



**SUMMARY**  
 1234 Main St.CHARLESTON sc 29412  
 Buyer Name  
 05/25/2018 9:00AM

Preston Clark  
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**INTRODUCTION:**

Thank you for choosing Clark Inspections, LLC to perform the inspection on your property! My goal is to help you gain a thorough understanding of the property that you are interested in purchasing. Please carefully read your entire Inspection Report. Feel free to call me after you have reviewed your report if you have any questions. Remember, now that the inspection is completed and the report has been delivered, I am still available to you for any questions you may have throughout the entire closing process, and anytime in the future.

**Summary Items**

Noted that Not necessarily all reported deficiencies will be included in the report summary. Please read the report thoroughly.

**Directional Reference**

(Front, Rear, Right and Left) = Location descriptions in the report comments are given in reference to facing the property from the street.

**Report Photos**

Pictures in Report -Your report includes photographs, which help to clarify where the inspector went, what was inspected, and the condition of a system or component at the time of the inspection. Some of the pictures may be of deficiencies or problem areas. These are to help you better understand what is documented in this report and may allow you to see areas or items that you normally would not see. A pictured issue does not necessarily mean the issue was limited to that area only, but may be a representation of a condition that is in multiple places. Not all areas of deficiencies or conditions will be supported with photos. Please read the report thoroughly.

**Purpose of Inspection**

The general purpose of this limited, visual inspection, evaluation and report is to provide the client with a better knowledge, the readily visible and accessible and apparent installed systems and components that do not function as intended, allowing for normal wear and tear, or which adversely affect the habitability of the dwelling, without regard to life expectancy.

A inspection is a non-invasive visual examination of a residential or property dwelling, performed for a fee, which is designed to identify observed visible material defects within specific components of said dwelling. Components may include any combination of mechanical, structural, electrical, plumbing, or other essential systems or portions of the property, as identified and agreed to by the Client and Inspector, prior to the inspection process. Properties being inspected do not "Pass" or "Fail."

2.2.1  
 Roof

Observations - Minor to Medium - address at your dislosrue

**Coverings**

**DEBRIS ON ROOF**

Nail were left on roof from either siding installation or roofing installation. I was able to pick up most nails. This nail had already melted into shingle tab. I recommend having nail removed and area repaired.

**Recommendation**

Contact a qualified roofing professional.



Nail on Front Slope 1 story

2.2.2  
Roof

Observations - Minor to Medium - address at your dislosure

Coverings

**IMPROPER/INCOMPLETE NAILING**

VARIOUS AREAS

Roof coverings showed signs of improper installation and fastening. Nail should not be exposed and nailed through the top of the shingle tab. The contractors covered the nails with a silicone sealant. This is a temporary repair. Recommend a qualified roofing contractor evaluate and repair.

These nails probably came from the installation process of the roof.

Recommendation

Contact a qualified roofing professional.



Silicone sealant covered nails through shingle tabs from installation

2.2.3 Roof Coverings

**DAMAGED OR DEFECTIVE SHINGLE**

Observations - Minor to Medium - address at your dislosure

VARIOUS LOCATIONS

Cracks from installation for defective shingles found on right slope over the garage. I recommend replacement of shingle shingle by a roofer.

There were some defective shingles found on the roof that showed signs of granules loss. This is a common find on a lot of roofs as some granules are affected when they are shipped in packaging on foot traffic on the roof can cause granule loss.

Recommendation

Contact a qualified roofing professional.



Crack shingle on right elevation towards front of home



Missing Granules



Missing Granules

2.2.4  
Roof

Observations - Minor to Medium - address at your dislosure

Coverings

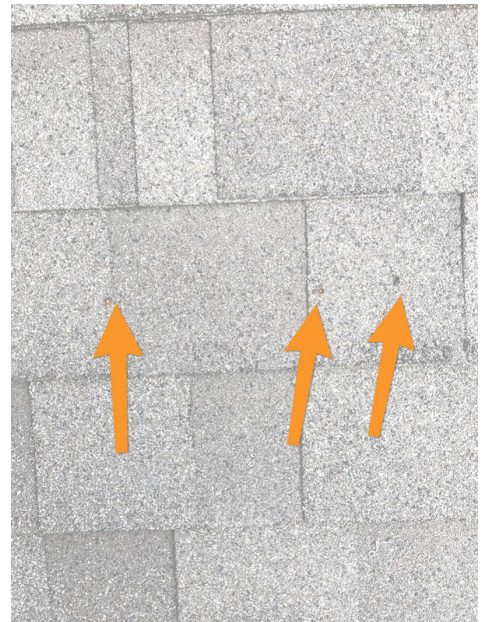
**NAIL HOLES**

LEFT ELEVATION ABOVE GARAGE

Nail hole left in roof from the installation process. Recommend having a roofer repair or replace shingle.

Recommendation

Contact a qualified roofing professional.



Nail holes left from where roof was being installed.

3.2.1 Wall Cladding

**PERIODICALLY MAINTENANCE WILL BE NEEDED**

Maintenance Item / Minor Recommendations

The vinyl siding on the elevations of the home that do not receive direct sun light will need to be cleaned of algae growth every few years. This is common in this area and there are companies that complete work like this for \$100. I recommend monitoring the siding once a year and clean at your discreion.

Recommendation

Contact a qualified cleaning service.

3.2.2 Wall Cladding

Observations - Minor to Medium - address at your dislosure

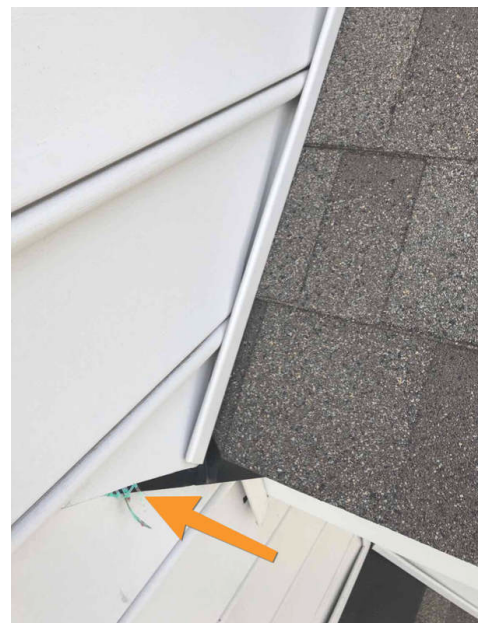
**SEAL PENETRATIONS**

LEFT ELEVATION WHERE GARAGE ROOF CONNECTS TO SIDING

Exterior wall had penetration or gaps that should to be sealed with an appropriate sealant to prevent moisture and insect entry. All work should be performed by a qualified contractor. This penetration is from. Installation of siding and roofing where they intersect due to installation.

Recommendation

Contact a qualified professional.



Seal Penetration or Flash

### 3.3.1 Eaves, Soffits, Fascia and Trim

#### GAPS



Deficient Item - Needs Addressed

#### WHERE GARAGE GABLE MEETS SIDING ON LEFT SLOPE

Gaps between the soffit and exterior walls may allow insect entry and water penetration. I recommend that appropriate measures be taken to prevent insect entry at these areas. I also recommend appropriate measures being taken to prevent water penetration as if water leaks in this area will go unknown until there is rotting pieces of framing around this area.

The siding has a crack in it from the installation.

#### Recommendation

Contact a qualified professional.



Cut in siding



How old is located in the same area

### 3.3.2 Eaves, Soffits, Fascia and Trim

#### BARE WOOD



Observations - Minor to Medium - address at your dislosure

#### BACK PORCH AND FRONT PORCH POST

Barewood was found on both sides of the back porch. The space needs to be sealed and painted. I recommend a painter ceiling and painting all the areas around the perimeter trim that shows bare wood. These areas can show signs of rot at early ages in the tear ration without being sealed.

#### Recommendation

Contact a qualified painter.



Bare wood needs to be covered with flashing

### 3.4.1 Doors(Exterior)

#### **BINDING ON JAMB**

##### FRONT EXTERIOR DOOR

 Maintenance Item / Minor Recommendations

The front exterior door is rubbing on top sill making it difficult to close. I recommend correction by a qualified pro.

Recommendation  
Contact a qualified professional.



Front door overview




Front door had paint on it



The top of the door has been shaved once

### 3.6.1 Windows (Exterior)

#### **SEALANT NEEDED AT WINDOWS**

 Deficient Item - Needs Addressed

It is recommended that window and door openings with vinyl siding be sealed with a high-quality sealant to help prevent moisture intrusion. you can see the vapor barrier. Window may not be properly flashed. I recommend having a window specialist advise.

Recommendation  
Contact a qualified window repair/installation contractor.



Sealant needed around exterior if windows or the windows are not properly flashed or trimmed



Trim above window in left elevation had an area where water can get trapped. Recommend window repair man review

3.9.1  
Exterior  
Fixtures

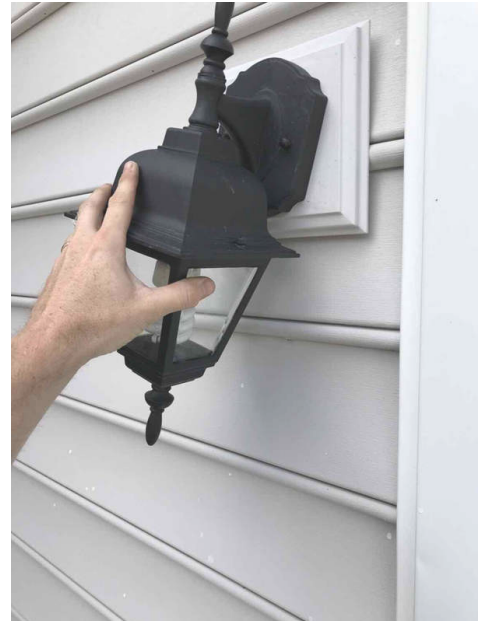
⊖ Observations - Minor to Medium - address at your dislosure

### LOOSE

VARIOUS

One or more light fixtures were loose.

Recommendation  
Contact a qualified electrical contractor.



4.3.1 Vegetation Observations

### TREE HAZARD

⚠ Deficient Item - Needs Addressed

BACK ELEVATION TO THE RIGHT OF THE SCREENED PORCH

A new tree had started to grow on the property. It was growing under the siding which can cause significant amount of damages. I recommend cutting the tree and having a siding installer detach and reset the siding in this area to make sure there is no vapor barrier damage under the siding.

The vegetation or beds is also really close to the bottom of the siding. It is recommended that the siding have a 6" clearance to prevent moisture from damaging the wood under the siding. I recommend monitoring the wood beneath the siding for rot every 6 months.

Recommendation  
Contact a qualified professional.



Tree growing under siding

5.3.1 Main, Service & Grounding,  
Main Overcurrent Device

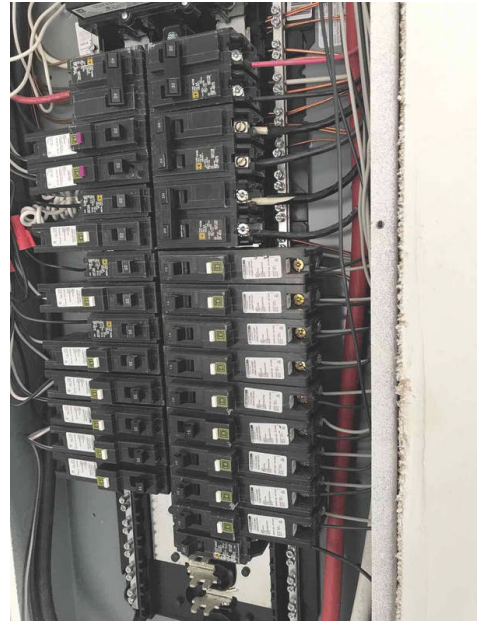


Deficient Item - Needs Addressed

### **BREAKER FLIPPED**

Breaker would flip at panel when kitchen light switches and the related ones in other rooms. This is mention prior in the report.

Recommendation  
Contact a qualified electrical contractor.



5.6.1 Smoke Detectors

### **ALWAYS TEST SD BEFORE MOVE**



Observations - Minor to Medium - address at your dislosure

The smoke detector should be tested at common hallway to bedrooms upon moving in to home.

Recommendation  
Contact a qualified professional.

6.3.1 Walls & Firewalls

### **SLIGHT INSTALLATION DAMAGE DRYWALL WITH A FEW AREAS UNFINISHED**



Observations - Minor to Medium - address at your dislosure

Recommendation  
Contact a qualified professional.



6.4.1 Floor

**WATER SEAPAGE PRESENCE**

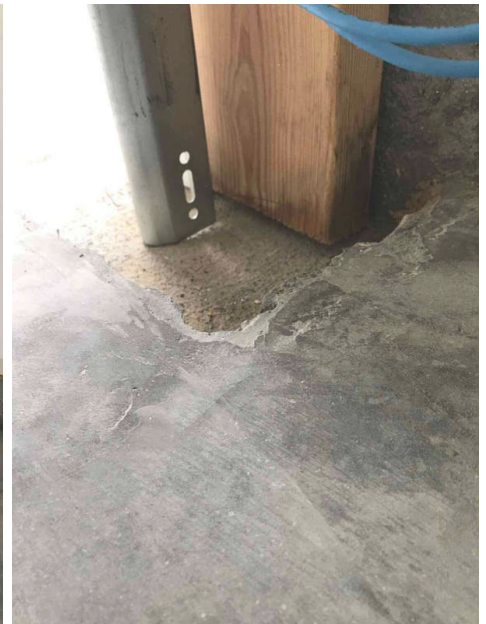
 Deficient Item - Needs Addressed

GARAGE

At the time of the inspection there was some water on the interior of the garage. I advise asking builder if it leaks every time and is it can be repaired.

Recommendation

Contact a qualified professional.



Water puddle in the garage

Base of wood framing showed light water stain

7.1.1 Attic Access  
Observations

 Maintenance Item / Minor Recommendations

**MISSING HATCH**

Down stairs master bathroom closet was missing a hatch at the time of the inspection. I recommend asking builder if their is one.



Recommendation  
Contact a handyman or DIY project



### 9.2.1 Fuel Supply and Distribution

#### **PIPE CORROSION**

RIGHT ELEVATION

Pipe corrosion found on fittings. I recommend monitoring and if problem gets bad call the gas company to evaluate and repair.



Maintenance Item / Minor Recommendations

If corrosion gets bad it could mean 2 metals like copper and galvanized are connected and causing electrolysis.

Recommendation

Contact a qualified plumbing contractor.



### 11.7.1 Switch Observations

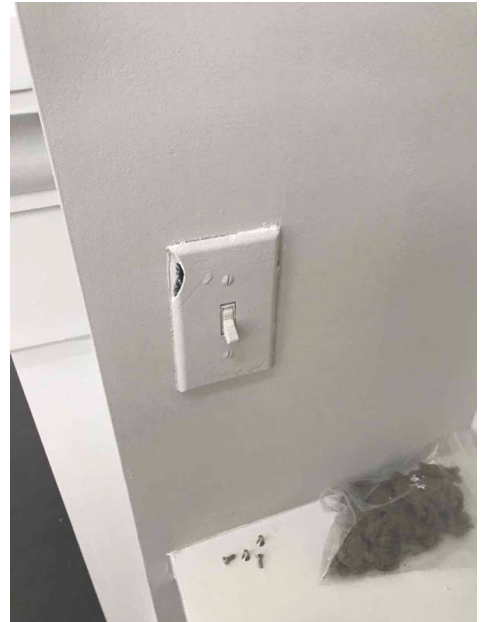
#### **IMPROPER OR DAMAGED COVER PLATE**



Maintenance Item / Minor Recommendations

An Improper cover plate was noted at the time of the inspection. This safety hazard should be corrected by a qualified electrical contractor.

Recommendation  
Contact a qualified professional.



### 11.7.2 Switch Observations **INOPERABLE SWITCH**

 Deficient Item - Needs Addressed

#### VARIOUS SWITCHES DOWNSTAIRS

A electrical switches next to the oven were Improperly operating at the time of the inspection and this can be a potential fire hazard. You should ask the seller about its operation. If you are unable to accurately confirm its functionality, you should have it examined by a qualified electrical contractor.

The switches on the kitchen half of the home to the laundry room did not work. Electricians are already informed.

Recommendation  
Contact a qualified electrical contractor.



Cover needs to be placed over switches and they were not hot at the time of the inspection.



Switches are not hot

11.8.1 Light Fixture Observations

**LIGHT FIXTURE NOT WORKING (ROOM)**

 Deficient Item - Needs Addressed

VARIOUS

The light fixture in the kitchen with all room lining up on right elevation were not working due to the non working switches listed in the report.

Recommendation  
Contact a qualified electrical contractor.

11.9.1

 Observations - Minor to Medium - address at your dislosure

Countertops & Cabinets

**CABINET DOOR MISSING**

One or more cabinet doors were missing. Recommend replacement.

Recommendation  
Contact a qualified cabinet contractor.



Cabinet Door are Missing in Living Room

14.4.1 Cooling Equipment and Operation

**NO ELECTRICITY TO DIGITAL THERMOSTAT**

 Observations - Minor to Medium - address at your dislosure

MASTER BEDROOM

The electrical controls to the master bedroom thermostat did not work. Recommend having HVAC contractor determine repair.

Recommendation  
Contact a qualified professional.

14.6.1 Condensate Pan

**COPPER LINE FROM AIR HANDLER LEAKING INTO DRIP PAN**

 Deficient Item - Needs Addressed

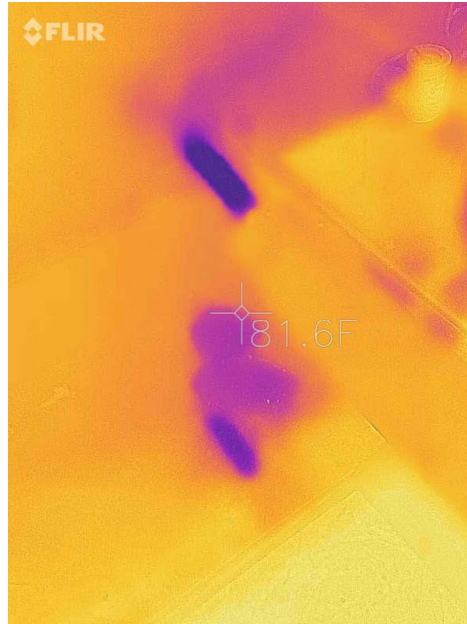
AIR HANDLER IN ATTIC

Copper line actively leaking into pan at time of inspection when AC was functioning. Recommend having build review and repair.

Recommendation  
Contact a qualified HVAC professional.



Water in pan from leaking copper Piping



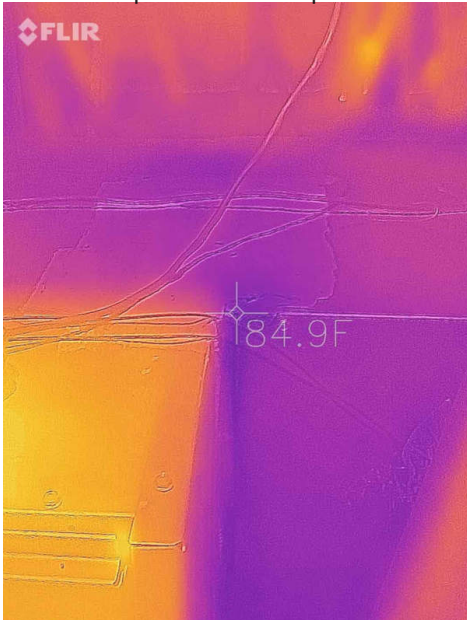
Thermal Image of leak

### 15.1.1 Heating & Cooling Distribution **LOOSE CONNECTION**

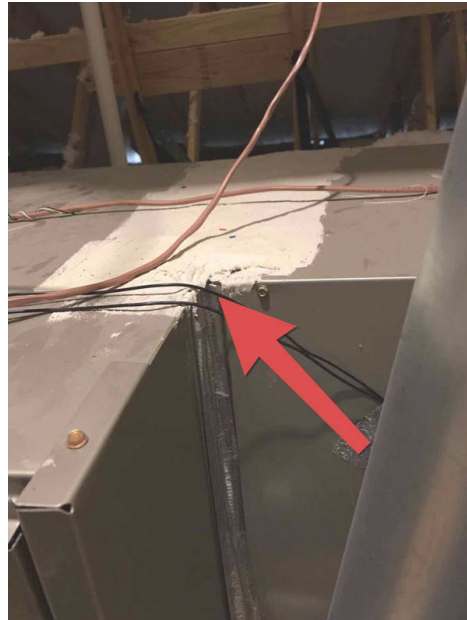
Observations - Minor to Medium - address at your dislosure

There is a loose connection on central air handler and cool air was leaking. This can cause rust. Recommend HVAC tech repair.

Recommendation  
Contact a qualified HVAC professional.



LEaking air can cause rust



Loose Connection that needs to be sealed due to cold air leaking