



It is recommended that any noted deficiencies be evaluated and repaired by a certified contractor of trade.

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1.1.1 Structure Details

CHANGE LOCKS



Maintenance, Monitor, Cosmetic

MoKan Home Inspections recommends that ALL locks and Security codes be changed before moving into the house.

Recommendation
Recommended DIY Project

2.3.1 Flashing/Vents

PLUMBING VENT SCREENS



Maintenance, Monitor, Cosmetic

One or more plumbing vents on the roof do not have screens installed. This is a common practice. It is recommended to have screens installed at the top of plumbing vent stacks to reduce the chance of access to the plumbing system by small animals/rodents.

Recommendation
Contact a qualified roofing professional.



3.3.1 Exterior issues

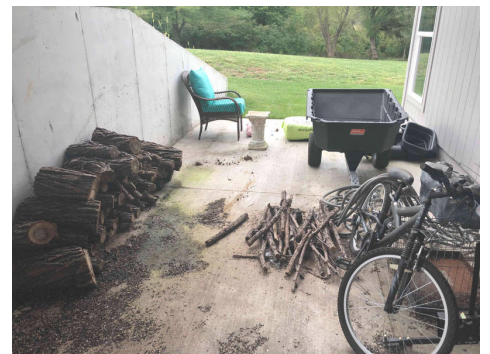
FIREWOOD STORAGE



Maintenance, Monitor, Cosmetic

Firewood was stored so that it was in contact with or close to the building exterior. This is a conducive condition for wood-destroying organisms. Recommend storing firewood outdoors in an open area, and as far away from buildings as practical to keep insects away from buildings.

Recommendation
Recommended DIY Project



3.4.1 Electrical

NO CAULK LIGHT



Maintenance, Monitor, Cosmetic

One or more wall-mounted exterior light fixtures had no caulk or deteriorated sealant at the back plate. Water can enter the space behind the back plate and contact wiring. Recommend that a qualified person apply caulk above and around the back plate per standard building practices. A gap should be left at the bottom of the plate so that condensation can drain out.

Recommendation

Contact a handyman or DIY project



3.4.2 Electrical

LIGHT LOOSE/SUBSTANDARD



Repair/Evaluation

One or more light fixtures are loose or installed in a substandard way. A qualified contractor or electrician should evaluate and make repairs as necessary so light fixtures are securely mounted and installed in accordance with the manufacturer's installation instructions.

Recommendation

Contact a qualified electrical contractor.



3.5.1 Windows and Door

DOOR DAMAGE/DETERIORATION

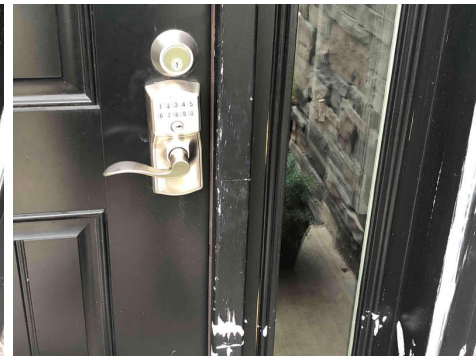
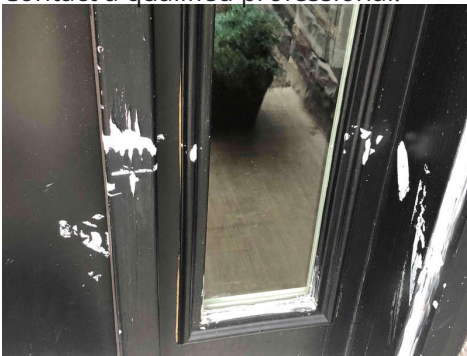


Maintenance, Monitor, Cosmetic

One or more exterior doors had minor damage and/or deterioration. Although serviceable, the client may wish to repair or replace such doors for appearances' sake and to help prevent future deterioration.

Recommendation

Contact a qualified professional.



3.7.1 Gutters and Flashing

DOWNSPOUT EXTENSIONS



Maintenance, Monitor, Cosmetic

Extensions such as splash blocks or drain pipes for one or more downspouts were *missing / poorly sloped / misaligned / clogged / substandard / damaged*. Water can accumulate around the building foundation or inside crawl spaces or basements as a result. Recommend that a qualified person install, replace or repair extensions as necessary so rainwater drains away from the structure.

Recommendation

Contact a qualified professional.



4.1.1 Electrical

LIGHT FIXTURE-OPEN LAMP

Repair/Evaluation

PANTRY

Lamp holders or light fixtures with fully or partially exposed bulbs are installed in one or more closets. This is a safety hazard due to the risk of fire. Flammable stored items may come into contact with hot bulbs, and hot fragments from broken bulbs may fall on combustible materials. Standard building practices require closet lighting to use fluorescent light fixtures, or to use fully enclosed incandescent fixtures. Installing a compact fluorescent lamp in a lamp holder is not an acceptable practice. A qualified electrician should replace closet lights as necessary and as per standard building practices.

Recommendation

Contact a qualified electrical contractor.



4.1.2 Electrical

LOOSE PLUG/COVER

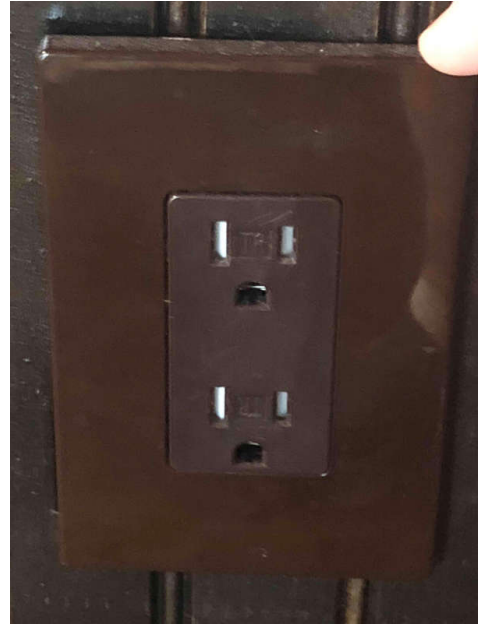
Repair/Evaluation

KITCHEN ISLAND

One or more electric receptacles and/or the boxes in which they were installed were loose and/or not securely anchored. Wire conductors can be damaged due to repeated movement and/or tension on wires, or insulation can be damaged. This is a shock and fire hazard. Recommend that a qualified electrician repair as necessary.

Recommendation

Contact a qualified electrical contractor.



4.1.3 Electrical

RECEPTACLE COVER BROKEN

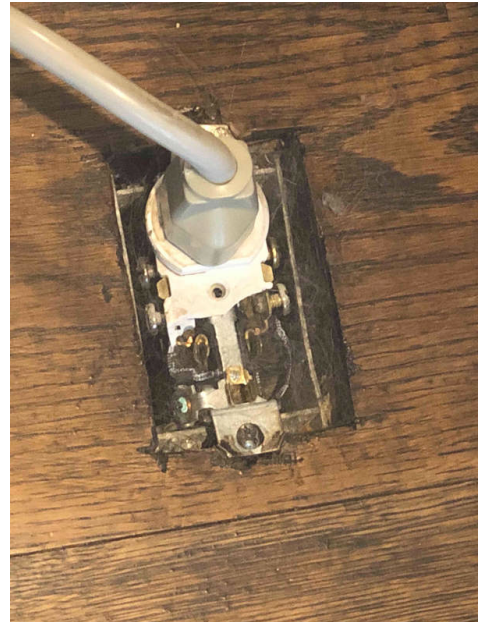
LIVING ROOM FLOOR

One or more exterior receptacle covers were broken. This is a potential shock hazard. Recommend that a qualified person replace covers where necessary.

Recommendation

Contact a qualified electrical contractor.

 Repair/Evaluation



4.1.4 Electrical

RECEPTACLE DAMAGE

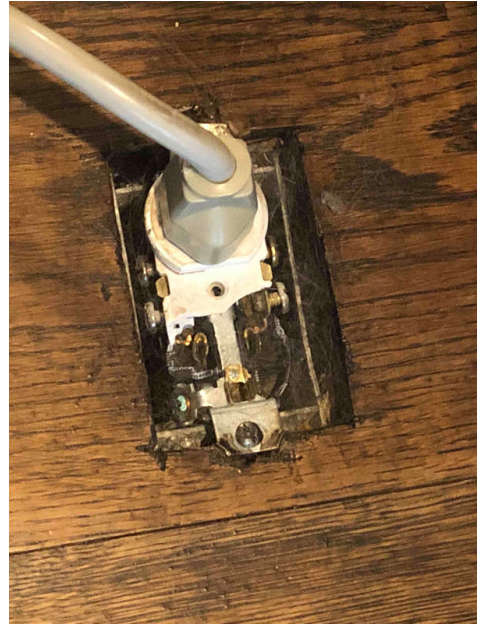
LIVING ROOM FLOOR

One or more receptacles were broken or damaged. This is a potential shock or fire hazard. Recommend that a qualified electrician replace such receptacles as necessary.

Recommendation

Contact a qualified electrical contractor.

 Repair/Evaluation



4.1.5 Electrical

COVER PLATE MISSING

LIVING ROOM FLOOR

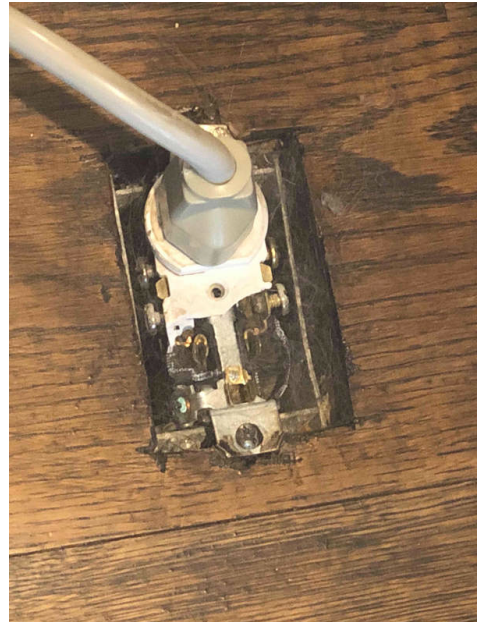
Cover plate(s) are missing from one or more electric boxes, such as for receptacles, switches and/or junction boxes. They are intended to contain fire and prevent electric shock from exposed wires. This is a safety hazard due to the risk of fire and shock. Cover plates should be installed where missing.

Recommendation

Contact a qualified electrical contractor.



Repair/Evaluation



4.2.1 Floors, Walls, Ceilings

REGISTERS MISSING

PANTRY

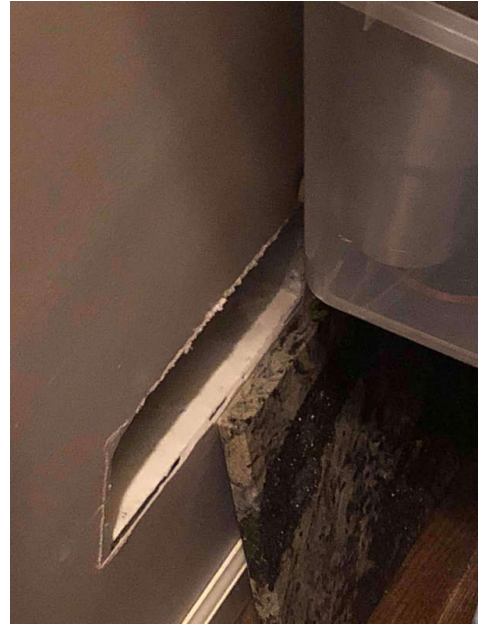
One or more air supply registers are missing. The air flow cannot be controlled as a result. Registers should be installed where missing.

Recommendation

Contact a qualified HVAC professional.



Repair/Evaluation



4.2.2 Floors, Walls, Ceilings

TRIM MISSING

KITCHEN ISLAND

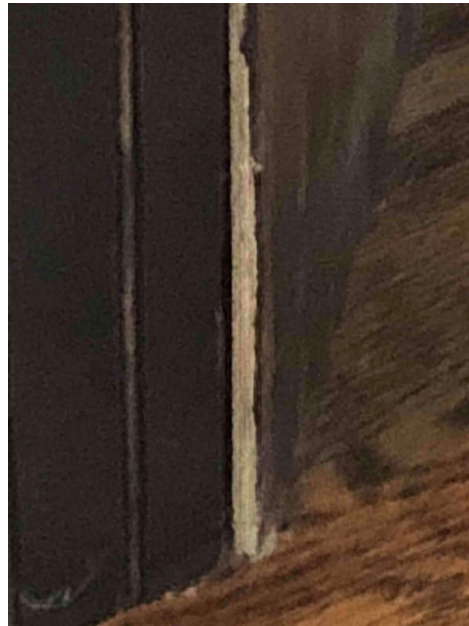
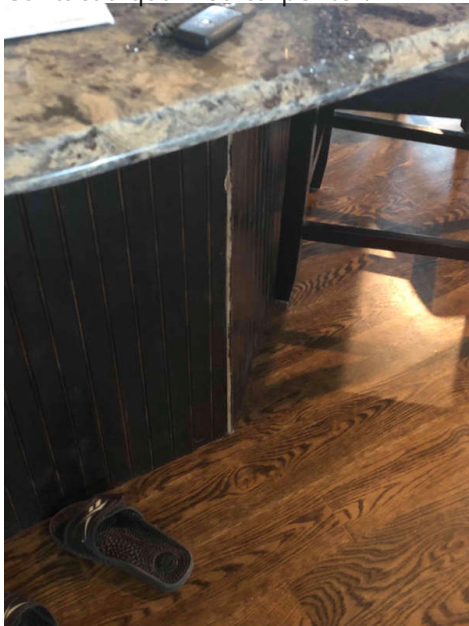
Trim is missing in one or more areas. Recommend having a qualified contractor install trim where missing.

Recommendation

Contact a qualified carpenter.



Maintenance, Monitor, Cosmetic



4.4.1 Windows and Door

WINDOW-SCREENS MISSING

LIVING ROOM

Screen(s) in one or more windows are missing. The client(s) should ask the property owner(s) about this. Screens are often removed for window cleaning and they may be stored somewhere. If not, then recommend installing screens where missing.



Maintenance, Monitor, Cosmetic

Recommendation

Contact a qualified window repair/installation contractor.



6.1.1 Water Heater

TPR IMPROPER MATERIAL

 High Importance

The TPR drain line was made of an improper material. These drains lines are to be made of either CPVC, Copper, or Galvanized piping to prevent melting when hot water or gases escape. Recommend qualified plumber repair.

Recommendation

Contact a qualified plumbing contractor.



9.3.1 Electrical

OPEN PANTRY LIGHT

 Repair/Evaluation

Lamp holders or light fixtures with fully or partially exposed bulbs are installed in one or more closets. This is a safety hazard due to the risk of fire. Flammable stored items may come into contact with hot bulbs, and hot fragments from broken bulbs may fall on combustible materials. Standard building practices require closet lighting to use fluorescent light fixtures, or to use fully enclosed incandescent fixtures. Installing a compact fluorescent lamp in a lamp holder is not an acceptable practice. A qualified electrician should replace closet lights as necessary and as per standard building practices.

Recommendation

Contact a qualified electrical contractor.



9.3.2 Electrical

RECEPTACLE LOOSE

 Repair/Evaluation

One or more electric receptacles and/or the boxes they are installed in are loose and/or not securely anchored. Wire conductors may be damaged due to repeated movement and/or tension on wires, or insulation may be damaged. This is a safety hazard due to the risk of shock and fire. A qualified electrician should evaluate and repair as necessary.

Recommendation
Contact a qualified electrical contractor.



10.1.1 Bathub

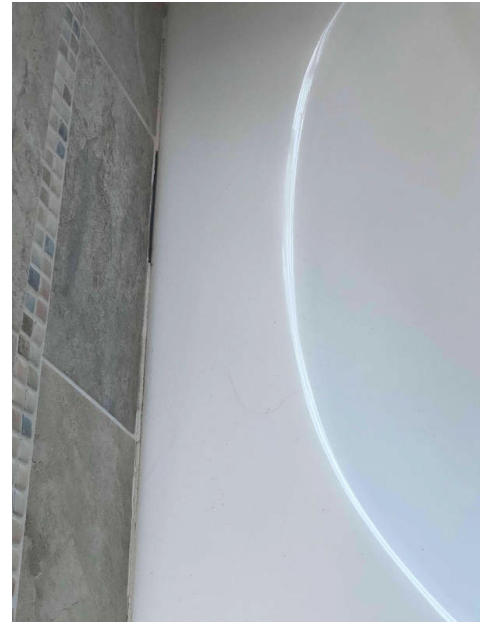
GROUT DETERIORATED



Maintenance, Monitor, Cosmetic

Grout at the tiles around the bathtub is damaged or deteriorated. This can allow water to intruded behind the tiles cause loose tiles and microbial growth issues behind tiles. For example, deteriorated or missing grout, cracked, missing or loose tiles, etc. A qualified contractor should evaluate and repair tile and/or grout as necessary.

Recommendation
Contact a qualified tile contractor



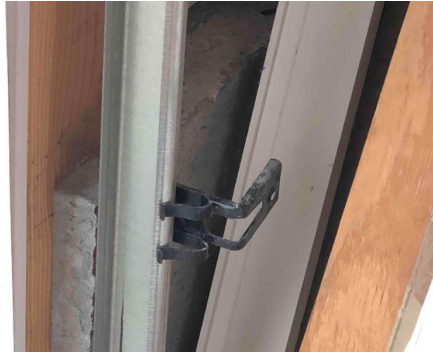
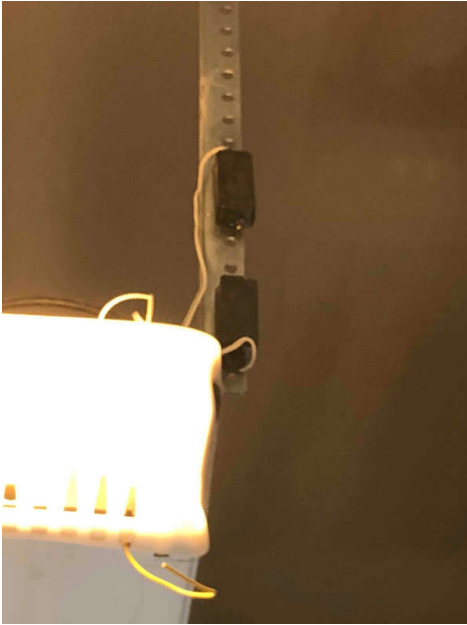
11.4.1 Vehicle door

AUTO REVERSE CLOSING

 Repair/Evaluation

One or more garage vehicle doors wouldn't close with the automatic opener because the opener auto-reversed while the door was closing. This can be caused by photoelectric sensors being out of adjustment, the door binding, the mechanical auto-reverse sensor having problems, etc. Note that because of this, the inspector was unable to verify that the auto-reverse functions for the automatic opener were operable. A qualified person should evaluate, repair as necessary and verify that auto-reverse functions are working.

Recommendation
Contact a qualified garage door contractor.



11.4.2 Vehicle door

PHOTO-EYES TOO HIGH

Repair/Evaluation

The infrared "photo eye" devices that trigger the vehicle door opener's auto-reverse feature are located higher than 4 to 6 inches from the floor. This is a potential safety hazard. A qualified contractor should relocate these devices so they're 4 to 6 inches from the floor.

Recommendation

Contact a qualified garage door contractor.

