



SUMMARY

1234 Main St. Jefferson GA 30549

Buyer Name
01/05/2019 9:00AM

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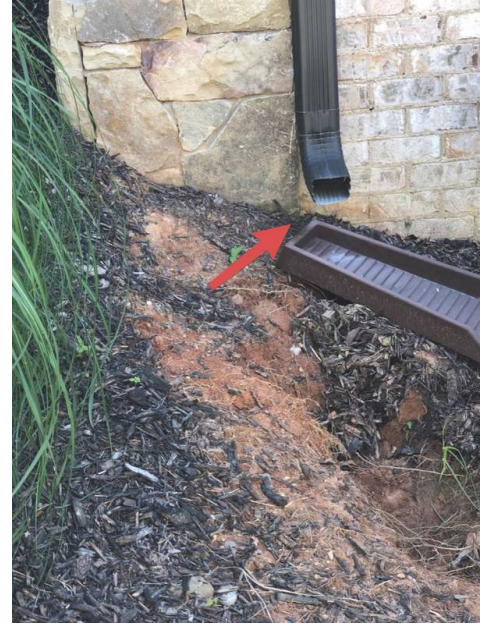
3.7.1 Gutters | Downspouts | Drain Lines

Repair | Evaluation

RUNOFF DRAINS

RECOMMENDED UPGRADE: Adding runoff drain extensions to the gutter system is necessary so that roof run off is discharged at least six feet away from the foundation.

Recommendation
Contact a qualified gutter contractor



Right

4.1.1 Grading

Repair | Evaluation

EROSION

SERVICE / REPAIR: Erosion noted at time of inspection. Have ground area restored and make efforts to control rain water runoff to prevent reoccurrence. Some local and state municipalities can invoke fines on property owners for storm water silt runoff responsible for filling streams.

Recommendation
Contact a qualified landscaping contractor



Right

4.18.1 Trim | Soffit | Fascia

Repair | Evaluation

DAMAGED - TRIM

SERVICE / REPAIR: The trim was observed to be damaged. Have qualified contractor repair or replace as needed.

Recommendation
Contact a qualified carpenter.



Rear

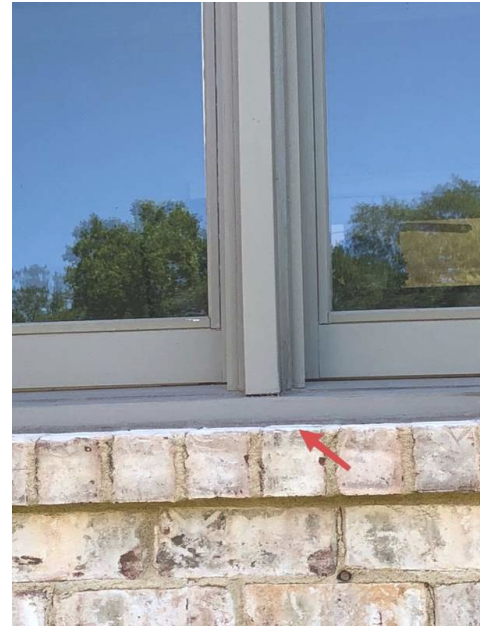
4.18.2 Trim | Soffit | Fascia

CAULK SEPARATED

Repair | Evaluation

SERVICE / REPAIR: Caulking found to be separated and recommend having redone and painted to resist moisture intrusion into areas where moisture damage can and usually occur. Have qualified contractor repair as needed.

Recommendation
Contact a qualified painter.



Right

6.1.1 Floors

FLOOR UNEVEN

Repair | Evaluation

SERVICE / REPAIR: Observed uneven floor slope. Have qualified contractor evaluate and repair as necessary.

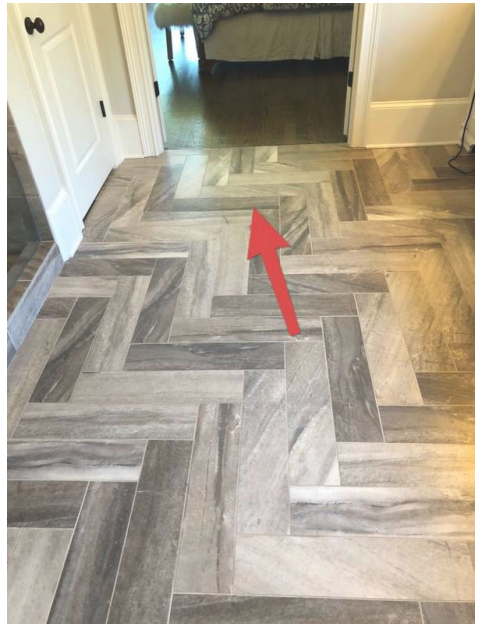
Recommendation
Contact a qualified flooring contractor



Foyer



Master Bath



6.1.2 Floors

DAMAGED

 Repair | Evaluation

SERVICE / REPAIR: Damaged areas of flooring observed. Have a professional flooring contractor evaluate and repair or replace the flooring as needed.

Recommendation

Contact a qualified flooring contractor



Family Room

6.2.1 Walls | Ceilings

IR - DRY

 Repair | Evaluation

GENERAL NOTE: The ceiling/wall is water damaged. Infrared scan indicated no moisture above the ceiling and moisture meter indicates low moisture content(dry) at the time of this inspection. Have qualified contractor repair as needed.

Recommendation
Contact a qualified painter.



Basement

6.5.1 Windows
WINDOWS STUCK

Repair | Evaluation

SERVICE / REPAIR: A number of windows are painted shut. Have contractor repair as needed to ensure proper egress.

Recommendation
Contact a qualified window repair/installation contractor.



Master Bedroom

8.3.1 Food Waste Disposer
JAMMED

Repair | Evaluation

SERVICE / REPAIR: Disposal jammed at time of inspection with debris found inside unit. Have cleared and freed up to run correctly.

Recommendation
Contact a qualified plumbing contractor.



Bar

12.2.1 Air Conditioner **CONDENSER - TIPPING**

Repair | Evaluation

GENERAL NOTE: Tipping the compressors more than 10 degrees can damage the unit and voids the manufacturer's warranty. Unit(s) should be leveled.

Recommendation
Contact a qualified HVAC professional.



Rear

12.2.2 Air Conditioner **CONDENSATE DRAIN**

Repair | Evaluation

SERVICE / REPAIR: The drain line is disconnected. Have a qualified contractor repair as needed.

Recommendation
Contact a qualified HVAC professional.



Rear

BACK FLOW DEVICE

SAFETY / HEALTH: The hose bibb would benefit from the addition of a backflow preventer or vacuum breaker. Vacuum breakers are installed on exterior hose bibbs and prevent water within a garden hose from entering back into the municipal water supply system. Recommend installing vacuum breakers at all exterior hose bibbs. Have qualified contractor repair as needed.

Recommendation

Contact a qualified plumbing contractor.
