



## SUMMARY

1234 Main St. Greenville South Carolina  
29615

Buyer Name  
01/23/2019 9:00AM

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The Report Summary section is intended to help save you time, and to be a tool to assist our clients and their representative(s) in preparing a repair request, if and when applicable. **THIS IS NOT A LIST OF MANDATORY REPAIRS** BUT A LIST OF **SUGGESTED** REPAIRS OR UPGRADES. The Report Summary is intended to follow the flow of the main body of the Property Inspection Report. The order of repair priority is left up to the sole discretion of the client. This summary contains only those items identified as **Deficient** in the opinion of the inspector. You should read and understand the entire Home Inspection Report prior to completing a repair request if applicable. This report contains technical information, if you do not understand or are unclear about some of the information contained in the body of this report; please call the office to arrange for a verbal consultation with your inspector.

**Call (864) 501-7593** Visit Our Website [info@AppleTreeInspections.com](mailto:info@AppleTreeInspections.com)

### 4.3.1 Trim, Soffits & Fascia

#### DAMAGED TRIM



Defect - (Not Working or Improper)

There is some damage or deterioration to the exterior trim (*mainly shown in the attached images*). Consider repair or replacement as needed.

#### Recommendation

Contact a handyman or DIY project



Garage Door Trim

### 6.6.1 Cabinets

#### CABINETS DAMAGED



Defect - (Not Working or Improper)

There was damage observed to the kitchen cabinets in one area. (*see the attached images*) The damage did not affect the operation of the cabinet door.



### 7.2.1 Food Waste Disposal **DISPOSAL LEAKING**

Defect - (Not Working or Improper)

The leak which was observed at the garbage disposal appeared to be the result of poor attachment at the sink drain or drain line connection. (see photos) I recommend correction to help prevent water damage to the cabinet and surrounding materials.

Recommendation  
Contact a qualified professional.

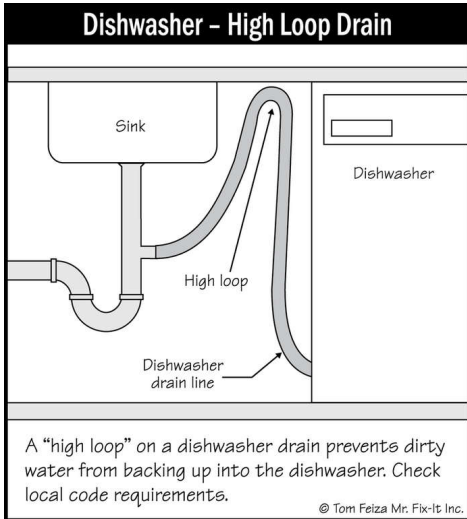


### 7.3.1 Dishwasher **NO ANTI-SIPHON DEVICE (LOOP)**

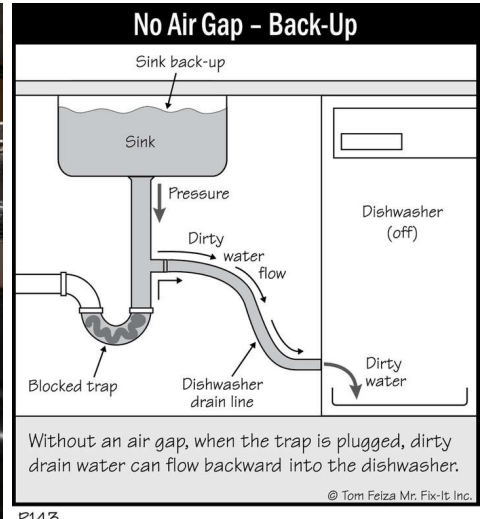
Defect - (Not Working or Improper)

An anti-siphon loop was not visible at the dishwasher drain line. (see photos) This is a concern because water from the sink can potentially siphon and flood through the dishwasher. Some newer dishwashers may have a built in anti siphon device directly behind the dishwasher. This is a simple and inexpensive item to verify and / or correct if needed.

Recommendation  
Contact a handyman or DIY project



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### 7.5.1 Range / Oven Combination

## RANGE ANTI - TIP BRACKET

I recommend that the range be fastened to the floor with a anti tip bracket. An anti tip bracket is a safety device installed on the back leveling foot of the range. It is intended to prevent the range from tipping over if a child were to stand on the open oven door. Here is an link to a helpful article online [Article Link](#)

Recommendation

Contact a handyman or DIY project

 Defect - (Not Working or Improper)



### 7.10.1 Bath Fans & Dryer Vent

## DRYER VENT CLEANING

Lint and other debris should be removed from the dryer vent cover and duct work. Although cleaning is a relatively minor maintenance / repair item, it is classified as a *(Material Defect)* because this item is a **safety concern**. Here is a link to a helpful article online [Article Link](#)

Recommendation

Contact a handyman or DIY project

 Material Defect - (Safety or Major Impact)

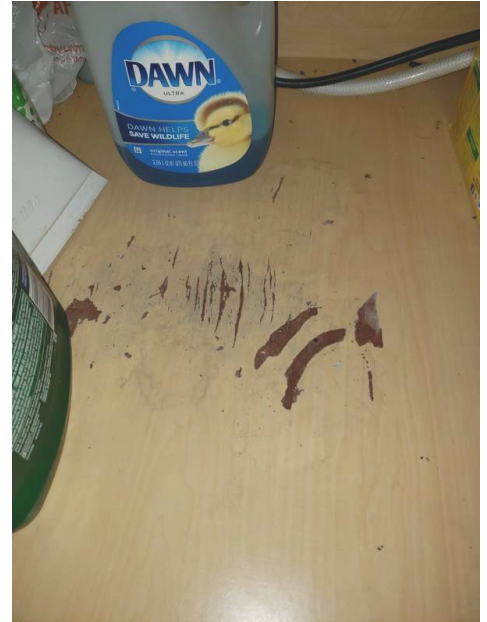


8.3.1 Kitchen Sink / Faucet

**WATER DAMAGE  
KITCHEN SINK CABINET**

 Defect - (Not Working or Improper)

Water damage was observed inside the kitchen sink cabinet. (see photos) There was a leak at the garbage disposal which is likely responsible for the water damage.



8.6.1 Toilets

**TOILET LOOSE AT FLOOR**

 Defect - (Not Working or Improper)

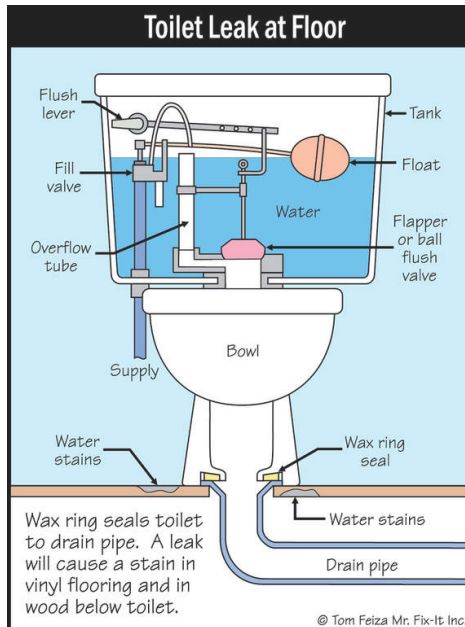
The toilet(s) (shown in the attached images) is loose at the floor and should be properly secured. Loose toilets are important to correct because the wax seal at the base of the toilet can break with movement causing moisture related problems or damage. No water damage was observed at the time of the inspection. Here is a link to a helpful article online [Toilet Loose](#)

Recommendation

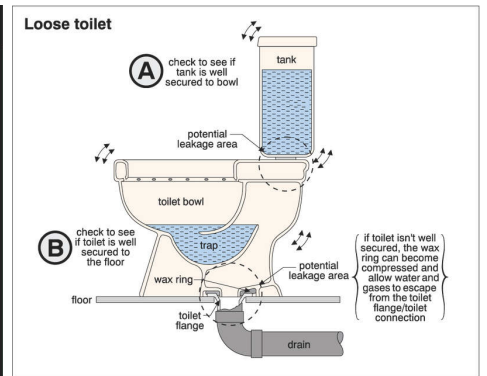
Contact a qualified professional.



Master Bathroom



P027C



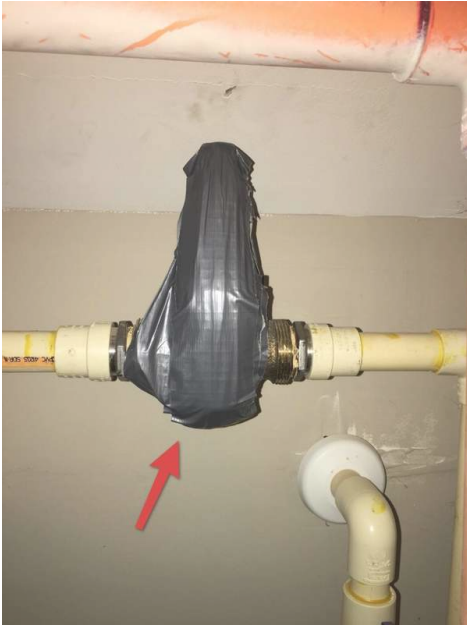
8.10.1 Water Supply & Distribution System

**IMPROPER REPAIR**

 Material Defect - (Safety or Major Impact)

There were indications of a improper plumbing repair observed at the time of the inspection. (see photos) Repairs performed with improper materials or methods may fail and cause water damage to the home. I recommend immediate correction by a qualified professional.

Recommendation  
Contact a qualified plumbing contractor.



### 10.3.2 Condensate

## SECONDARY CONDENSATE DRAIN PAN RUST

Defect - (Not Working or Improper)

The auxiliary or secondary drain pan located under the furnace or air handler, had water staining, discoloration and / or rust build up (see photos). This condition indicates that the pan holds water at times. It's possible that the staining / rust is from a past problem which may have been corrected. I suggest asking the seller about this condition. The cooling equipment may be in need of service and possible repair. It is generally recommended that heating and air conditioning equipment be serviced annually. The air conditioner performed as expected at the time of the inspection. Here is a link to a helpful article online [Article Link](#)

Recommendation  
Contact a qualified heating and cooling contractor

