



2.1.1 Driveway/Parking Lot

CRACKS (LARGE)

 Maintenance Item

Significant cracks were visible in the surface material at the time of the inspection. Large cracks should be filled with an appropriate sealant to avoid continued damage to the driveway surface from freezing moisture.

Recommendation

Contact a handyman or DIY project



2.3.1 Retaining Wall(s)

CRACK(S) (TYPICAL)

 Maintenance Item

Displacement or cracks are typical. Recommend you repair and monitor in the future. If the situation continues, contact landscape contractor for cost options to repair or replace.



2.5.1 Landscaping

TOO CLOSE TO HOME



Landscaping is in contact or too close to the home. Trim plants away from the structure by at least 8 - 12". This space is recommended to prevent direct access to the structure by insects and to keep the bushes from damaging the siding.

Recommendation

Contact a handyman or DIY project



3.1.1 Roof Coverings

MILDEW/LICHEN GROWTH



Organic growth in the form of mildew, lichen, or a combination of both was noted. This is a cosmetic issue and does not affect the shingles itself. If desired, contact a company familiar with "soft wash" roof cleaning to remove the growth.

Recommendation

Contact a handyman or DIY project

3.2.1 Roof Flashings

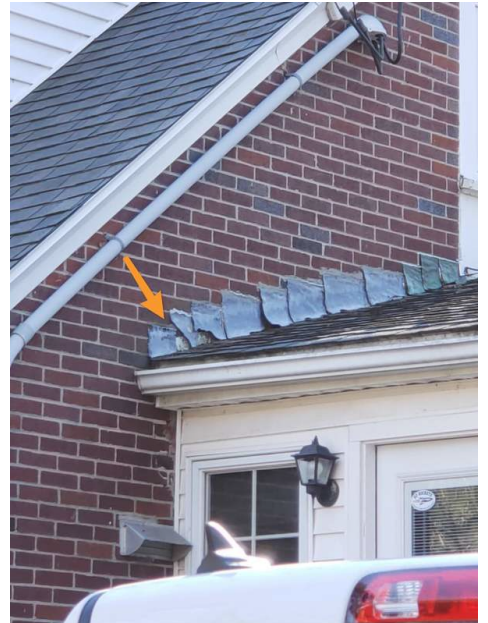
EXPOSED EDGES



Areas of the metal flashing are exposed to the weather and a potential of leakage could occur in wind-driven rain, usually, the side and top edges are covered by the roofing shingles. Further investigation and cost estimates to repair or replace are recommended.

Recommendation

Contact a qualified roofing professional.



3.2.2 Roof Flashings

SQUIRREL DAMAGE



Squirrel damage is noted. Repair is recommended to prevent water intrusion.

Recommendation
Contact a qualified chimney contractor.



3.5.1 Chimney
REPOINTING NEEDED

 Recommendation

Joints in the masonry have deteriorated. Repointing is recommended. (Repointing is the restoration of the mortar joints in the masonry).

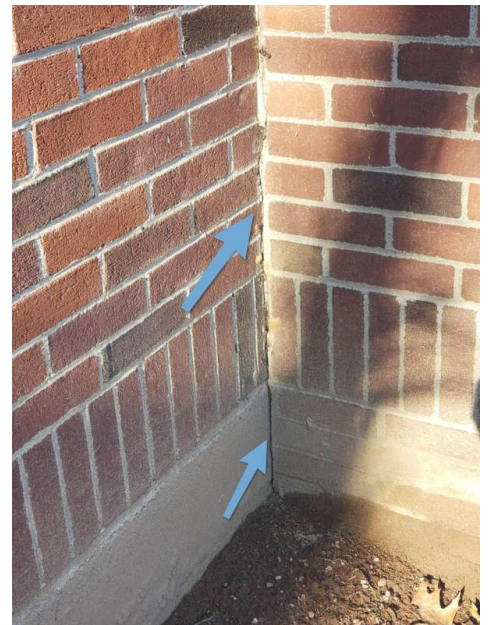
Recommendation
Contact a qualified chimney contractor.

3.5.2 Chimney
FOUNDATION CRACK (MINOR)

 Maintenance Item

A small crack is noted where the chimney foundation meets the house foundation. Recommend monitoring for future movement.

Recommendation
Contact a qualified professional.



3.6.1 Chimney 2
REPOINTING NEEDED

 Recommendation

Joints in the masonry have deteriorated. Repointing is recommended. (Repointing is the restoration of the mortar joints in the masonry).

Recommendation
Contact a qualified chimney contractor.

4.2.1 Exterior Stairs

REPOINT (MINOR)



The stair(s) have some minor separation. Repair is recommended to prevent moisture intrusion and freezing that could possibly damage the stair material.

Recommendation
Contact a qualified handyman.



4.6.1 Decks, Balconies & Porches

GUARDRAIL (CLIMBABLE)



Railing design made the handrail system climbable. Balusters should be installed with spacing no more than 4" between vertical balusters. Safe building practices dictate that the handrail system should not be climbable (especially by children). This condition may be hazardous to small children. Repair as needed

Recommendation
Contact a qualified professional.



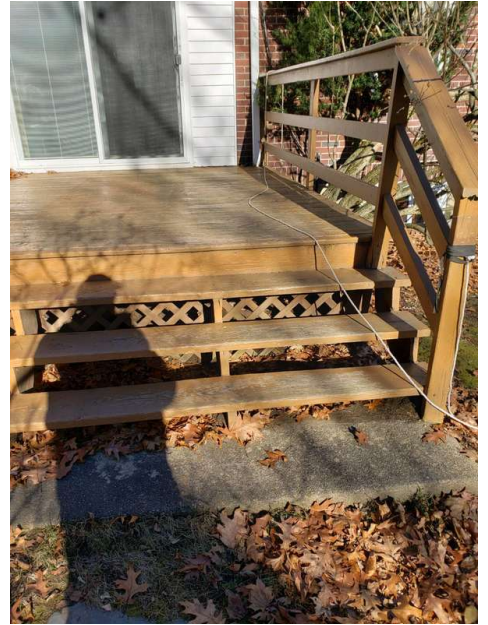
4.6.2 Decks, Balconies & Porches

STAIRS (NO RISERS)



The wooden stair(s) are missing risers. Risers are the vertical boards that rise up from one tread to the next. Repair is recommended.

Recommendation
Contact a qualified handyman.



5.1.1 Basement Staircase

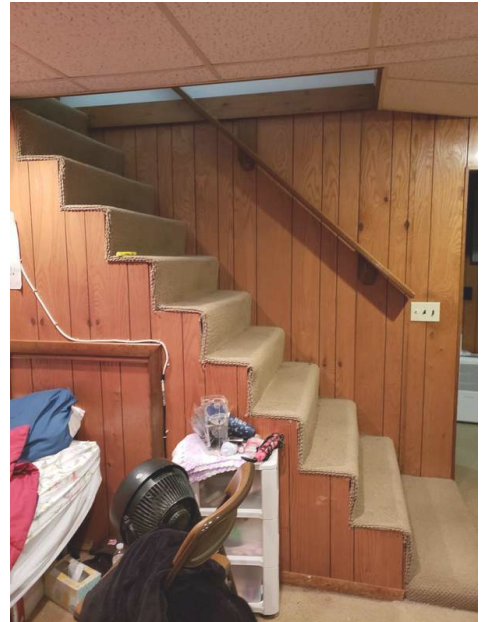
NO HANDRAIL (OPEN SIDE)

 Safety Hazard

The open side of the stairway is missing a graspable handrail. When the handrail is installed, balusters should be included and spaced no further than 4" apart for safety. Repair is recommended.

Recommendation

Contact a qualified carpenter.



5.1.2 Basement Staircase

STAIRS (UNEVEN RISERS)

 Recommendation

The stair risers are of various heights and pose a potential tripping situation, all risers should be no more than 8-1/4" in height. You may get used to these conditions but may have difficulty navigating stairway. If possible, updating to present standards is recommended.

Recommendation

Contact a qualified professional.



5.3.1 Floor Joists

CRACKED

Cracks in one or more joists were noted. Additional support or replacement may be needed. Repair is recommended.

Recommendation

Contact a qualified carpenter.



Recommendation



5.4.1 Subfloor

MOISTURE DAMAGE

One or more areas of moisture damaged wood were noted. Further investigation and or repair is recommended.

Recommendation

Contact a qualified carpenter.



Recommendation

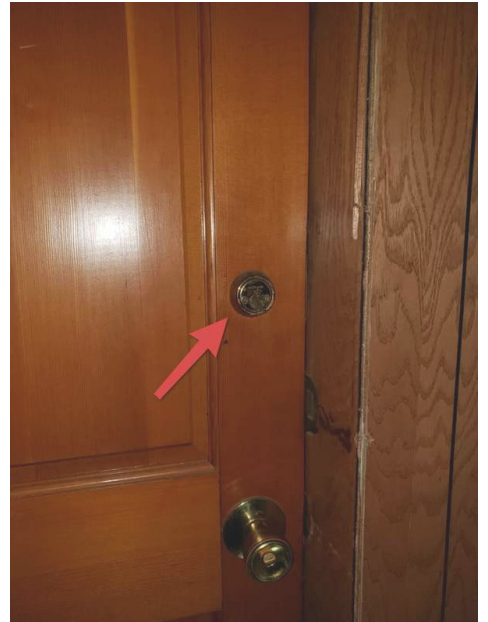


5.8.1 Basement Entry/Exit Door **DOUBLE KEYED DEADBOLT**

 **Safety Hazard**

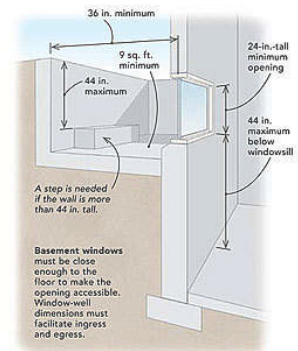
The door has a deadbolt that is keyed on both sides. This is a potential safety hazard if you need to exit the house quickly and there is no key readily available. Repair is recommended.

Recommendation
Contact a handyman or DIY project



5.9.1 Means Of Basement Egress **NO WINDOW EGRESS**

 **Safety Hazard**



This basement had no means of window egress. As a result of the lack of egress, the areas should not be considered as living space nor used as a sleeping area for safety reasons.

To comply with generally-accepted current standards, this basement should have a means of egress in addition to the stairway to the main floor. Means of egress are safe pathways to the exterior such as windows, window wells, etc. installed to allow escape and rescue in the event of an emergency such as a fire in which escape using the stairway is not possible. Proper egress openings have the following requirements:

Window requirements are as follows:

1. Minimum width of opening: 20 in.
2. Minimum height of opening: 24 in.
3. Minimum net clear opening: 5.7 sq. ft. (5.0 sq. ft. for ground floor)
4. Maximum sill height above floor: 44 in.

The window opening and any bars, grilles, grates or window well cover may be installed, but must be operational from the inside without keys, tools or special knowledge and must still provide the minimum clear opening.

Window wells must:

5. Allow the rescue window opening to be fully opened.
6. Provide 9 sq. ft. of "floor area," with a minimum dimension of 36 in. in width and in length.
7. Contain a permanently affixed ladder or steps for climbing out if the window well depth exceeds 44 inches in depth. The ladder must be at least 12 in. wide and project no less than 3 in. from the window well. It can't be obstructed by the open window or encroach on the required window well dimensions by more than 6 in.
8. Window wells may be made of rust-resistant metal, treated wood, wood naturally resistant to decay, concrete, masonry, or plastic. Some window well designs have steps built or molded into them.
9. If an egress window is located under a deck or porch, the code requires at least 48 inches between the top of the window well and the bottom of the deck or porch joists.

5.11.1 Dehumidifier

PRESENT BUT NOT WORKING



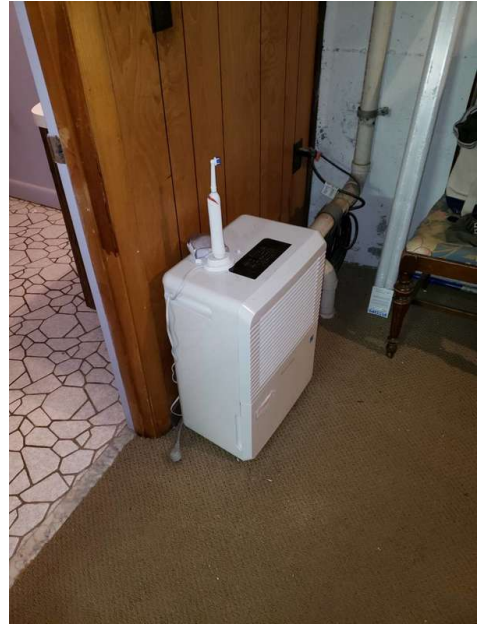
Maintenance Item

A dehumidifier was installed at the time of the inspection. It was not on or not working at the inspection.

The dehumidifier is easier to maintain if it drains constantly. If there is no sink that can be used as a drain, sometimes the heating system or A/C system in the basement will have a small condensate pump. This is a good location to allow drainage from the dehumidifier tank to drain into, the pump will come on as needed to evacuate any dehumidifier condensation. Pumps can also be purchased separately.

Recommendation

Recommended DIY Project



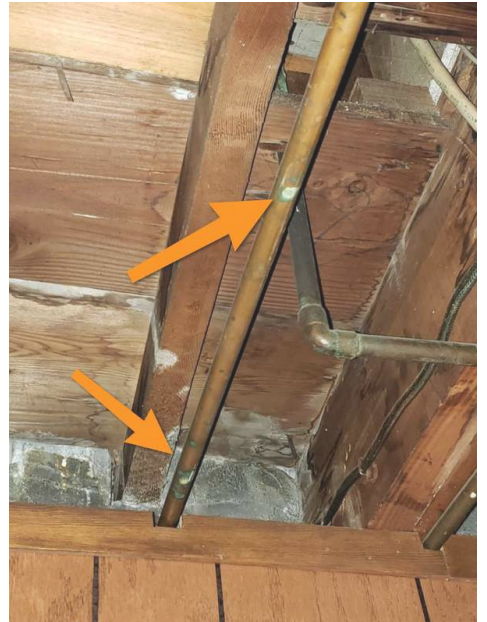
6.2.1 Domestic Water Supply Distribution System

CORROSION (NOT LEAKING)

Corrosion was noted in one or more areas of the water supply system. A visible build-up of mineral deposits or encrustation is an early warning sign of future leakage. Consider repair of the affected areas before leakage becomes an issue.

Recommendation

Contact a qualified plumbing contractor.



6.4.1 Hot Water Tank

OLDER TANK

BASEMENT

Keep in mind, the average lifespan for a hot water tank is anywhere between 8 and 12 years. This unit was manufactured in 2003 and is considered older and near its maximum lifespan. Expect to have to replace it in the near future.

Recommendation

Contact a qualified professional.



6.6.1 Toilet

STRANGE NOISE

2ND FLOOR BATHROOM

The toilet made a high pitch screeching noise while refilling the tank. Further investigation and or repair is recommended.

Recommendation

Contact a qualified professional.



Recommendation



6.8.1 Sinks/Vanity

FAUCET (LEAKING)

KITCHEN

The faucet was leaking. Repair is recommended.

Recommendation

Contact a handyman or DIY project



Maintenance Item



7.1.1 Service Entry

SERVICE ENTRANCE (METER SOCKET ROTTED)

The meter socket was rotted thru in one or more areas. The source of moisture needs to be identified and resolved. Replacement is needed.

Recommendation

Contact a qualified electrical contractor.



Safety Hazard



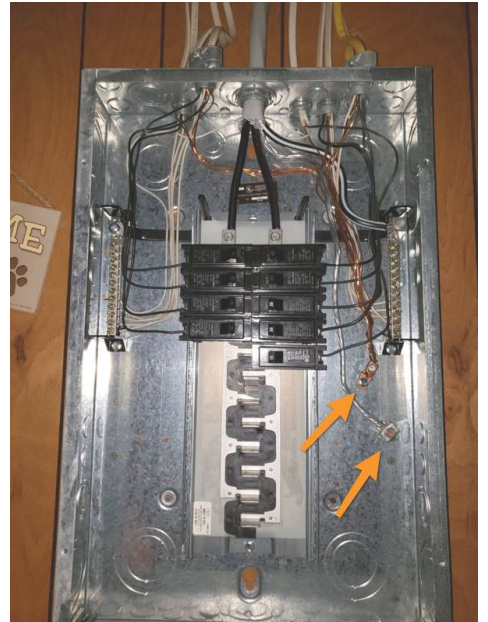
7.2.1 Panel Enclosure, Cover, & System Grounding

GROUNDING (FOOTLUG)

Multiple grounds are attached to a single "foot lug" screwed into the panel. This is not up to current standards. Further evaluation and or repair is recommended.

Recommendation
Contact a qualified electrical contractor.

 Recommendation



7.2.2 Panel Enclosure, Cover, & System Grounding

LEGEND INCOMPLETE

The breakers locations on the legend are not marked as to the rooms, areas, or appliances controlled. It is recommended that they are noted as soon as possible.

Recommendation
Contact a handyman or DIY project

 Recommendation

7.2.3 Panel Enclosure, Cover, & System Grounding

PANEL COVER (MISSING FILLER PLATES)

 Safety Hazard

One or more filler plates were missing from the panel cover. A gap in the dead front cover of the main electrical service panel where a circuit breaker was missing may allow a person to come into contact with energized electrical components. Repair is recommended.

Recommendation

Contact a qualified electrical contractor.



7.3.1 Condition Of Wiring In Panel

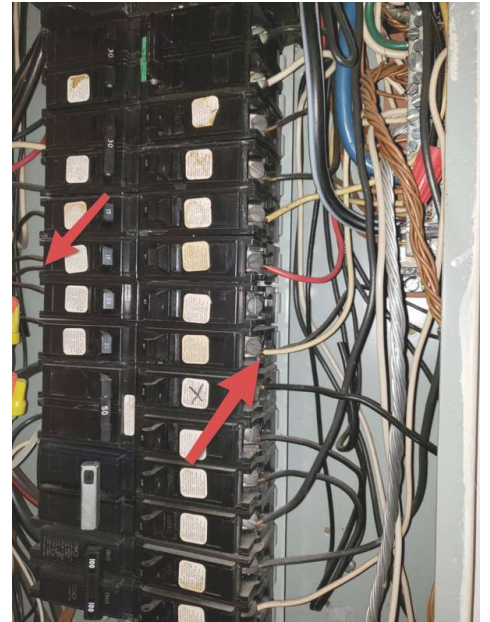
BREAKER (MULTI TAP)

 Safety Hazard

Two or more wires were connected to a breaker designed for only one wire. This is known as a "multi-tap" and is a defective condition. Further evaluation and or repair is recommended.

Recommendation

Contact a qualified electrical contractor.



7.3.2 Condition Of Wiring In Panel

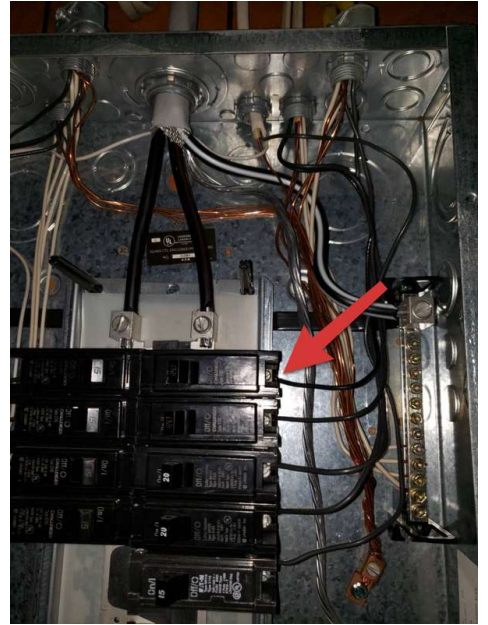
BREAKER (OVER AMPED)

 Safety Hazard

One or more over-amped breakers were found. Over-amped means that the breaker is rated to carry more amperage than the wire attached to it. An overdraw condition could cause melting, insulation overheating, or fire. Further evaluation and or repair is recommended.

Recommendation

Contact a qualified electrical contractor.

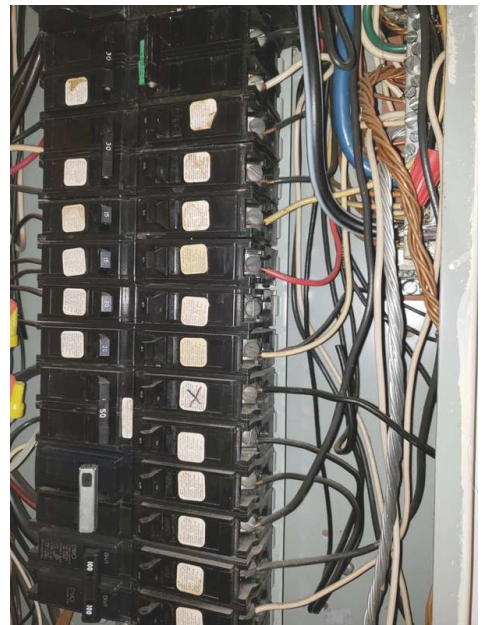


7.3.3 Condition Of Wiring In Panel
NEUTRAL BAR (MULTIPLE NEUTRALS, SAME SCREW)

One or more neutral (white) wires are under a single screw, this is not up to current standards. There should only be one neutral wire under each screw. Further evaluation and or repair is recommended.

Recommendation
Contact a qualified electrical contractor.

 Recommendation



7.3.4 Condition Of Wiring In Panel
OLDER WIRING TECHNIQUES

Older wiring techniques were noted. Consider having a qualified contractor update to current standards.

Recommendation
Contact a qualified electrical contractor.

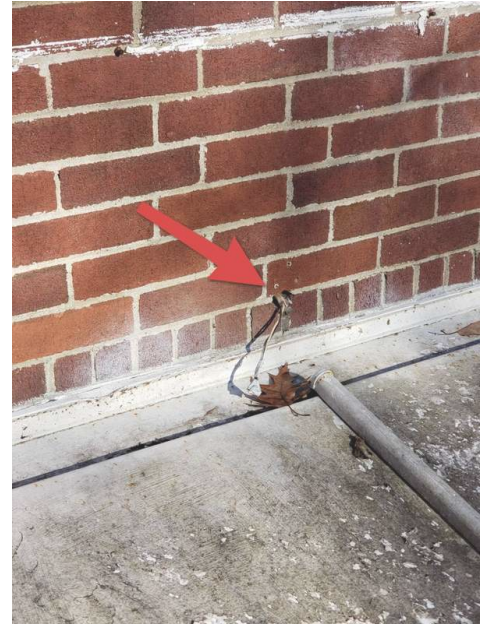
 Recommendation

7.4.1 Branch Circuit Wiring
WIRES (EXPOSED, UNCAPPED)

One or more uncapped wires are noted. Further evaluation and or repair is recommended.

 Safety Hazard

Recommendation
Contact a qualified electrical contractor.



7.5.1 Switches, Receptacles & Lighting Fixtures
GFCI (MISSING)

 Recommendation

One or more areas of the home do not have Ground Fault Circuit Interrupt outlets installed. The age of the structure may predate the required installation; however, for safety considerations, it is strongly suggested that one is installed.

Recommendation
Contact a qualified electrical contractor.

7.5.2 Switches, Receptacles & Lighting Fixtures
OUTLET (2 PRONG)

 Recommendation

One or more outlets in the room included ungrounded 2-prong electrical outlets. These types of outlets are not generally considered to be safe as modern grounded outlets. Consider updating the existing condition to meet generally-accepted current safety standards

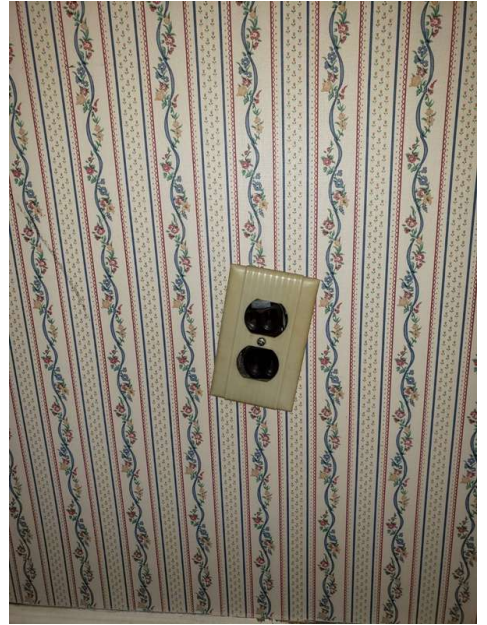
Recommendation
Contact a qualified electrical contractor.

7.5.3 Switches, Receptacles & Lighting Fixtures
OUTLET (DAMAGED)

 Safety Hazard

One or more outlets are damaged. Replacement is needed.

Recommendation
Contact a qualified electrical contractor.



2nd Floor Bedroom

7.5.4 Switches, Receptacles & Lighting Fixtures
OUTLET (UNGROUND 3 PRONG)

 Safety Hazard

One or more outlets are not grounded. Repair is recommended.

Recommendation
Contact a qualified electrical contractor.



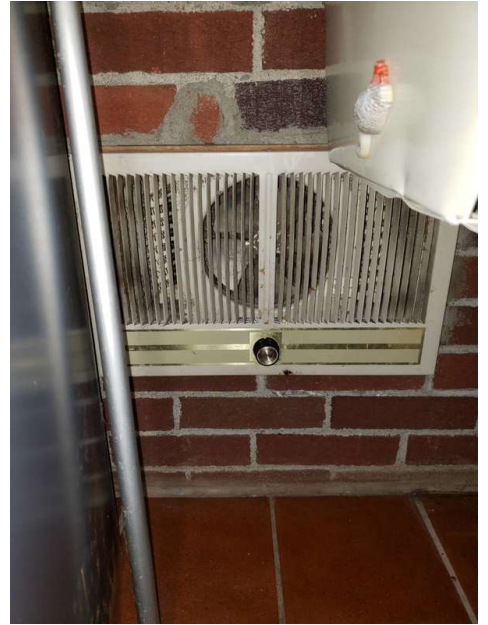
2nd Floor Bedroom

8.2.1 Electric Wall Heater
NO RESPONSE

 Recommendation

One or more electric wall heaters did not respond when tested.
Further investigation and or repair is recommended.

Recommendation
Contact a qualified professional.



9.4.1 Ventilation

NO VENTS

 Recommendation

The attic appeared to be un-vented. Further investigation and cost estimates are recommended to add ventilation to the attic.

Recommendation

Contact a qualified professional.

10.1.1 Interior Doors

DOOR (TIGHT)

 Recommendation

One or more doors are tight does not close properly. Repair is recommended.

Recommendation

Contact a handyman or DIY project

10.1.2 Interior Doors

STRIKER PLATE (ADJUST)

 Maintenance Item

One or more striker plates need adjustment to latch door closed, repair is recommended.

Recommendation

Contact a handyman or DIY project



10.4.1 Ceilings

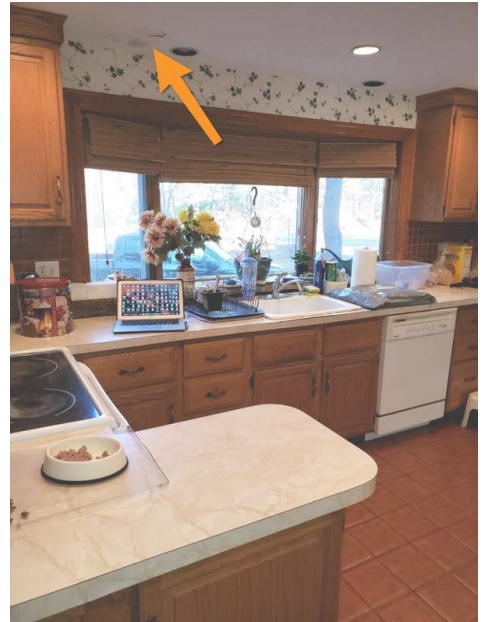
MOISTURE STAIN (DRY)

KITCHEN

One or more areas of the ceiling had unrepaired staining that indicates current or past moisture leakage at the ceiling(s). The stain(s) was dry at the time of inspection.

Check with current owner as to the history of moisture and or repair in these areas.

 Recommendation



12.1.1 Damper Doors

ADJUSTMENT NEEDED

LIVING ROOM

One or more fireplace dampers need to be adjusted so that it will have the full range of movement. Repair as needed.

Recommendation

Contact a qualified chimney contractor.

 Recommendation

