



2.1.1 Foundation, Basement & Crawlspaces

HIGH MOISTURE LEVELS



High levels of moisture were noted in areas of the basement. Recommend finding source of moisture intrusion and making necessary repairs to prevent damage or further damage to the structure.

Recommendation
Contact a qualified professional.



Northeast storage room

2.2.1 Floor Structure

EXCESSIVE NOTCHING



Excessive notching was noted on a structural member of the floor. This could weaken the floor in this area. Recommend qualified professional to make necessary repairs to ensure stability.

Recommendation
Contact a qualified professional.



Northwest work room North wall

2.5.1 Roof Structure & Attic

HIGH MOISTURE LEVELS



High moisture levels were noted in the roof decking. This is potentially due to either a ventilation problem or a failure of the material covering the roof. Recommend qualified roofing professional for evaluation and repair.

Recommendation

Contact a qualified professional.



Attic

3.2.1 Exterior Doors

WOOD ROT



Recommendation

Wood rot was noted in one or more places. Recommend qualified handyman to repair or replace all affected areas.

Recommendation

Contact a qualified handyman.



West lower door

3.3.1 Decks, Balconies, Porches & Steps

DECK- WATER DAMAGE ON POSTS



Recommendation

Water damage was noted on the post(s). This could eventually lead to failure of the railing. Recommend qualified professional for repair.

Recommendation

Contact a qualified professional.



Southwest corner



Deck posts

3.5.1 Eaves, Soffits & Fascia

FASCIA - LOOSE

One or more sections of the fascia are loose. This could lead to water penetration if not corrected. Recommend qualified professional to evaluate & repair.

Recommendation

Contact a qualified professional.



Recommendation



North Garage

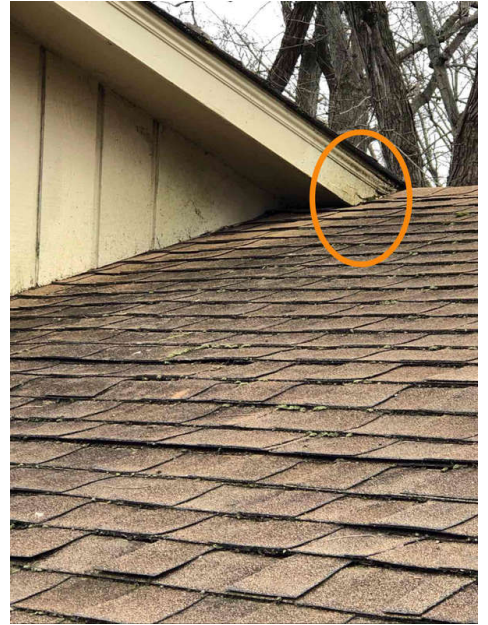
3.5.2 Eaves, Soffits & Fascia

FASCIA - ROTTED

One or more sections of the fascia are rotted. Recommend qualified professional evaluate & repair.



Recommendation



North center

3.6.1 Vegetation, Grading, Drainage & Retaining Walls

TREE OVERHANG

Trees observed overhanging the roof. This can cause damage to the roof and prevent proper drainage. Recommend a qualified tree service trim to allow for proper drainage.

 Recommendation



West Garage

3.7.1 Exterior electrical and faucets

FAUCET-LEAKING

Exterior faucet was leaking. Recommend qualified plumber for evaluation and repair.

Recommendation

Contact a qualified plumbing contractor.

 Recommendation



North

3.7.2 Exterior electrical and faucets

NO GFCI PROTECTION



Exterior outlet(s) were not GFCI protected. All exterior outlets should be GFCI protected for safety. Recommend qualified electrician for repair.

Recommendation

Contact a qualified electrical contractor.



West



Southwest

4.1.1 Coverings

DAMAGED COVERINGS



Roof coverings exhibited general damage that could affect performance. Recommend a qualified roofer evaluate and repair.



North above front door

4.1.2 Coverings

VEGETATION GROWTH

The growth of vegetation on the roof covering can lead to premature deterioration and water leaks. Recommend qualified professional to clean and regular maintenance is recommended.

Recommendation

Contact a qualified professional.

 Recommendation



North

4.1.3 Coverings

AT OR NEAR DESIGN LIFE

The roof covering is at or near its design life. Recommend monitoring for proper function and budgeting for replacement.

Recommendation

Recommend monitoring.

 Recommendation



4.1.4 Coverings

EXCESSIVE GRANULAR LOSS

There was excessive granular loss noted on the roof covering. This is an indication that the roof is near or at the end of its design life. Recommend qualified roofing professional for evaluation and repair.

Recommendation

Contact a qualified roofing professional.

 Recommendation



Several places

4.3.1 Roof Drainage Systems

DEBRIS

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow.

[Here is a DIY resource](#) for cleaning your gutters.

 Recommendation



West Garage

5.1.1 Fixtures / Faucets

FIXTURE LEAKING

 Recommendation

A leak was noted coming from the plumbing fixture. Recommend qualified plumber for repair.

Recommendation

Contact a qualified plumbing contractor.



Master Bathroom left sink



Master Bathroom right sink

6.1.1 Service Entrance Conductors

CABLE/PHONE WIRE

 Recommendation

The cable/phone wire is too low and could easily be grabbed. Recommend relocating the wire.

Recommendation

Contact a qualified professional.



Southwest

6.2.1 Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels



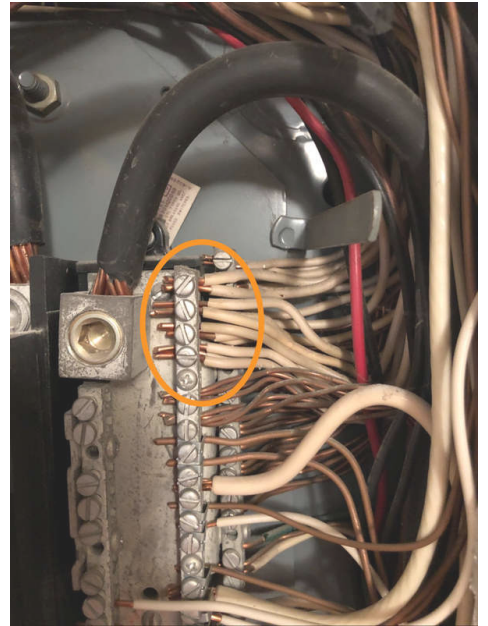
Recommendation

DOUBLE TAPPED NEUTRAL

Neutral wires should not share the same lug with other neutral wires or ground wires. This can lead to overheating or the inability to isolate a circuit. Recommend qualified electrician for repair.

Recommendation

Contact a qualified professional.



Panel

6.2.2 Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels



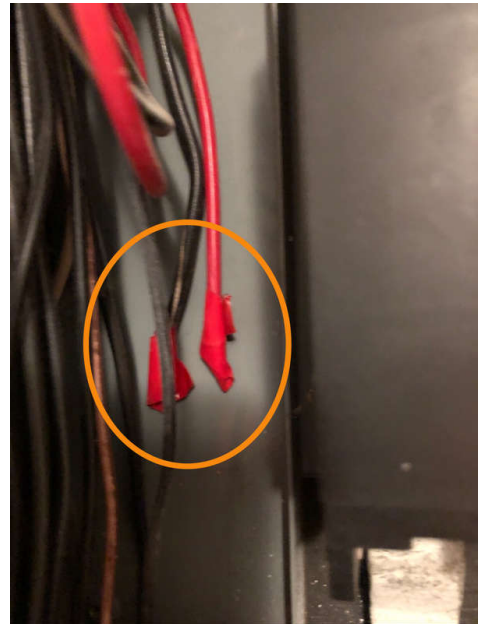
Recommendation

WIRE NUT

Wire nuts should be used at wire terminations. This ensures that a live wire cannot be touched. Recommend qualified electrician for repair.

Recommendation

Contact a qualified electrical contractor.



Panel

6.3.1 Connected Devices and Fixtures

LIGHT INOPERABLE

One or more lights are not operating. New light bulb possibly needed.

 Recommendation



Northeast Bedroom closet



Coat closet by garage

6.3.2 Connected Devices and Fixtures

OUTLET DAMAGED

 Recommendation

Outlet was damaged. This could eventually effect the performance of the receptacle. Recommend qualified electrician for replacement.

Recommendation

Contact a qualified electrical contractor.



Garage

6.6.1 GFCI & AFCI

BATHROOM GFCI

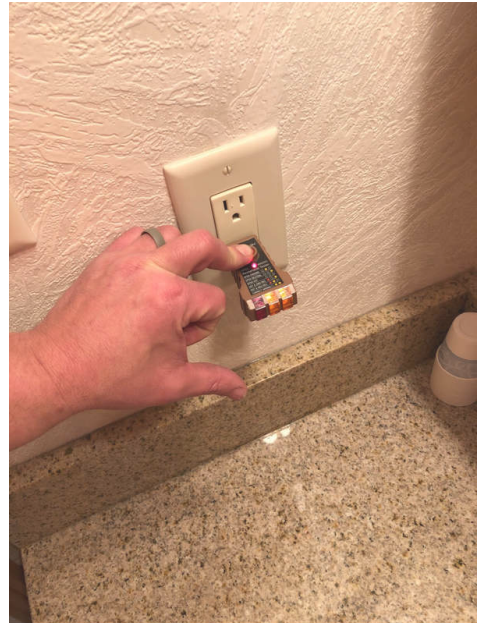
Outlet(s) were not GFCI protected. Recommend qualified electrician for repair.

Recommendation

Contact a qualified professional.



Recommendation



Basement Bathroom

8.5.1 Countertops & Cabinets

DRAWER- BROKEN OR OFF TRACK

A drawer was broken or off of the track. Recommend qualified professional for repair.

Recommendation

Contact a qualified professional.



Recommendation



Master Bathroom

8.7.1 Windows

WOOD ROT

Wood rot was noted on the exterior trim. Recommend repairing and replacing all affected materials.

Recommendation

Contact a qualified professional.



Recommendation



Northeast

11.4.1 Exhaust Systems

EXHAUST FAN

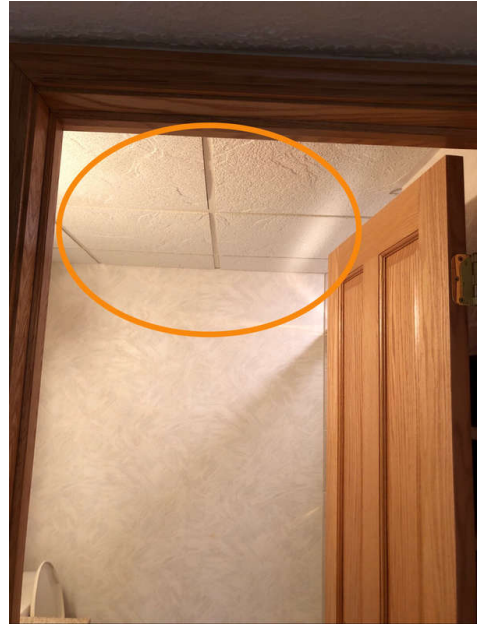
No exhaust fan. A bathroom needs either an exhaust fan or a window or both.

Recommendation

Contact a qualified professional.



Recommendation



Basement Bathroom

11.4.2 Exhaust Systems

COVER-LOOSE



Recommendation

Vent cover is loose. This can lead to insects and varmint intrusion. Recommend qualified handyman for repair.

Recommendation

Contact a qualified professional.



North

12.1.1 Fireplaces, Stoves & Inserts

FIREWALL CRACKED



Recommendation

The brick lining of the fireplace was cracked in one or more places, which could lead to chimney damage or toxic fumes entering the home. Recommend a qualified fireplace contractor evaluate and repair.



Fireplace
