



## SUMMARY

1234 Main St. Beaverton OR 97006

Buyer Name  
04/25/2018 9:00AM

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The following items or discoveries indicate that these systems or components do not function as intended or adversely affects the habitability of the dwelling. They may also warrants further investigation by a specialist, or requires subsequent observation. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. It is recommended that the customer read the complete report.

### 2.1.1 Coverings

#### DEBRIS



Minor/Maintenance Issues

Recommend cleaning any debris off of the roof to prevent water from pooling. For safety, recommend a licensed professional for steeper or high roofs.

Recommendation

Contact a handyman or DIY project



### 2.1.2 Coverings

#### GRANULE LOSS



Moderate Recommendations

Granule loss is a common occurrence and naturally happens over time. As the shingles are walked on, age, or expose to extreme elements, the granule loss can increase. As the granule loss occurs the likely hood of a leak increases. Recommend monitoring and consulting with a licensed roofer as the loss continues.

Recommendation

Contact a qualified roofing professional.





## 2.2.1 Roof Drainage Systems

### DOWNSPOUT - DISCHARGE NEAR HOUSE

 Moderate Recommendations

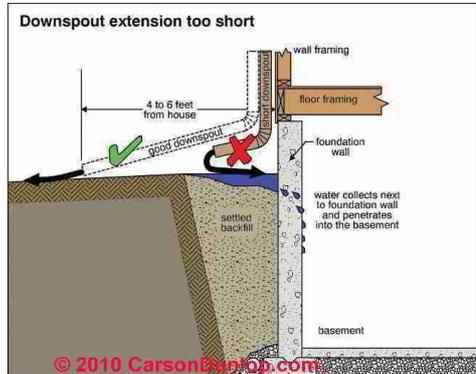
SOUTH

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor adjust downspout extensions to drain at least 6 feet from the foundation.

[Here is a helpful DIY link](#) and video on draining water flow away from your house.

Recommendation

Contact a handyman or DIY project



## 2.2.2 Roof Drainage Systems

### GUTTER - DEBRIS

 Minor/Maintenance Issues

NORTH

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow.

[Here is a DIY resource](#) for cleaning your gutters.

Recommendation

Contact a handyman or DIY project



### 2.3.1 Flashings

## RECOMMEND ADDITIONAL FLASHING

Moderate Recommendations

### CHIMNEY

Flashing around the chimney was found to be inadequate. There are currently no signs of any leaks but daylight can be seen into the attic around the chimney.

#### Recommendation

Contact a qualified roofing professional.



### 3.1.1 Siding

## SIDING - GROUND CLEARANCE

Moderate Recommendations

### WEST

Inadequate clearance between siding and ground. Recommend a minimum ground clearance between bottom of siding and ground of 4". Siding in contact with the ground or soil is a serious concern because that condition can provide direct access for wood destroying insects and consistent contact with moisture.

#### Recommendation

Contact a qualified siding specialist.



### 3.1.2 Siding

## SIDING - HOLE

Moderate Recommendations

### AC

There is a small hole in the siding that can allow moisture to penetrate and eventually lead to rot behind the siding. Recommend sealing with new siding, flashing, or caulking depending on the size.

#### Recommendation

Contact a qualified siding specialist.



3.1.3 Siding

**SIDING - MINIMAL DETERIORATION**

 Moderate Recommendations

EAST PATH, GARAGE DOORS

Siding in some locations is showing signs of age and minimal deterioration. These areas will likely need additional maintenance and potentially replacement in the future.

Recommendation

Contact a qualified siding specialist.



3.1.4 Siding

**SIDING - PAINT DETERIORATING**

 Moderate Recommendations

WEST GATE

Recommend cleaning and painting siding as needed.

Recommendation

Contact a qualified painter.



3.1.5 Siding

**SIDING - ROT-**

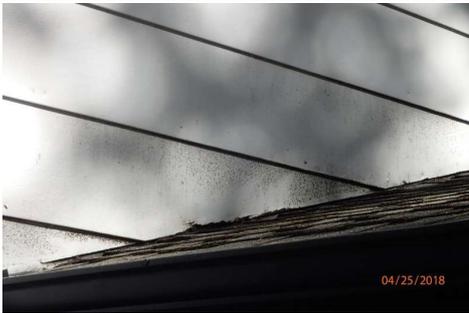
 Moderate Recommendations

EAST WALL, EAST ROOF LINE

One or more locations of siding is rotten. Recommend a licensed siding contractor or qualified handyman to repair or replace as needed.

Recommendation

Contact a qualified siding specialist.



3.2.1 Trim & Flashing

**CAULKING**

 Minor/Maintenance Issues

FRONT COLUMNS, EXTERIOR SIDING/TRIM

The caulking has failed and/or is needed in several areas. Recommend trimming, cleaning, and re-applying an exterior based product such as Vulkem. If desired recommend hiring a licensed siding or painting contractor.

Recommendation

Contact a handyman or DIY project





### 3.2.2 Trim & Flashing

#### **FLASHING - LOOSE**

EXTERIOR NORTH

Chance of moisture entering the building. Recommend properly securing and sealing.

Recommendation

Contact a handyman or DIY project



### 3.3.1 Exterior Doors

#### **DOOR SILL/TRIM**

NORTH GARAGE ENTRY

Door sill and/or trim is loose, deteriorated or worn and repair or replacement should be considered.

Recommendation

Contact a qualified door repair/installation contractor.





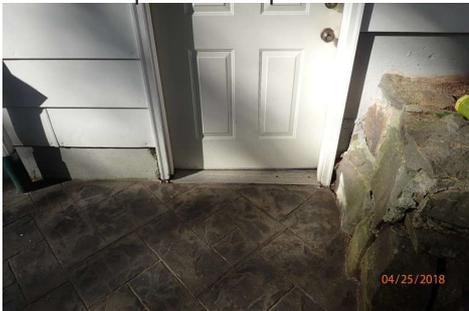
### 3.3.2 Exterior Doors

#### **DOOR - STIFF**

##### NORTH GARAGE ENTRY

One or more of the exterior doors is stiff and difficult to use. Recommend a licensed carpenter or door installer to further evaluate and repair.

Recommendation  
Contact a qualified carpenter.



### 3.5.1 Driveways, Walkways, & Front Porches

#### **DRIVEWAY CRACKING-**

##### FRONT DRIVEWAY

Minor cosmetic cracks observed, which may indicate movement in the soil. Recommend monitor and/or have concrete contractor patch/seal.

Recommendation  
Contact a qualified concrete contractor.





### 3.5.2 Driveways, Walkways, & Front Porches

#### **WALKWAY - HEAVING, TREE ROOTS**

 Moderate Recommendations

Tree roots have begun to uplift the walkway. Recommend an arborist to further evaluate and repair as need. If the roots can not be address, the walkway may need to be adjusted.

#### Recommendation

Contact a qualified landscaping contractor



### 3.6.1 Decks, Balconies, & Patios

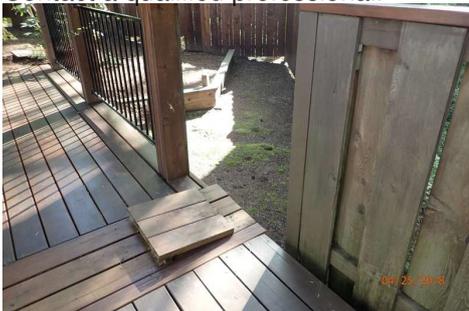
#### **RAILING - MISSING**

 Moderate Recommendations

An area or section of railing is missing, recommend a licensed carpenter or decking contractor to install/complete railing.

#### Recommendation

Contact a qualified professional.



### 3.7.1 Eaves, Soffits & Fascia

#### **EVES - PAINT DETERIORATING**

 Moderate Recommendations

#### SOUTHEAST CORNER

The eaves are showing signs of deteriorating paint. This can lead to rot, buckling, and delamination of plywood type products. Recommend a licensed painter to further evaluate and repair.

Recommendation  
Contact a qualified painter.



### 3.9.1 Fence

## GATE - ADJUSTMENT NEEDED

 Minor/Maintenance Issues

WEST

One or more of the gates need an adjustment to allow for proper use. Over time certain gates based on size and design will begin to sag. Depending on the designs there are many ways to easily adjust. Recommend contacting a handyman or fencing contractor if desired.

Recommendation  
Contact a handyman or DIY project



### 3.11.1 Shed/Out Building

## GENERAL DISREPAIR

 Moderate Recommendations

The outbuilding is in general disrepair. Recommend a complete evaluation to determine its structural safety and list of repairs.

Recommendation  
Contact a qualified general contractor.



#### 5.4.1 Outlets, Switches, Fixtures & Junction Boxes

### **JUNCTION BOX - MISSING COVER**

EAST EXTERIOR

One or more junction boxes is missing its cover. This can allow debris, flammable material, and/or body extremities such as finger inside. Recommend covering for safety.

Recommendation

Contact a qualified electrical contractor.

 Significant and/or Safety Concerns



#### 5.5.1 GFCI & AFCI

### **FAULTY GFCI**

NORTH EXTEIOR

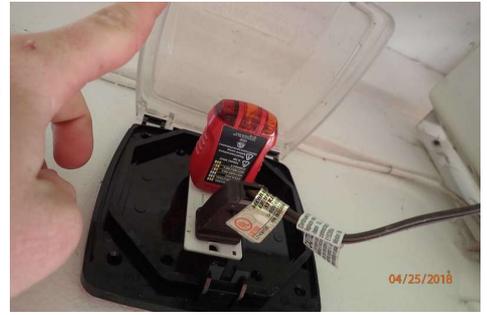
GFCI is faulty. Recommend licensed electrical contractor to further inspect and make repairs / replace.

GFCI's not tripping when tested.

Recommendation

Contact a qualified electrical contractor.

 Significant and/or Safety Concerns



### 5.5.2 GFCI & AFCI **MULTIPLE GFCI'S**

 Minor/Maintenance Issues

NORTH LIVING ROOM, KITCHEN

Multiple GFCI's have been found on the same circuit. This does not reduce the safety of the system but can become a nuisance as both or many GFCI's may have to be reset in a specific series in order to restore power to the protected outlets. There are ways to wire GFCI's on the same circuit without interfering with each other. Recommend a licensed electrical contractor to further evaluate and repair at your convenience.

#### Recommendation

Contact a qualified electrical contractor.



### 5.6.1 Smoke Detectors

#### **ADDITIONAL RECOMMENDED**

 Significant and/or Safety Concerns

It is recommended for safety that a smoke detector be installed on at least every floor. New codes do require a smoke detector to be placed in every bedroom. This is also for enhance safety but may not be required for this specific dwelling depending on date of manufacture.

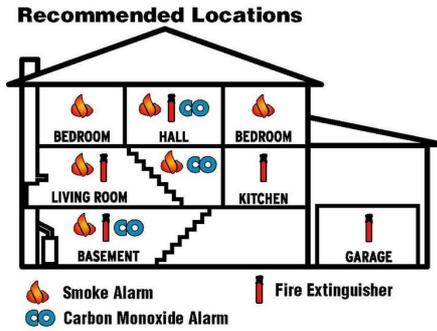
### 5.7.1 Carbon Monoxide Detectors

#### **ADDITIONAL CO MONITORS REQUIRED**

 Significant and/or Safety Concerns

A law went into effect requiring carbon monoxide detectors be installed upon transfer of ownership. These CO detectors are required within 15 feet of all bedrooms and is recommended to have one on each level for additional safety. [Additional Information](#)

Recommendation  
Contact a qualified professional.



### 6.3.1 Distribution Systems

## CEILING REGISTER - LOOSE

SOUTHEAST BEDROOM

Recommend properly securing the ceiling register to prevent damage or injury in the case of it falling.

Recommendation  
Contact a handyman or DIY project



Minor/Maintenance Issues

### 6.6.1 Chimney, Vents and Flues

## DETERIORATING MORTAR-



Minor/Maintenance Issues

Some of the mortar on the chimney is beginning to deteriorate. The type of deterioration found is minimal and from common wear and tear. Recommend repairing at your earliest convenience and as needed.



### 8.6.1 Exhaust Systems

## BATHROOM EXHAUST - VENTS INTO ATTIC

MASTER BATHROOM

Bathroom fan vents into the attic, which can cause moisture and mold. Recommend a qualified attic contractor properly install exhaust fan to terminate to the exterior.

Recommendation  
Contact a qualified professional.



Moderate Recommendations



## 8.6.2 Exhaust Systems

### DRYER VENT - EXTERIOR OBSTRUCTED

 Minor/Maintenance Issues

The dryer venting to the exterior has noticeable lint clogging the pipe. This can reduce the effectiveness of the dryer, increase the chance of a fire, and allow pests to enter the venting if the end cap is propped open from lint. Recommend cleaning on a regular basis.

#### Recommendation

Contact a handyman or DIY project



## 9.2.1 Drain, Waste, & Vent Systems

### PIPE VENTING - DISCONNECTED

 Moderate Recommendations

There is pipe venting in the attic that is disconnected. Recommend a licensed plumber to verify it is still in use and properly vent to the exterior.

#### Recommendation

Contact a qualified plumbing contractor.



## 9.3.1 Water Supply, Distribution Systems

### DIELECTRIC UNION

 Moderate Recommendations

#### CRAWL SPACE

Corrosion between copper and steel has been found during the inspection. These joints required a dielectric union to prevent premature failure of the plumbing. Recommend a licensed plumbing contractor to further evaluate and repair as needed.

When copper and steel pipes are connected, which happens often at the fittings near a water heater, an electrolytic reaction begins. Water is the electrolyte, and the combination of two metals and water essentially becomes a battery. It happens slowly over many months. A small amount of electric current starts flowing nowhere near enough to shock you and atoms from one metal begin to break off and cling to the other metal. The result is a crumbling, white powder buildup on the galvanized steel pipe, which is called galvanic corrosion.

#### Recommendation

Contact a qualified plumbing contractor.



9.4.1 Sink, Basin, Laundry Tub

**DRAIN STOP - INEFFECTIVE**

 Minor/Maintenance Issues

HALF BATH, 2ND FLOOR HALL BATHROOM, MASTER BATHROOM

The drain stop for one or more sinks is not functioning properly. Recommend adjusting or repairing for proper function.

Recommendation

Contact a handyman or DIY project



9.4.2 Sink, Basin, Laundry Tub

**FIXTURE - HOT AND COLD REVERSED**

 Minor/Maintenance Issues

LAUNDRY ROOM, MASTER BATHROOM

The hot and cold for one of the faucets is reversed. This can generally be repaired by swapping the hot and cold hook ups under the sink.

Recommendation

Contact a qualified plumbing contractor.



9.4.3 Sink, Basin, Laundry Tub

**SINK - NOT SECURED**

 Minor/Maintenance Issues



LAUNDRY ROOM

Recommend properly securing the cabinet and/or sink to prevent movement and potential leak in the drain line.

Recommendation

Contact a handyman or DIY project

9.6.1 Tub / Shower

**HOT / COLD REVERSED**

 Significant and/or Safety Concerns

MASTER BATHROOM

The hot and cold in one or more of the shower is reversed. For safety recommend adjusting these to allow for proper and habitual use.

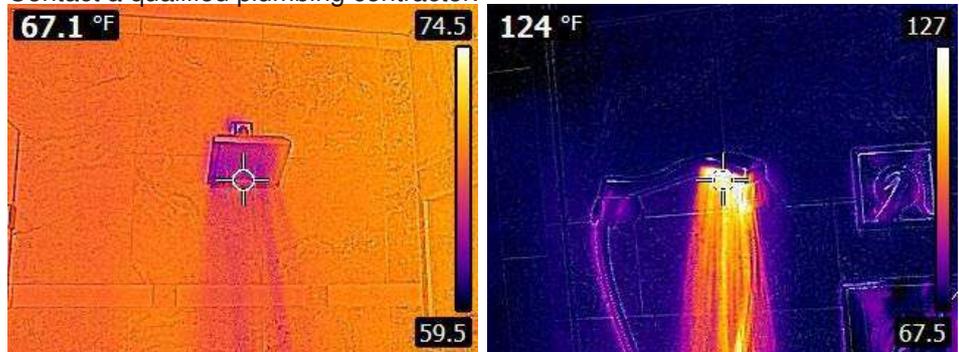
There are two main types of shower or bath tub valves, multiple handle or single handle.

**Single Handle:** In most single handle valves the dial will turn counter clock wise. If the single handle is the on/off valve as well as the temperature adjuster, it should turn from off to on and cold to hot as it rotates counter clock wise. In some cases the main handle will be on and off only and it will have a small dial in front that control the heat. In this case it should also be cold to the right and hot to the left unless specified different on the handle or dial.

**Multiple Handle:** With multiple handles consisting of 2, 3, or even 4 handles some times, the handle on the left is generally the hot and the handle on the right should be cold. If there is one in the middle it is generally the diverter valve that sends water to the shower head or down spout.

Recommendation

Contact a qualified plumbing contractor.



9.6.2 Tub / Shower

**SHOWER/BATHTUB - CAULKING/GROUT FAILING**

 Minor/Maintenance Issues

2ND FLOOR HALL BATHROOM, MASTER BATHROOM

Some of the caulking or grout in the bath and or shower area is failing. Caulking/grout is one of the most common items to fail in the bathroom. Because of its common failure rate it is also one of the largest contributors moisture damage in the bathroom. Recommend removing, cleaning, caulking/grouting, and inspecting on a regular basis to control the moisture in the bathroom.



9.6.3 Tub / Shower

**SHOWER - GLASS WALL LOOSE**

MASTER BATHROOM

Moderate Recommendations

The glass walls and or door in the shower were found loose and not properly aligning or sealing. Recommend a qualified contractor to further evaluate and secure/brace and or properly seal.

Recommendation  
Contact a qualified professional.

9.7.1 Water Heater

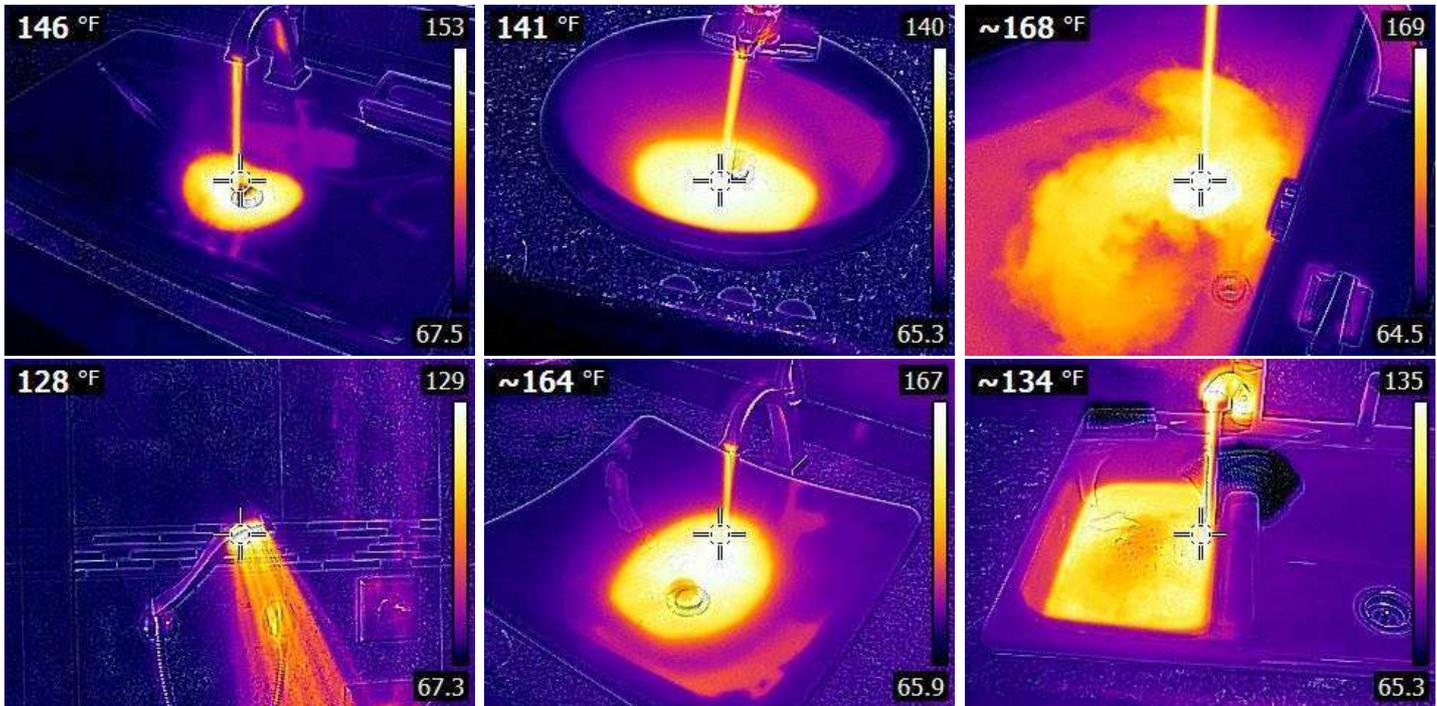
**WATER TEMP UNSAFE**

Significant and/or Safety Concerns

The water heater is turned up to produce water hotter than 120 degrees at the fixtures. This can generally be fixed by adjusting the thermostat at the water heater. Some styles such as electric water heaters may require the removal of panels which can leave you exposed to active electrical. Recommend contacting a licensed plumbing contractor if you are not comfortable in safely lowering the temperature.

Recommendation  
Contact a qualified professional.





Temperature	Time to produce serious burn
120°F	More than 5 minutes
125°F	1-1/2 to 2 minutes
130°F	About 30 seconds
135°F	About 10 seconds
140°F	About 5 seconds
145°F	Less than 5 seconds
150°F	About 1-1/2 seconds
155°F	About 1 second

Settings on water heater thermostat are approximate  
Source: Rheem Manufacturing Co  
PO Box 244020, Montgomery, AL 36124

**For safety, set water heater temperature at 120°F**

**For burns:**  
**Immediately put burned area in large amount of clean water.**

Untreated burns get worse ...  
immediate water will stop progression of burn injury

10.1.1 Doors

**DOOR - STICKS**

NORTHWEST BEDROOM

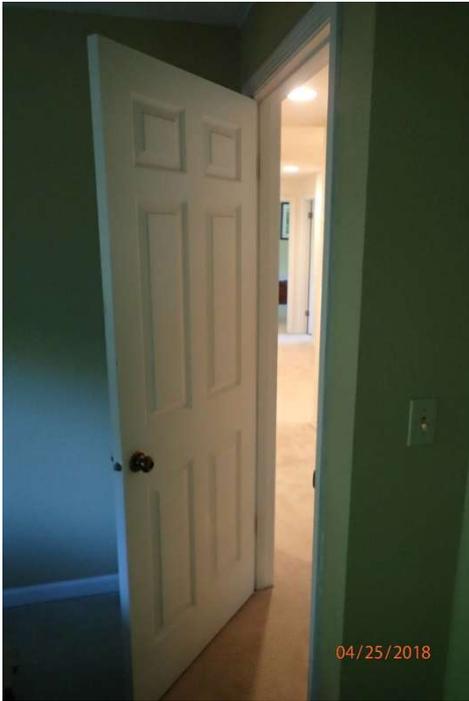
Door sticks and is tough to open. Recommend sanding down offending sides.

[Here is a helpful DIY article](#) on how to fix a sticking door.

Recommendation

Contact a handyman or DIY project





#### 10.1.2 Doors

### DOOR - FRAME DAMAGE

NORTHWEST BEDROOM

Minor frame damage was found on one or more doors.

Recommendation

Contact a qualified professional.



Minor/Maintenance Issues



#### 10.2.1 Windows

### GLASS - BROKEN SEAL

LIVING ROOM SKYLIGHT

Observed condensation between the window panes, which indicates a failed seal. Recommend qualified window contractor evaluate & replace.

Recommendation

Contact a qualified window repair/installation contractor.



Moderate Recommendations



### 10.5.1 Ceilings

## **LOOSE / DETERIORATING CEILING TEXTURE**

 Moderate Recommendations

### GARAGE

The ceiling in one or more areas has failing ceiling texture that is peeling and delaminating from the ceiling. This may be from a previous moisture source. Recommend a licensed drywall contractor to further evaluate and repair or replace is needed. Depending on age, the texture may contain asbestos, recommend having this tested prior to repair/removal.

#### Recommendation

Contact a qualified drywall contractor.



### 10.5.2 Ceilings

## **MINOR DAMAGE**

 Moderate Recommendations

### NORTHWEST BEDROOM, LIVING ROOM SKYLIGHTS

Minor damage or deterioration to the ceiling was visible at the time of the inspection.

#### Recommendation

Contact a qualified drywall contractor.



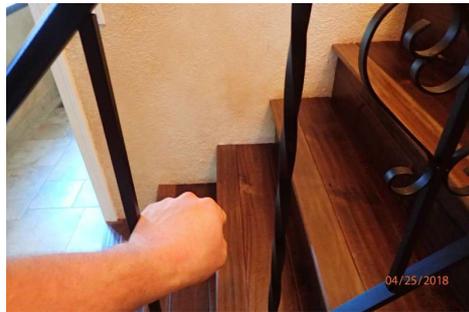
### 10.6.1 Steps, Stairways & Railings

#### **SPINDLE SPACES TOO WIDE**

 Significant and/or Safety Concerns

The baluster space is not up to modern safety standards. The space between spindles should not allow passage of a 4 inch sphere for child safety.

Recommendation  
Contact a qualified professional.



### 10.8.1 Trim

#### **TRIM DAMAGE/DETERIORATION- MINOR**

 Minor/Maintenance Issues

Trim exhibited minor cosmetic damage/deterioration.

Recommendation  
Contact a handyman or DIY project

### 11.2.1 Garage Door Opener

#### **GARAGE DOOR SENSORS MISSING**

 Significant and/or Safety Concerns

WEST DOOR

The garage door sensors are missing. Prior to the 90's it was uncommon to see the sensors installed with the opener. The sensors are there not only to protect the door and objects underneath but also any person or child that may walk under its path. Recommend a licensed garage door contractor to further evaluate and install sensors.

Recommendation  
Contact a qualified garage door contractor.



11.3.1 Bollard  
**NOT PRESENT**

 Significant and/or Safety Concerns

It is recommend a "bollard" is installed in front of any appliances located in the garage that a vehicle could strike. In general this device is at least 36" tall, composed of metal and strong enough to stop a moving vehicle. Specific federal, state, county, and city codes will differ, these recommendations are set a minimum and based on general safety. Multiple bollards may be required for appliances that are further apart.

Recommendation  
Contact a qualified professional.



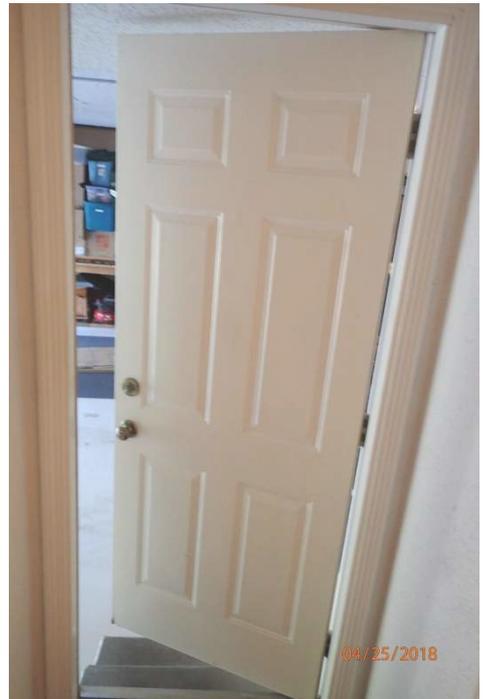
11.4.1 Occupant Door (From garage to inside of home)  
**NOT SELF-CLOSING**

 Significant and/or Safety Concerns

Door from garage to home should have self-closing hinges to help prevent spread of a fire to living space. Recommend a qualified contractor install self-closing hinges.

[DIY Resource Link.](#)

Recommendation  
Contact a handyman or DIY project



12.3.1 Dishwasher  
**IMPROPERLY INSTALLED DRAIN PIPE**

 Moderate Recommendations

## Back-flow Prevention Missing.

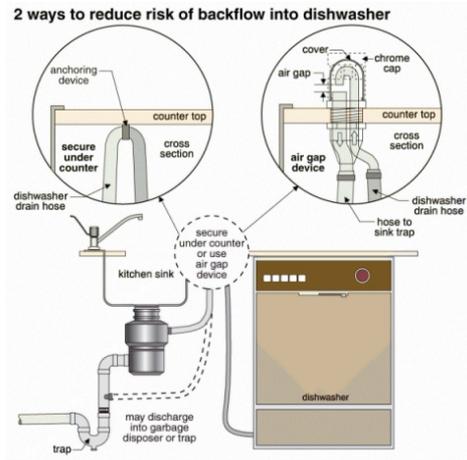
It is recommended for your dishwasher to have a back flow prevention device. Such a device or "system" prevents water that could back flow from a clogged sink into a dishwasher and flood the dishwasher. Many dishwashers today have a system built in but they are typically impossible to view with the dishwasher installed. Because your inspector is not able to verify the presence and functionality of a back flow device, it is recommended to install one. There are several methods but we recommend a simple "Drain Loop" or "Air Gap".

### Air Gap

Back-flow problems often depend on the siphon effect to pull water backward through the line. An air-gap back-flow preventer stops siphoning with a break between pipe sections. Water from the upper drainpipe falls into a wide funnel at the mouth of a lower drain. The gap eliminates siphoning, and any water flowing back simply overflows the lower drain. Air gaps approved for dishwashers mount to the back of the sink deck; if drain water backs up into the sink, the backup can't overflow through the air gap. A sanitary cover hides the dishwasher drain outlet and funnel.

### Drain Loop

Many dishwashers use an even simpler system to stop most backups from reaching the dishwasher. Dishwashers include enough drain hose to form a higher inverted U underneath the sink. Strapping the hose to the cabinet at the highest possible point beneath the sink places the bend above all but the worst sink backups. The sink must fill completely to pour water back through the hose. This can be the easiest method of back-flow prevention but because the bend lacks a true air gap, it does not prevent siphoning if water overflows the bend.



### 13.3.1 Segment One

## DAMAGE/DEFORMATION

46'

A deformation in the pipe is most common from an object under or over the pipe. When this happens typically the pipe is influenced up or down creating pooling or a valley. The pipe may not be broken from the deformation at the time of inspection but this area is vulnerable to pipe collapse. Recommend a licensed plumber to further evaluate and repair as needed.

#### Recommendation

Contact a qualified plumbing contractor.

Moderate Recommendations

### 13.4.1 Segment Two

## LEAKING JOINT

Moderate Recommendations

A leaking joint has been found in your sewer lateral. Depending on lateral materials this can be quite common. Pipe such as concrete have more joints than most other pipe and although the sealant may be in good shape, the concrete material itself is prone to moisture wicking. Plastic pipes tend to have less joints and a better method of sealing the joints. Because of this a leaking joint is less common but should be considered an issue as soon as one is identified. Recommend a licensed plumber to further evaluate and repair as needed.

Recommendation

Contact a qualified plumbing contractor.

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