



3.3.1 Dishwasher

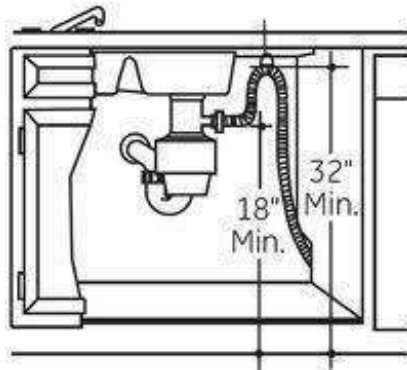
NO HIGH LOOP

KITCHEN

Dishwasher drain pipe was installed without a "high loop" to prevent cross-contamination. Recommend a handyman or DIY to repair. This will also prevent smells from accumulating from a low spot.

Recommendation

Contact a handyman or DIY project



Maintenance Items

3.4.1 Garbage Disposal

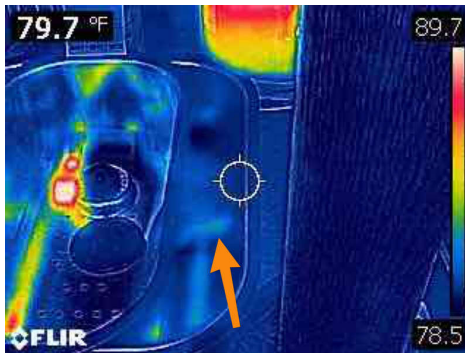
LEAKING GARBAGE DISPOSAL

KITCHEN

The garbage disposal is leaking or has been in the past and requires repair or replacement as necessary from a qualified technician.

Recommendation

Contact a qualified handyman.



Recommendations

3.4.2 Garbage Disposal

FROZEN

KITCHEN

The kitchen garbage disposal is frozen or does not work properly, most likely from inactivity. Garbage disposals usually come with a tool to free them. However, it is not uncommon for them to continue to freeze up, in which case they must be replaced.



Recommendations

Recommendation
Contact a qualified handyman.

3.5.1 Range

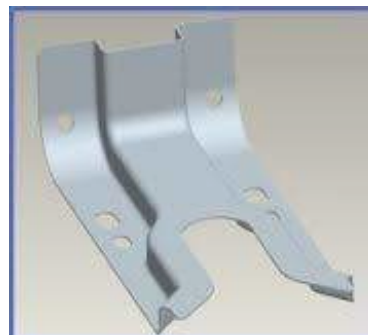
NO ANTI TIP DEVICE

The Anti Tip Device is missing from the range and one should be installed for safety.

Recommendation
Contact a qualified handyman.



Recommendations



Anti Tip Device

4.2.1 Countertop

TYPICAL WEAR AND TEAR

KITCHEN

The kitchen countertop showed typical wear and tear, or cosmetic damage that you should view for yourself.

Recommendation
Recommend monitoring.



Maintenance Items



5.11.1 Valves & Connectors

CORROSION LEFT SHUT-OFF VALVE

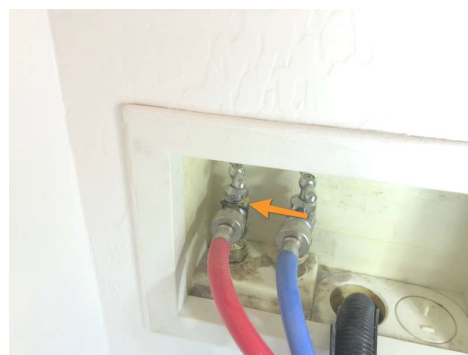
LAUNDRY ROOM

Corrosion and/or mineral build-up was observed on the left shut-off valve . This corrosion or build-up may prevent the shut-off valve from working properly, especially if emergency shut-off is needed. I recommend a qualified, licensed plumber should evaluate and repair or replace this valve or connection as necessary.

Recommendation
Recommend monitoring.



Maintenance Items



5.15.1 Dryer Vent

SEPARATED BEHIND THE DRYER

LAUNDRY ROOM



Maintenance Items

The dryer vent is separated behind the dryer and should be hooked up before use.

Recommendation

Contact a qualified handyman.



5.15.2 Dryer Vent

DRYER LINT IN THE ATTIC

LAUNDRY ROOM

There is a lot of dryer lint in the attic which can indicate a clogged or damaged dryer vent. I recommend further evaluation or service as necessary from a qualified technician.

Recommendation

Contact a qualified handyman.



Recommendations



6.6.1 Walls and Ceiling

TYPICAL SETTLEMENT CRACKING ON WALLS AND CEILINGS

GARAGE

Observed typical settlement type cracking on walls and ceilings.

Recommendation

Recommend monitoring.



Maintenance Items



7.1.1 Hot Water System 1

NO DRAIN PAN OR PIPE

The water heater is not equipped with a drain pan and a discharge pipe, which is designed to prevent water damage from a leak. Nevertheless, the water heater should be periodically monitored for any signs of a leak we recommend having one installed if feasible when the water heater is replaced.

Recommendation

Contact a qualified professional.



Maintenance Items



7.1.2 Hot Water System 1

WATER STAINS, RUST-LEAKAGE



Recommendations

Water stains, or rust were observed beneath water heater, indicating a past or present leak. Recommend further evaluation and repair or replacement by a qualified plumber.

Recommendation

Contact a qualified plumbing contractor.



7.3.1 Main Water Shut-Off, Distribution & Supply

WATER METER BOX LOCKED

The water meter box appears locked and we were unable to view the water meter. Recommend the water meter be inspected when access is available.

Recommendation

Contact a qualified professional.



Recommendations



7.5.1 Irrigation

MISSING DRIP HEADS

FRONT

There are missing drip heads or cracked drip lines on the irrigation system that need service or replacement. They are currently spraying uncontrolled in the yard when the system is turned on.

Recommendation

Contact a handyman or DIY project



Maintenance Items



7.6.1 Hose Bibs

NO ANTI-SIPHON VALVES

SOUTHWEST AT WATER SOFTENER

The hose bibs do not include anti-siphon valves. These valves are relatively inexpensive and are required by current standards. However, I may not have located and tested every hose bib on the property.

Recommendation

Contact a qualified handyman.



Maintenance Items



Anti Siphon

8.2.1 Foundation / Stem walls

EXPOSED METAL

 Recommendations

The exposed metal at one or more location(s) around the stemwall should be covered/sealed to prevent corrosion and deterioration.

Recommendation

Contact a qualified professional.



10.2.1 House Wall Finish

PAINT IS DISCOLORED

 Recommendations

ALL SIDES

The exterior paint is discolored at some areas around the residence. A likely result of normal wearing and its age. Most homes need a new exterior coat of paint every 10-12 years. I recommend further evaluation from a painter.

Recommendation

Contact a qualified painter.



10.2.2 House Wall Finish

DAMAGED SIDING OR STUCCO

FRONT

Observed areas of damaged siding or stucco around the residence that should be further evaluated and repaired to help prevent moisture intrusion issues. These damaged areas can allow moisture to penetrate the walls if not properly repaired.

Recommendation
Contact a qualified handyman.



Maintenance Items



10.6.1 Lights

SOME EXTERIOR LIGHTS DID NOT WORK.

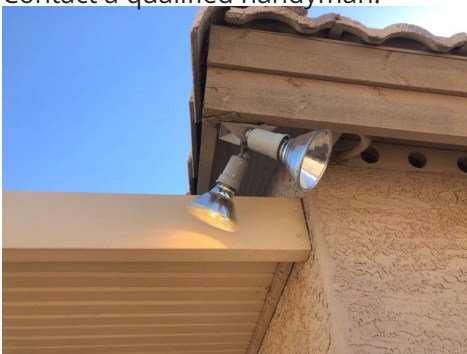
BACK

Observed exterior lights that did not work on demand and should be serviced as necessary or demonstrated. Maybe just bad bulbs?

Recommendation
Contact a qualified handyman.



Maintenance Items



FASCIA AND TRIM NEED TYPICAL MAINTENANCE

Sections of the fascia and trim need maintenance type service, paint etc.

Recommendation

Contact a qualified handyman.



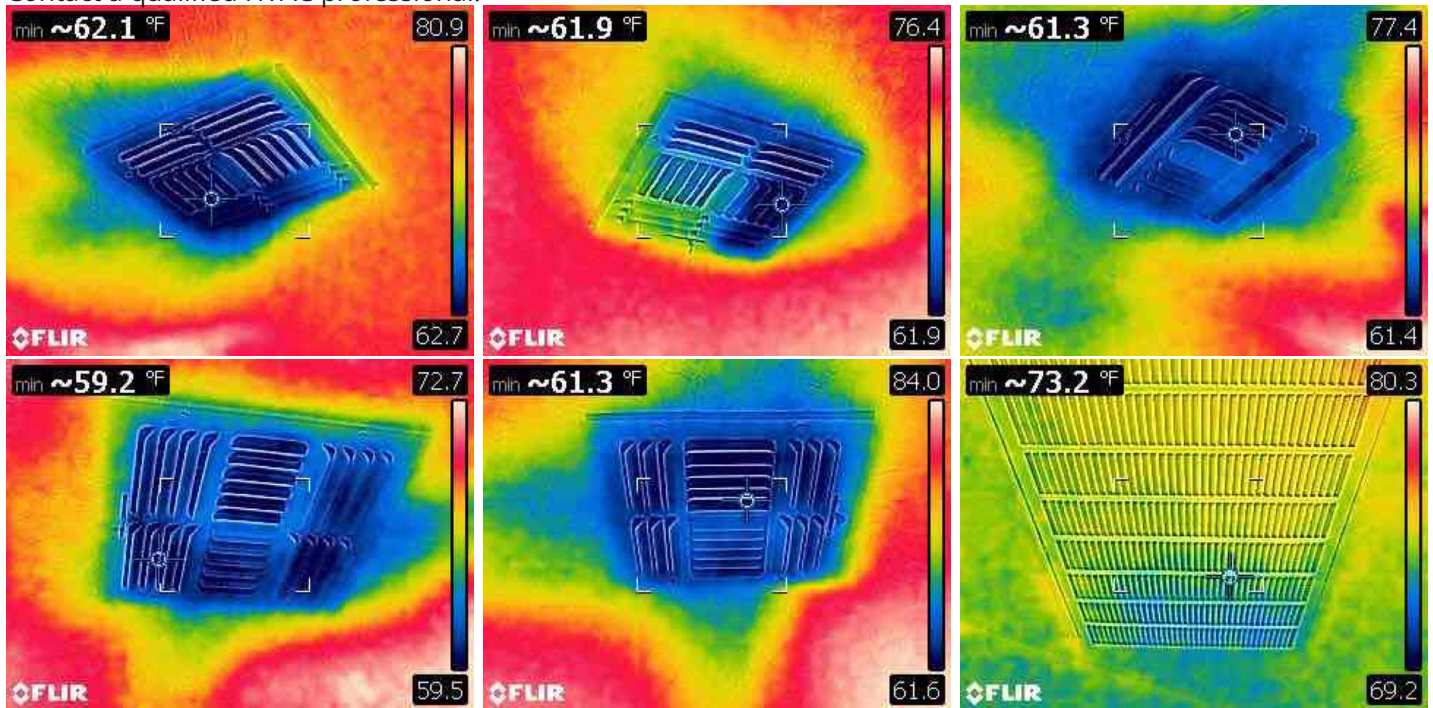
11.2.1 Differential Temperature Readings

AC LOW DIFFERENTIAL TEMPERATURE SPLIT

The air-conditioning responded, but only achieved a low differential temperature split between the air entering the system and that coming out. This could indicate that the system is low on refrigerant, or that other service is necessary, and should be serviced by a qualified, licensed HVAC professional within the inspection period or before the close of escrow.

Recommendation

Contact a qualified HVAC professional.



11.5.1 Condensing Coil (outside)

VIBRATING COIL

The Coil is vibrating which can have a adverse effect on a HVAC unit. I recommend you have a HVAC technician check this issue out and the entire system for other issues before the end of escrow.

Recommendation

Contact a qualified HVAC professional.



11.5.2 Condensing Coil (outside)

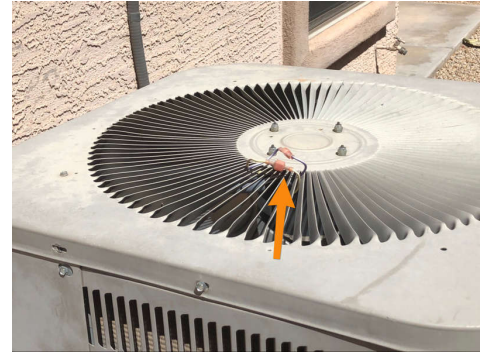
EXPOSED WIRING

The exposed wiring should be relocated for safety reasons.

Recommendation

Contact a qualified professional.





11.6.1 Refrigerant Lines

INSULATION MISSING

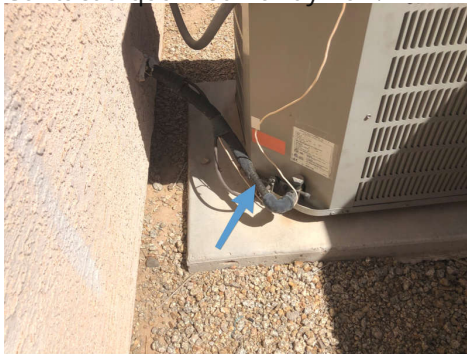


Maintenance Items

Insulation is missing from the refrigerant lines at the condensing coil, which could help inhibit condensation to form and drip within the wall, hvac foam should be installed for that reason and for increased efficiency. These are easily found at the hardware store.

Recommendation

Contact a qualified handyman.



Add insulation to refrigerant lines

11.9.1 Drip Pan

RUST STAINING IN PAN



Recommendations

The rust colored staining in the drain pan indicates a previous leak issue that may or may not have been corrected; most likely a clogged or blocked primary condensation drain line. I recommend further review from a qualified HVAC service to determine if this needs repair or not.

Recommendation

Contact a qualified HVAC professional.



16.6.1 Smoke Detectors

SMOKE DETECTOR DID NOT RESPOND

HALLWAY



Recommendations

The smoke detector did not respond, and should be serviced.

Recommendation
Contact a qualified handyman.

17.4.1 Windows

THE SEALS ARE DROOPING

HALLWAY BATHROOM

A window(s) seals are drooping this is mostly cosmetic however we recommend that you have a professional check out all the window seals in the residence if you are concerned.

Recommendation
Contact a qualified window repair/installation contractor.



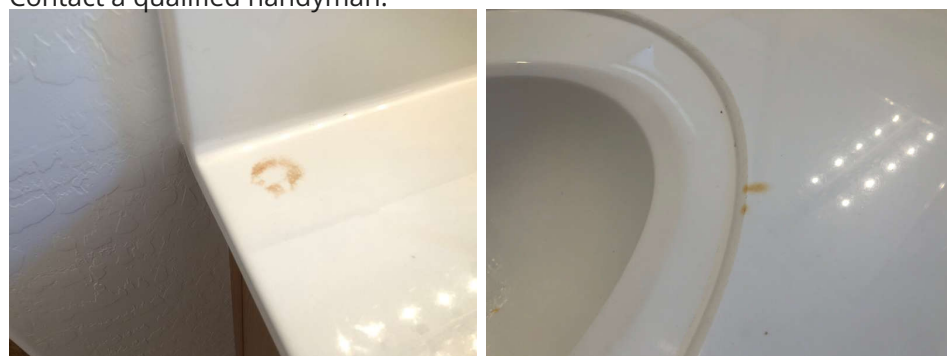
17.7.1 Countertop

TYPICAL WEAR AND TEAR

MASTER BATHROOM

The countertop showed typical wear and tear that you should view for yourself

Recommendation
Contact a qualified handyman.



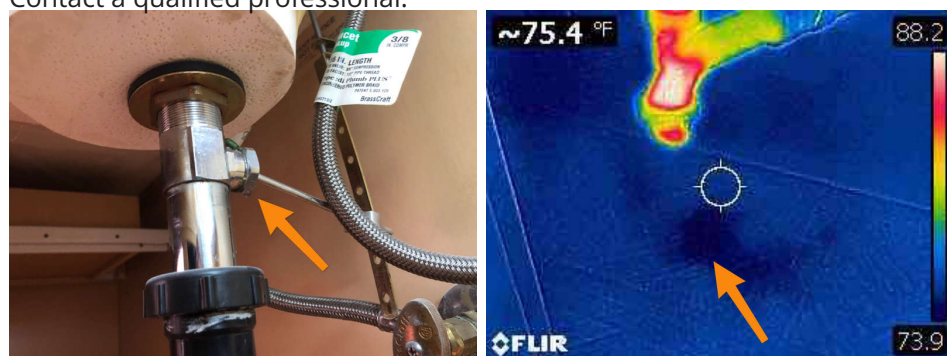
17.8.1 Trap and Drain

LEAK AT DRAIN LINE BELOW THE SINK

MASTER BATHROOM

There is a leak at the drain line below the sink which should be repaired as necessary.

Recommendation
Contact a qualified professional.



TUB STOPPER IS MISSING

HALLWAY BATHROOM, MASTER BATHROOM

The tub stopper is missing or incomplete and should be repaired or replaced.

Recommendation

Recommended DIY Project



SLOW DRAIN

HALLWAY BATHROOM

The tub/shower drains too slowly and should be serviced as necessary, because such blockages can progress beyond the drain trap and involve the main waste line. Maybe a build up of hair and soap or stopper?

Recommendation

Contact a qualified plumbing contractor.



Recommendations



LIGHT FIXTURE IS LOOSE

MASTER BATHROOM

A light fixture is loose at the wall/ceiling and should be serviced.

Recommendation

Contact a qualified handyman.



Recommendations



DOORS DO NOT OPEN AND CLOSE EASILY

NORTHWEST BEDROOM

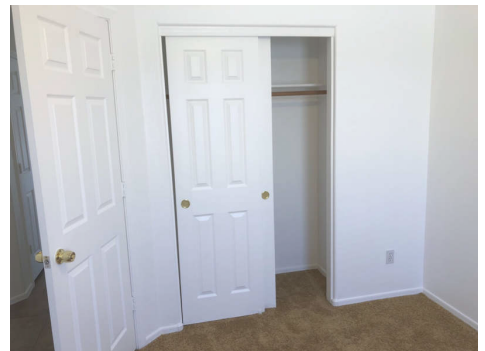
The closet doors do not open and close easily, and should be serviced.

Recommendation

Contact a qualified handyman.



Recommendations



THE SMOKE DETECTORS MISSING

NORTHEAST BEDROOM, MASTER BEDROOM

The smoke detector is missing and should be replaced as a fire safety feature.

Recommendation

Contact a qualified handyman.



Recommendations



18.7.2 Smoke Detectors

SMOKE DETECTOR DID NOT ADEQUATELY RESPOND

NORTHWEST BEDROOM

The smoke detector did not adequately respond, and should be serviced.

Recommendation

Contact a qualified handyman.

