDITIONS CONDUCTIVE FOR WOOD DESTROYING ORGANISMS

Recommended Repair

SOUTH SIDE

Vegetation growing against the house provides food and shelter for potential WDO activity. Recommend cutting back or removing (and relocating if possible) all vegetation growing against the house. Clearing a 2' or wider path between the house and vegetation will allow the homeowner to monitor the perimeter of the house, promote drying of siding components and discourage WDO and rodent activity around the house.

Recommendation

Contact a qualified handyman.



2.20.2 Vegetation

TREES- CONDITIONS CONDUCTIVE FOR WOOD DESTROYING ORGANISMS

Recommended Repair

NW CORNER

Tree(s) growing close to the house and/or over the roofline provide food and shelter and a means for entry into the structure for potential WDO activity. Recommend cutting back trees.

Recommendation
Contact a qualified tree service company.



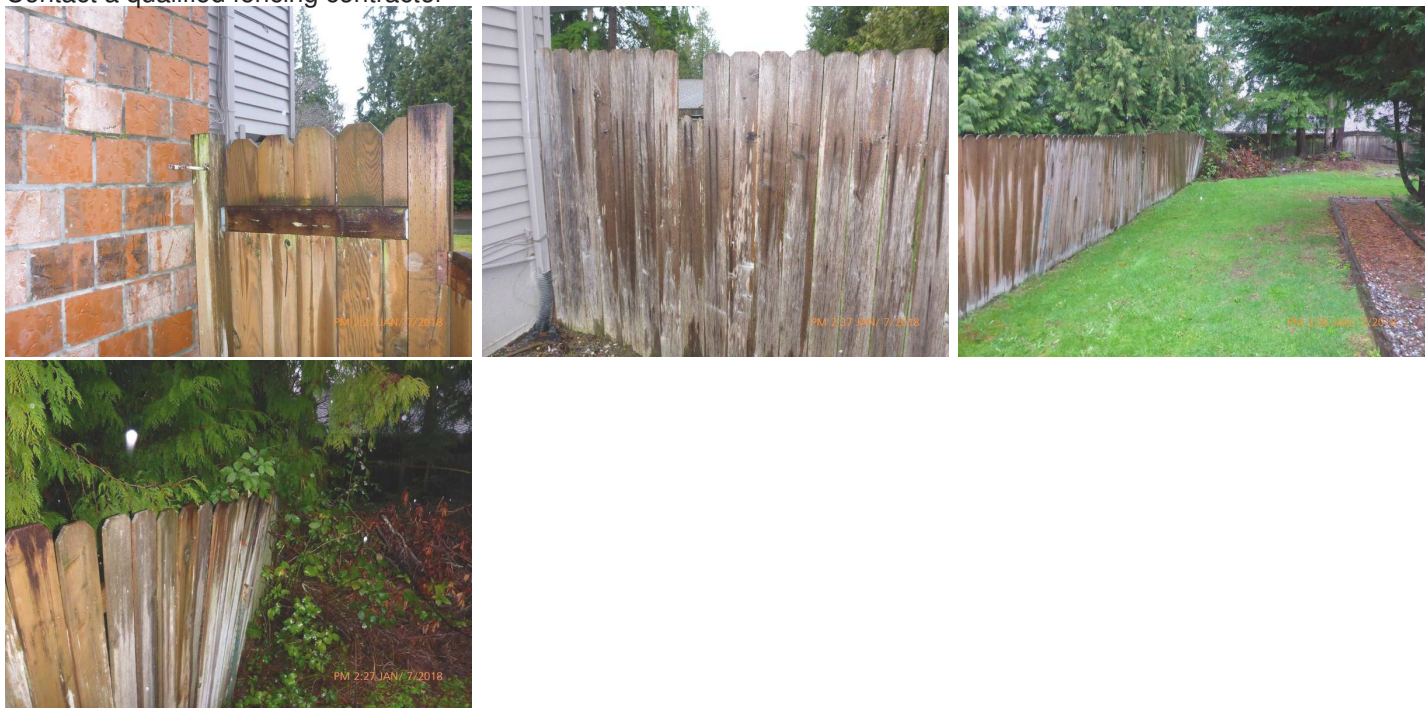
2.21.1 Fencing

FENCE POST DAMAGED/MISSING

 Recommended Repair

A fence panel is leaning due to a broken/missing fence post. Have a licensed contractor repair/replace the broken/missing fence post.

Recommendation
Contact a qualified fencing contractor



3.2.1 Roof Drainage Systems

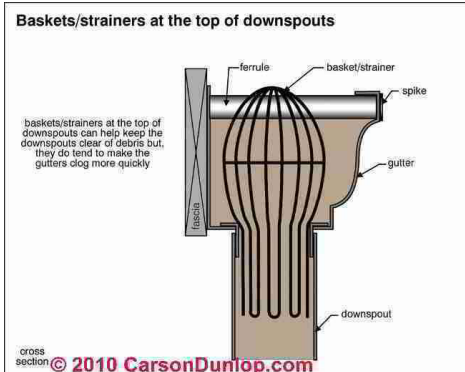
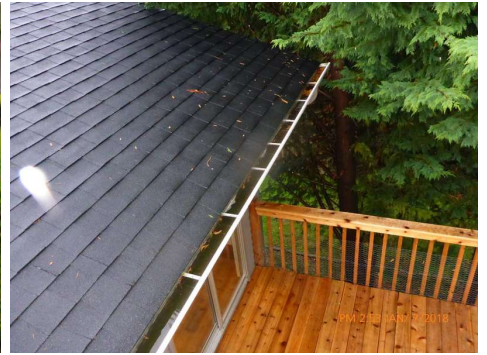
DEBRIS IN GUTTER

 Recommended Repair

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow. Install basket strainers in the downspout openings in the gutters to help prevent debris from clogging the footing drains.

[Here is a DIY resource](#) for cleaning your gutters.

Recommendation
Contact a qualified handyman.



Basket Strainer

3.2.2 Roof Drainage Systems

DOWNSPOUTS DRAIN NEAR HOUSE

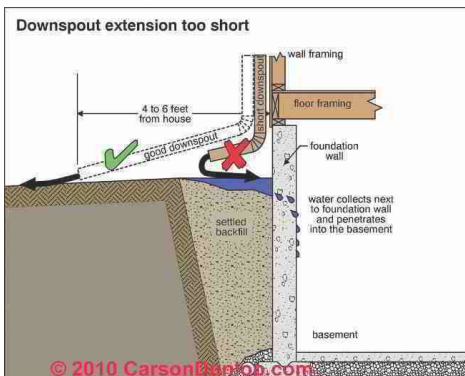
WEST SIDE

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor adjust downspout extensions to drain at least 6 feet from the foundation.

[Here is a helpful DIY link](#) and video on draining water flow away from your house.

Recommendation

Contact a qualified professional.



Downspout Extension



3.3.1 Flashings

CHIMNEY FLASHING

The flashing at the chimney is improperly installed. It is making a dam and holding water. That water may be seeping below the shingles and reaching the wood decking. Have a licensed contractor replace the flashing so that water can drain off the roof.

Recommendation



Contact a qualified roofing professional.



3.4.1 Chimneys

CHIMNEY CAP MISSING



Recommended Repair

No chimney cap was observed. This is important to protect from moisture intrusion and protect the chimney. Recommend installing a cap over the flue opening.

Recommendation

Contact a qualified roofing professional.



3.4.2 Chimneys

HEAVY MOSS GROWTH



Recommended Repair

Clean moss off chimney. The moss retains moisture that can deteriorate the mortar joints and crown. Have a licensed contractor power wash the chimney. Cracks in the crown should be caulked with a high-quality caulk.

Recommendation

Contact a qualified professional.



4.2.1 Garage Structure

DAMAGED DRYWALL



Safety Hazard

Damaged drywall at walls and/or ceiling in garage adjacent to the living space is a safety hazard. Smoke, fire and toxic fumes could enter the house through the damaged drywall harming the occupants. Have a licensed contractor fill cracks in the drywall and repair damaged drywall.

Recommendation

Contact a qualified drywall contractor.



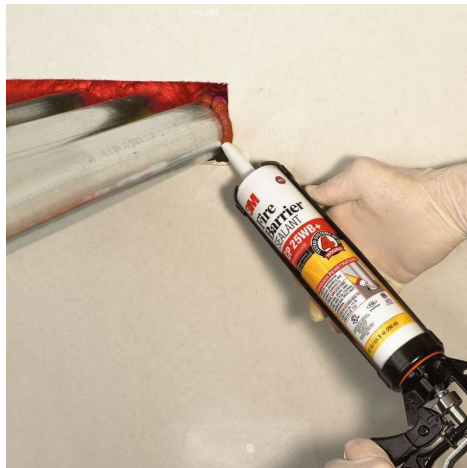
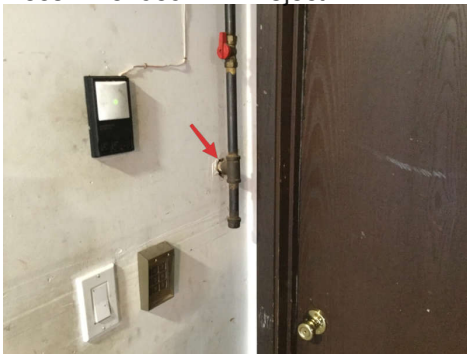
4.2.2 Garage Structure

ADD FIRE-CAULK IN WALL / CEILING PENETRATIONS

 Safety Hazard

Holes in drywall around penetrations could allow smoke and fire to spread to the living space quickly. Fill the holes with a fire-caulk or fire-retardant expanding foam.

Recommendation
Recommended DIY Project



Fire Caulk



Fire-Foam

4.4.1 Door Opener

PHOTOELECTRIC SENSORS MISSING OR IMPROPERLY INSTALLED

 Safety Hazard

The overhead garage door is missing photoelectric edge sensors. The sensors work by reversing the door if an obstacle is in the path of the door. People could be injured or property can be damaged without operable sensors. Have a licensed contractor install new photoelectric edge sensors to help prevent personal injuries or property damage.

Recommendation
Contact a qualified garage door contractor.



Photo-electric sensors are at ceiling. They should be at the door rail near the



photo-electric sensor should be here.

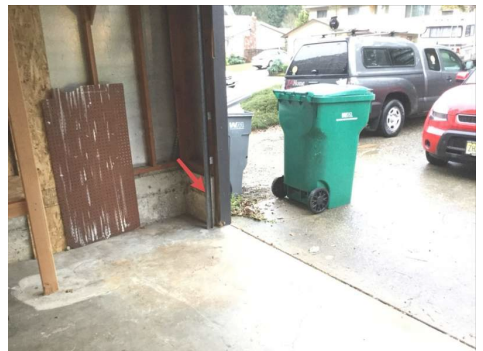


photo-electric sensor should be here

garage floor.

4.4.2 Door Opener

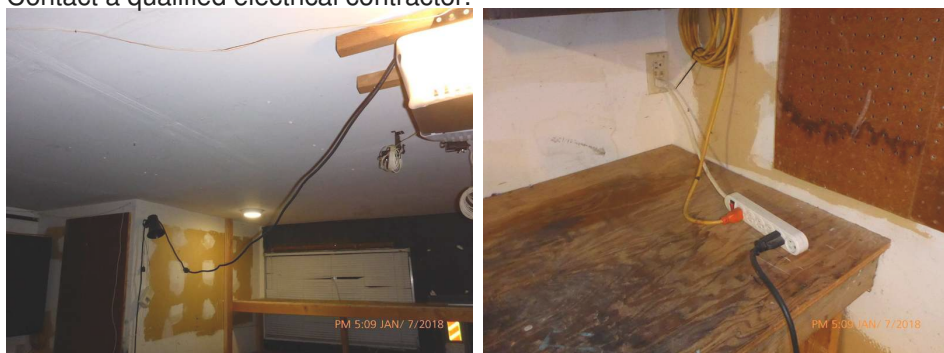
EXTENSION CORD

Recommended Repair

GARAGE

An extension cord is feeding power to the garage door opener. The cord sweeps across a wall and ceiling to reach the opener. Recommend having a licensed contractor install a new outlet close to the opener to eliminate the cord.

Recommendation
Contact a qualified electrical contractor.



4.4.3 Door Opener

OPENER NOT FUNCTIONING PROPERLY

Recommended Repair

The garage door opener was operating normally the first few times it was opened and closed. After the 3rd or 4th cycle of opening and closing, the door did not want to stay closed. The door lowered to within 1 foot of the garage floor and then pop back up to the open position. Have a licensed contractor make adjustments to the opener and the safety features so that the opener works reliably.

Recommendation
Contact a qualified garage door contractor.

4.5.1 Garage Pedestrian Door

MISSING AUTO-CLOSING HINGES

Safety Hazard

The pedestrian door is missing auto-closing hinges. Garage sourced gases and fire could spread quickly into the dwelling if the pedestrian door was left open. Have a licensed contractor install new auto-closing hinges on pedestrian door.

Recommendation
Contact a qualified handyman.



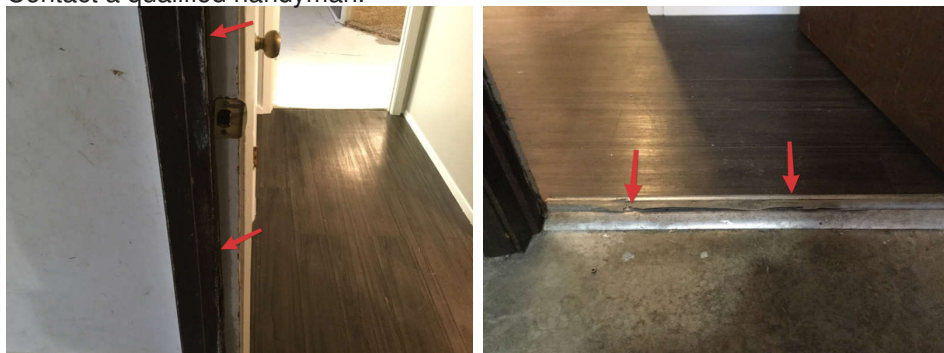
4.5.2 Garage Pedestrian Door

MISSING WEATHERSTRIPPING / THRESHOLD

Safety Hazard

The garage pedestrian door is missing weatherstripping and/or a threshold. The weatherstripping and threshold help prevent toxic fumes such as CO2 gases, smoke and flames from entering the living space through the garage. Have a licensed contractor install new weatherstripping and/or threshold around the garage door frame.

Recommendation
Contact a qualified handyman.



5.1.1 Water Heater

MISSING EXPANSION TANK



Missing an expansion tank at the water heater. A safety device known as a **water heater expansion tank** (sometimes called a thermal **expansion tank**) **can** help minimize the risk of pressure damage to the plumbing system. ... Since **water** expands when it is heated due to thermal **expansion**, the **water heater** creates extra **water** volume every time it heats **water**. Have a licensed contractor install a new expansion tank.

Recommendation
Contact a qualified plumbing contractor.



Example of an Expansion Tank at Water Heater

5.1.2 Water Heater

MISSING SEISMIC STRAPS.



Install new seismic straps around the water heater to prevent it from tipping over in the event of an earthquake.

Recommendation
Contact a qualified handyman.

5.1.3 Water Heater

MISSING T&P DISCHARGE PIPE



With discharge/overflow pipe missing or too short; potential for scalding injuries. Have a licensed contractor install a new discharge pipe that terminates within 2 to 6 inches from the floor when the water heater is replaced.

Recommendation
Contact a qualified professional.



5.1.4 Water Heater

WATER TEMPERATURE

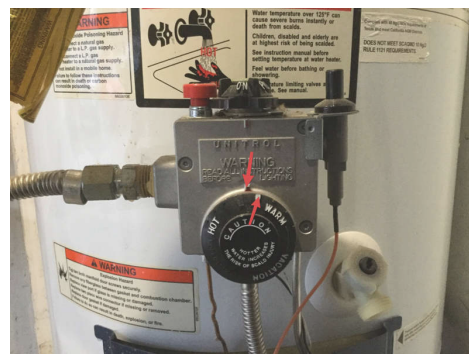


Safety Hazard

The water temperature is above the recommended water temperature of 120 degrees. Turn the water temperature dial(s) down to 120 degrees to prevent potential scalding injuries. Aligning the white triangles or red markers on the gas control housing and on the dial provide the 120 degree water temperature.

Recommendation

Recommended DIY Project



5.1.7 Water Heater

EXHAUST FLUE IMPROPERLY INSTALLED



Safety Hazard

The exhaust flue is loose and falling out of place. Exhaust gases are escaping into the garage and potentially into the living space above the garage. Have a licensed contractor repair the exhaust flue so that gases travel through the flue and diverted to the exterior of the house.

Recommendation

Contact a qualified plumbing contractor.



5.1.8 Water Heater

PLATE IS LOOSE



Safety Hazard

Plate loose. The plate should be reinstalled and fire-caulked to make it smoke and gas tight.

Recommendation

Contact a qualified HVAC professional.



5.2.1 Plumbing Fixtures

HOSE BIBS - ANTI SIPHON



Recommended Repair

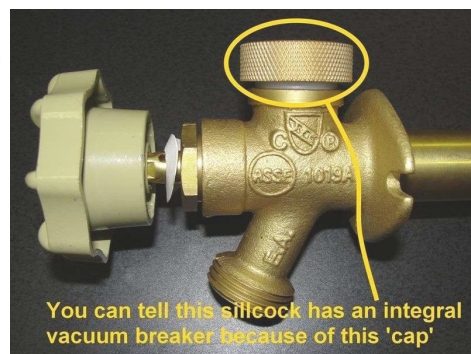
FRONT YARD, BACK YARD

Existing hose bib does not have anti siphon valve. The anti siphon valve prevents potentially contaminated water from being sucked back into the house's potable water supply in the event the municipal water system should lose water pressure. Install a new anti siphon hose bib or install an anti siphon valve at the existing hose bib. They can be found at any home improvement store.

Recommendation
Contact a qualified plumbing contractor.



Example of Anti-Siphon Valve added to Existing Hose Bib



Example of Anti-Siphon Hose Bib

5.2.2 Plumbing Fixtures

SINK VANITY LOOSE

LAUNDRY

The vanity is loose. Have a licensed contractor secure it to the wall. A secured cabinet will prevent the plumbing drain and water supply lines from being damaged.

Recommendation
Contact a qualified handyman.



Recommended Repair



5.5.1 Water Distribution Material

LEAKING WATER VALVE

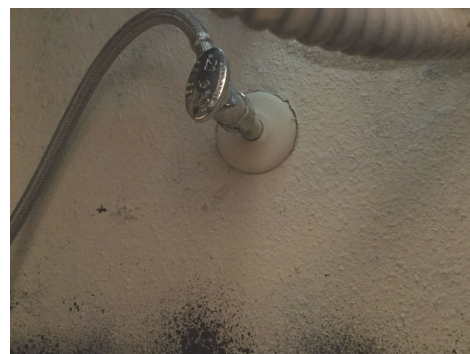
KITCHEN

Evidence of water leak at water shut off valve. Replace with new valve.

Recommendation
Contact a qualified handyman.



Recommended Repair



Dishwasher Valve

6.1.1 Electric Panel

SUB PANEL AND CONNECTIONS



Recommended Repair

The conduit and fittings leading up to the hot tub sub panel or falling apart leaving the wires exposed. Have a licensed contractor reconnect the fittings and conduit so that the electrical wires are protected.

Recommendation
Contact a qualified electrical contractor.



6.5.1 Light Switches

COVER PLATES MISSING



Safety Hazard

One or more receptacles are missing a cover plate. This causes short and shock risk. Recommend installation of plates.

Recommendation

Contact a qualified handyman.



6.6.1 Receptacles

MISSING COVER PLATES



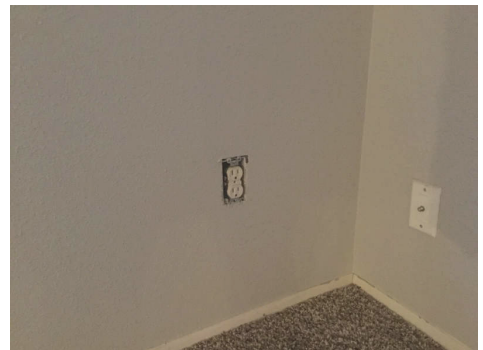
Safety Hazard

LIVING ROOM

Receptacle(s) missing cover plates. Potential electric shock. Install new covers.

Recommendation

Recommended DIY Project



6.6.2 Receptacles

RECEPTACLES NOT WORKING - INTERIOR



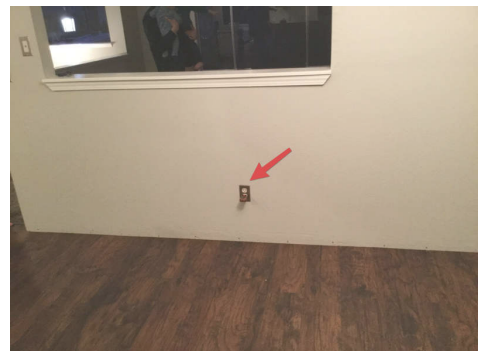
Recommended Repair

KITCHEN

There are non-working receptacles in the house. It is unknown why these receptacles are not working. Have a licensed contractor further evaluate the non-working receptacles and make repairs to the electric system as needed.

Recommendation

Contact a qualified electrical contractor.



6.7.1 GFCI & AFCI

MISSING GFCI RECEPTACLES IN KITCHEN / BATH



Safety Hazard

Electric receptacles within 6 feet of a water source should be GFCI protected. Recommend having a licensed electrician install new GFCI outlets in wet locations of the house.

[Here is a link](#) to read about how GFCI receptacles keep you safe.

Recommendation

Contact a qualified electrical contractor.



6.8.1 Smoke Alarms

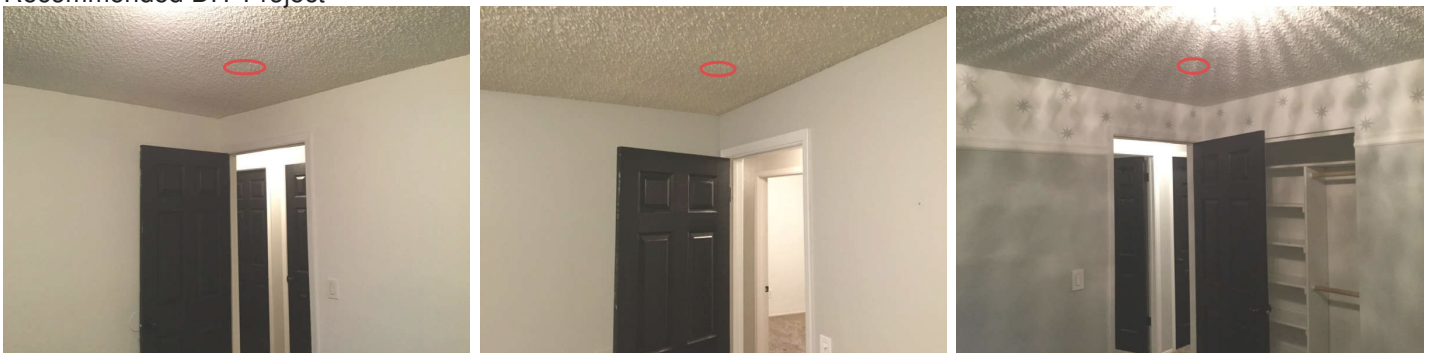
MISSING SMOKE ALARMS - BEDROOMS

 Safety Hazard

Install a new photoelectric smoke alarm in each bedroom. Smoke alarm should be located within 3 feet of the bedroom door.

Recommendation

Recommended DIY Project



6.9.1 Carbon Monoxide Alarms

MISSING CARBON MONOXIDE ALARM

 Safety Hazard

CO Alarms should be installed in hallways adjacent to bedrooms. Have a licensed contractor install a new CO alarm at each hall adjacent to bedrooms.

Recommendation

Recommended DIY Project

7.1.2 Heating Equipment

BLOWER - EXCESSIVE NOISE

 Recommended Repair

Furnace blower was excessively noisy during operation. Recommend a qualified HVAC technician evaluate and repair.

Recommendation

Contact a qualified HVAC professional.



7.1.4 Heating Equipment

WEATHERSTRIPPING AT FURNACE DOOR

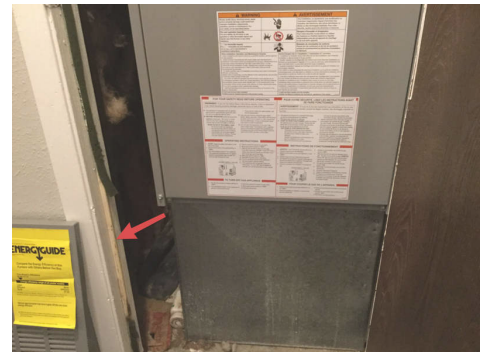


Recommended Repair

Missing weatherstripping at furnace door. Since there is direct venting from the garage into the furnace closet, this door should be fire-rated and have weather stripping and air-tight threshold like a typical exterior door would have. Have a licensed contractor install new weatherstripping to door jamb and install a gasketed threshold / door sweep. If the closet door is hollow, replace it with a new fire-rated door.

Recommendation

Contact a qualified general contractor.



7.1.5 Heating Equipment

MAKEUP AIR MAY BE CONTAMINATED



Safety Hazard

The furnace closet has 2 vents in the garage that provide air supply for the combustion of natural gas. Toxic fumes originating from the garage could be sucked into the furnace. It is recommended that make up air is taken from the exterior of the house such as a side wall or roof. Have a licensed HVAC professional further evaluate the furnace and alternate make up air supply sources.

Recommendation

Contact a qualified HVAC professional.



Make up air vents on left side of furnace. Direct line to garage.

8.1.1 Walls

CAULK IN POOR CONDITION



Recommended Repair

TUB SURROUND

Have a licensed contractor remove the deteriorating caulk and install new caulk.

Recommendation

Contact a qualified handyman.



8.1.2 Walls

MINOR WALL DAMAGES

Throughout the house, there are minor wall damages due to child gates and every day living. Have a licensed contractor patch all of the wall dings throughout the house. Paint the repairs to match the surrounding color.

Recommendation

Contact a qualified drywall contractor.



Recommended Repair



8.1.3 Walls

POOR PATCHING

HALL, HALL BATH

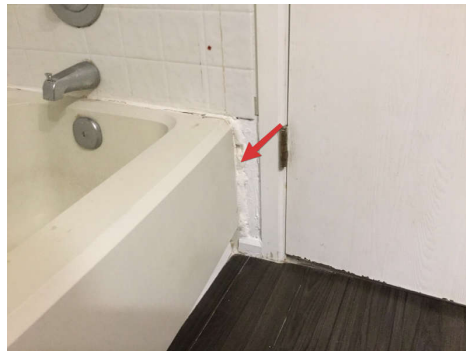
Sub-standard drywall patching observed at time of inspection. Recommend re-patching.

Recommendation

Contact a qualified drywall contractor.



Recommended Repair



8.1.4 Walls

SHOWER SURROUND DAMAGED

The old shower door and frame have been removed. The result are screw holes and adhesive left on the walls. Have a licensed contractor repair or replace the damaged shower surround.

Recommendation

Contact a qualified handyman.



Recommended Repair



8.2.1 Ceilings

ACOUSTIC TEXTURE

 Safety Hazard

The acoustic texture may potentially contain asbestos; a material that can be hazardous to people. If disturbed, the asbestos fibers could be inhaled and cause damage to the lungs. If the ceiling texture is to be removed, recommend having a licensed contractor safely remove it. Otherwise, the texture if left undisturbed can be harmless.

Here is a link to a local asbestos testing lab; <http://www.seattleasbestostest.com/asbestos-house-buying.html>

You may also want to contact similar testing labs to find good pricing.

Recommendation

Contact a qualified professional.

8.2.2 Ceilings

UNFINISHED CEILINGS

 Recommended Repair

BASEMENT BEDROOM

Ceilings are unfinished. Tape, joint compound poorly applied. Have a licensed contractor finish the ceilings where needed.

Recommendation

Contact a qualified professional.



8.3.1 Floors

UNFINISHED FLOORS

 Recommended Repair

It is unknown why flooring is missing in a portion of the basement. Was there a water issue? Mold? Mildew? Recommend asking the seller if any event occurred that required them to remove the flooring. Finish floors in basement if there are no underlying issues.

Recommendation

Contact a qualified flooring contractor



8.4.1 Trim

MISSING TRIM

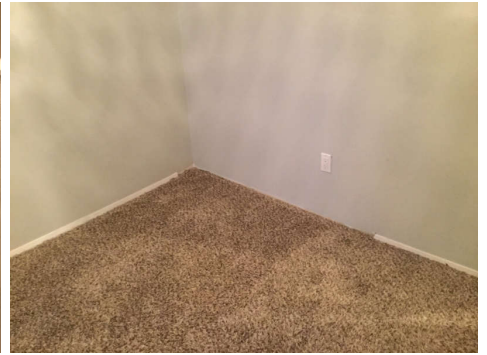
 Recommended Repair

LAUNDRY , BACK BEDROOM

Trim boards are missing throughout the house. Have a licensed contractor install trim at door frames, window frames, floor base and ceiling.

Recommendation

Contact a qualified carpenter.



8.7.1 Countertops & Cabinets

CABINET DRAWER SLIDER

KITCHEN

Sliding shelf bracket off track. Repair or replace.

Recommendation

Contact a qualified handyman.



Recommended Repair



8.8.1 Doors

DOOR RUBBING FLOORING

BASEMENT BEDROOM

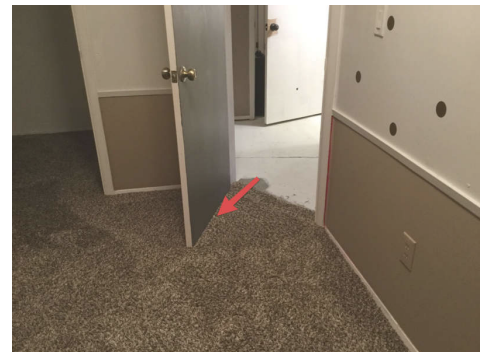
Interior door is rubbing against the flooring. Have a licensed contractor trim about 1 to 2 inches off the bottom of the door so that there is a gap between the bottom of the door and the flooring. Install a rubber door sweep to help keep the door weather tight.

Recommendation

Contact a qualified handyman.



Recommended Repair



8.10.1 Bathroom Hardware

MISSING BATHROOM HARDWARE

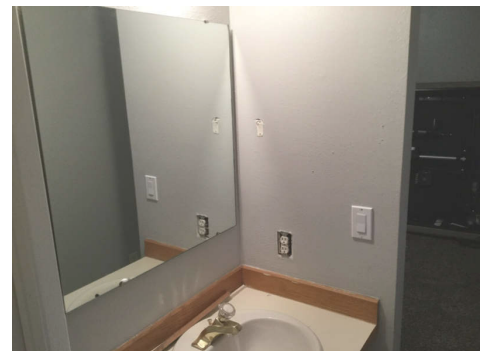
Bathroom missing towel bar(s) and toilet paper holder. Have a licensed contractor install new bathroom hardware.

Recommendation

Contact a qualified handyman.



Recommended Repair



8.12.1 Closets

CLOSET DOORS MISSING

BASEMENT BEDROOMS , BACK BEDROOM

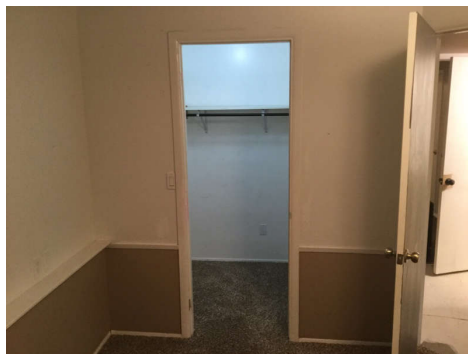


Recommended Repair

Closet doors missing. Have a licensed contractor install new doors or reinstall existing doors at all closets. Replace damaged door hardware if needed.

Recommendation

Contact a qualified carpenter.



9.1.1 Fireplaces

FIREBOX DIRTY

Recommended Repair

Clean out the fire box. Have a licensed contractor check the flue for creosote. Clean as needed.

Recommendation

Contact a qualified repair chimney contractor.

9.1.2 Fireplaces

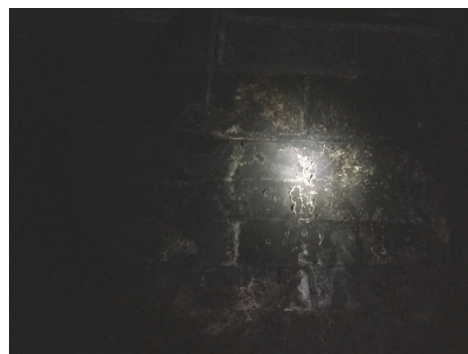
FIREWALL CRACKED

Safety Hazard

The brick lining of the fireplace was cracked in one or more places, which could lead to chimney damage or toxic fumes entering the home. Recommend a qualified fireplace contractor evaluate and repair.

Recommendation

Contact a qualified fireplace contractor.



9.3.1 Chimney & Vent Systems

CONDITION OF FLUE UNKNOWN

Safety Hazard

The chimney flue was not visible for inspection. Have a licensed contractor clean the flue before using the pellet stove.

Recommendation

Contact a qualified repair chimney contractor.

10.1.1 Attic Insulation

ATTIC INSULATION DISTURBED

Recommended Repair

The attic insulation has been disturbed and compressed by people working in there. The insulation has been compressed or pushed out of position. Consider having a licensed contractor redistribute the existing insulation so that it evenly covers the attic floor.

Recommendation

Contact a qualified insulation contractor.



10.1.2 Attic Insulation

INADEQUATE INSULATION

Recommended Repair

Insulation depth was inadequate. Inadequate insulation in the attic results in a colder living space and higher heating costs in the winter. Recommend a qualified insulation contractor install additional insulation to raise the insulation value to between R-38 and R-60.

Recommendation

Contact a qualified insulation contractor.

10.3.1 Exhaust Systems

DIRTY DRYER DUCT

Recommended Repair

The dryer duct has built-up dryer lint in it. The lint could potentially clog up the duct and cause the dryer to perform poorly or even catch fire. Recommend having a licensed air-duct cleaning company clean out the dryer duct.

Recommendation

Contact a qualified professional.



10.3.2 Exhaust Systems

DIRTY EXHAUST FAN

Recommended Repair

BATHROOMS, LAUNDRY, KITCHEN

Clean the exhaust fan to ensure it is removing excess moisture from the house. Recommend replacing the old, inefficient exhaust fan with a new, more efficient fan.

Recommendation

Recommended DIY Project



12.1.1 Garbage Disposal

AGE



Recommended Repair

The garbage disposal is an older model and may be reaching the end of its lifespan. Expect to replace it soon.

Recommendation

Contact a qualified professional.

12.1.2 Garbage Disposal

OLD APPLIANCE



Recommended Repair

The disposal is older and may be reaching the end of its life. Expect to replace it soon.

Recommendation

Contact a handyman or DIY project

12.4.1 Exhaust Hood

DIRTY FILTER



Recommended Repair

The air filter at the exhaust hood is dirty. Clean the filter with warm soapy water, dry and then reinstall.

Recommendation

Contact a qualified professional.

