



SUMMARY
1234 Main St. Virginia Beach VIRGINIA
23453
Buyer Name
04/06/2019 9:00AM

Clay Somers
VA HI# 3380001331, NRS
A Premier Home Inspection, LLC
989.413.6905
clay@premierinspects.com



It is recommended that any noted deficiencies be evaluated and repaired by a certified contractor of trade.

This report is the exclusive property of this inspection company and the client(s) listed in the report title. Use of this report by any unauthorized persons is prohibited.

For any questions, please contact A Premier Home Inspection, LLC, 3433 Five Gait Trl, Virginia Beach, VA 23453, 757.797.4240.

2.1.1 General

NEED SEALANT(DISH, MAST, ETC)



Maintenance/Monitor

For rooftop items such as dish antennas, guy wires or masts were missing sealant or had substandard sealant. Leaks can occur as a result. This is a conducive condition for wood-destroying organisms. Recommend that a qualified person apply approved sealant where necessary.

Recommendation

Contact a qualified roofing professional.



Chimney chase

2.2.1 Shingles

SHINGLES DAMAGED



Deficiencies

One or more composition shingles were Damaged. Recommend that a qualified contractor repair as necessary. For example, by repairing or replacing shingles. This can reduce the life expectancy of the roofing material.

Recommendation

Contact a qualified roofing professional.



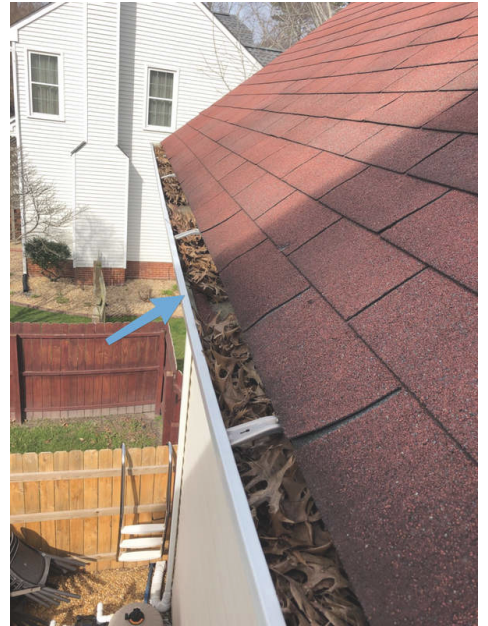
Rear garage near gutter edge

2.3.1 Gutters/drains

CLOGGED GUTTERS/DOWNSPOUTS

Significant amounts of debris have accumulated in one or more gutters or downspouts. Gutters can overflow and cause water to come in contact with the building exterior, or water can accumulate around the foundation. This is a conducive condition for wood-destroying organisms. Recommend cleaning gutters and downspouts now and as necessary in the future.

Recommendation
Recommended DIY Project



3.3.1 Exterior issues

SIDING BUCKLED

The siding is buckled in one or more areas. It could be due to sun reflections or a grill that was used too closely.

Recommendation
Contact a qualified professional.



3.5.1 Windows and Door

CAULKING

 Maintenance/Monitor

Caulk was *missing / deteriorated / substandard* in some areas. For example, *around windows / around doors / at siding butt joints / at siding-trim junctions / at wall penetrations*. Recommend that a qualified person renew or install caulk as necessary. Where gaps are wider than 1/4 inch, an appropriate material other than caulk should be used.

Recommendation
Contact a qualified handyman.



Left Rear

6.1.1 Electrical

LIGHT FIXTURE-OPEN LAMP

 Deficiencies

Lamp holders or light fixtures with fully or partially exposed bulbs are installed in one or more closets. This is a safety hazard due to the risk of fire. Flammable stored items may come into contact with hot bulbs, and hot fragments from broken bulbs may fall on combustible materials. Standard building practices require closet lighting to use fluorescent light fixtures, or to use fully enclosed incandescent fixtures. Installing a compact fluorescent lamp in a lamp holder is not an acceptable practice. A qualified electrician should replace closet lights as necessary and as per standard building practices.

Recommendation
Contact a qualified electrical contractor.



Master closet



Master closet

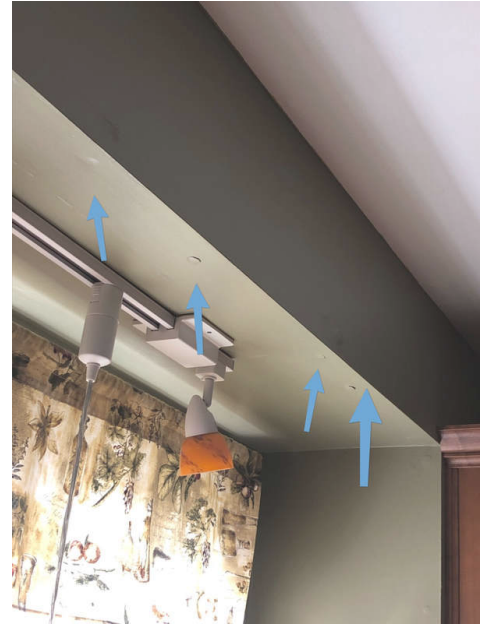
6.2.1 Floors, Walls, Ceilings

CEILING-MINOR CRACKS

 Maintenance/Monitor

Minor cracks were found in ceilings in one or more areas. They do not appear to be a structural concern, but the client(s) may wish to repair these for aesthetic reasons.

Recommendation
Contact a qualified drywall contractor.



Kitchen

6.2.2 Floors, Walls, Ceilings

WALLS-MINOR CRACK



Maintenance/Monitor

Minor cracks were found in walls in one or more areas. They do not appear to be a structural concern, but the client(s) may wish to repair these for aesthetic reasons.

Recommendation
Contact a qualified drywall contractor.



Dining Room

6.4.1 Stairs/Handrails/Guardrails

HANDRAIL MISSING 3 STEPS



Deficiencies

Handrails at one or more flights of stairs were missing. This is a potential fall hazard. Handrails should be installed at stairs with four or more risers or where stairs are greater than 30 inches high. Recommend that a qualified contractor install handrails where missing and per standard building practices.

Recommendation
Contact a qualified professional.



2nd floor above garage

6.5.1 Windows and Door

DOOR-WON'T LATCH

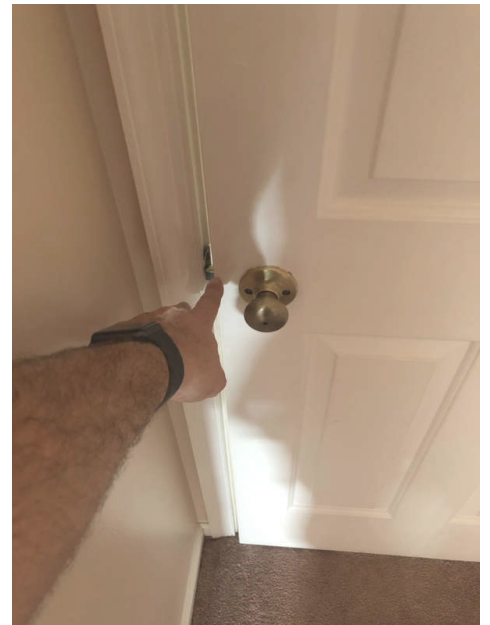


Maintenance/Monitor

One or more doors will not latch when closed. Repairs should be made as necessary, and by a qualified contractor if necessary. For example, aligning strike plates with latch bolts and/or replacing locksets.

Recommendation

Contact a qualified door repair/installation contractor.



2nd floor to room over garage

7.1.1 Bathub

CAULKING AT SURROUND



Maintenance/Monitor

Caulk is missing or deteriorated above one or more bathtubs, where the tub surround meets the tub. It should be replaced where deteriorated and/or applied where missing to prevent water intrusion and damage to the wall structure.

Recommendation

Recommended DIY Project



2nd floor Bathroom



2nd floor Bathroom



2nd floor Bathroom

7.1.2 Bathub

STOPPER ISSUE

The bath tub stopper mechanisms are missing, or need adjustment or repair. Stopper mechanisms should be installed where missing and/or repairs should be made so sink stoppers open and close easily.

Recommendation

Contact a qualified plumbing contractor.



Deficiencies



Master Bathroom

7.4.1 Exhaust Fan

NOISY

One or more exhaust fans are noisy or vibrate excessively. A qualified contractor should evaluate and replace the fan(s) or make repairs as necessary.

Recommendation

Contact a qualified electrical contractor.



Deficiencies



1st Floor Bathroom



2nd floor Bathroom

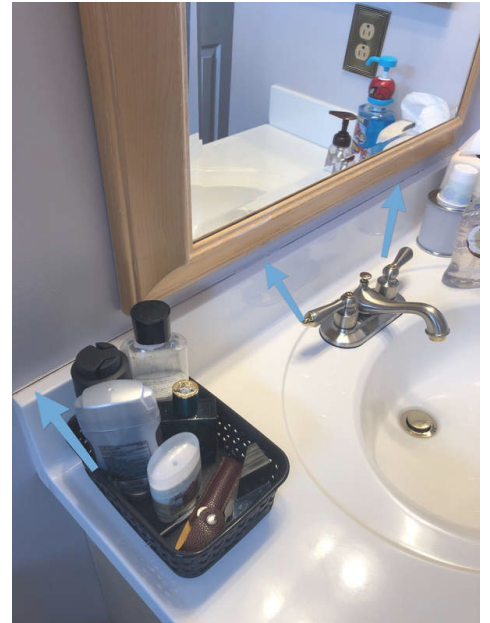
7.7.1 Sink/countertop

BACKSPLASH SEALANT

Caulk is missing and/or deteriorated where counter tops meet back splashes in wet areas, such as around sinks. Caulk should be replaced where deteriorated and/or applied where missing to prevent water damage.

Recommendation

Recommended DIY Project



2nd floor Bathroom

7.7.2 Sink/countertop

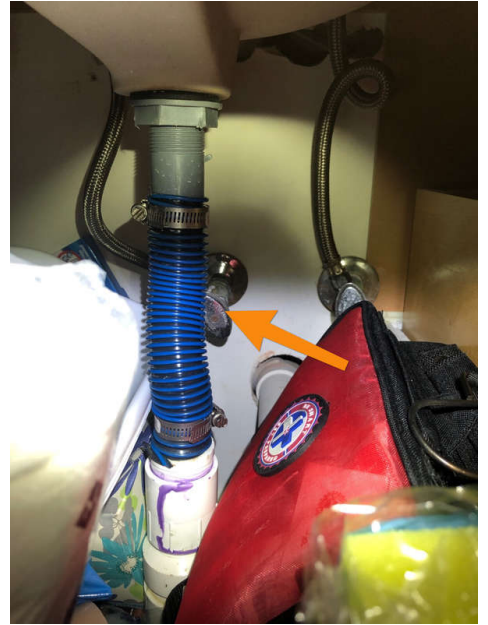
SINK DRAIN FLEX PIPE

One or more sink drains use flexible drain pipe. This type of drain pipe is more likely to clog than smooth wall pipe. Recommend having a qualified plumber replace this pipe with standard plumbing components (smooth wall pipe) to prevent clogged drains.

Recommendation

Contact a qualified plumbing contractor.





1st Floor Bathroom

8.2.1 Supply Lines

POLYBUTYLENE

Deficiencies

What appears to be Polybutylene plastic water supply piping was found. This was commonly used in manufactured homes from the 1980s through 1995. Other plastics such as PEX or CPVC have been used since then. Some fittings with polybutylene piping have a history of failure that results in leaks. Recommend reviewing any available disclosure statements for comments on leaks in the water supply system. Much of the water supply piping is typically concealed in walls, floors and/or ceilings, and the inspector does not guarantee that leaks don't exist as part of this inspection. If concerned, have a qualified plumber review this system and make repairs if necessary.

Recommendation

Contact a qualified plumbing contractor.



13.2.1 Attic Hatch

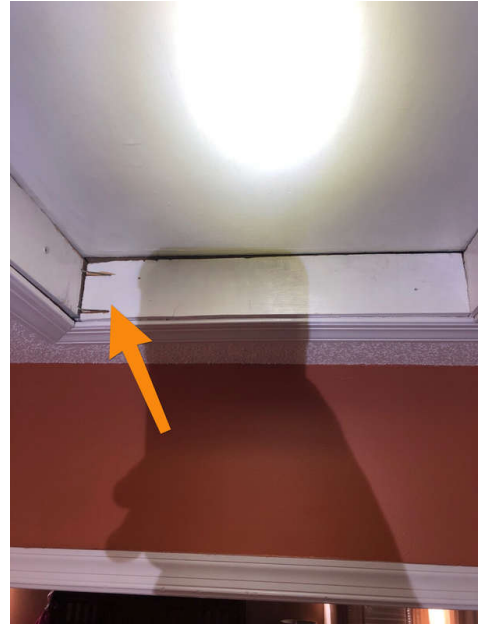
ACCESS COVER DAMAGE

Deficiencies

The drywall access cover is damaged. The exit to cover should be replaced as a repair is not adequate. The cover was repaired once before.

Recommendation

Contact a qualified professional.



13.3.1 Electrical

SPLICES NOT IN BOX

 Safety/Immediate Attention

Wire splices are exposed due to not being contained in a covered junction box. This is a safety hazard due to the risk of shock and fire. A qualified electrician should evaluate and make repairs as necessary. For example, install securely mounted junction boxes with cover plates where needed to contain wiring splices.

Recommendation

Contact a qualified electrical contractor.



14.1.1 General

PEST EVIDENCE

 Deficiencies

Evidence of rodent infestation was found in the form of *feces / urine stains / traps / poison / dead rodents / damaged insulation* in the *attic / crawl space / basement / garage / interior rooms* . Consult with the property owner about this. A qualified person should make repairs to seal openings in the structure, set traps, and clean rodent waste as necessary.

Recommendation

Contact a qualified professional.



14.3.1 Substructure

PRIOR MOISTURE ON JOISTS



There is staining/film/fungal growth/ microbial growth on a number of floor joists throughout the crawlspace. Areas of minor wood rot have been noted in separate comment. Recommend treatment to crawlspace wood structures to prevent further deterioration of floor/subfloor/ substructure.

Recommendation

Contact a qualified professional.

