



**SUMMARY**  
1234 Main St. Coral Springs FL 33071  
Buyer Name  
05/21/2019 9:00AM

Oscar Lora  
Florida Licensed Home...  
Ohana Inspections  
(954) 440-9960  
[connect@ohanainspections.co](mailto:connect@ohanainspections.co)



### 1.3.1 Structure Details

#### **CHANGE LOCKS**

Ohana Inspections recommends that ALL locks and Security codes be changed before moving into the house.

Recommendation  
Recommended DIY Project

### 2.1.1 Coverings

#### **PONDING**

Observed ponding in one or more areas of roof. Ponding can lead to accelerated erosion and deterioration. Recommend a qualified roofing contractor evaluate and repair.

Recommendation  
Contact a qualified roofing professional.

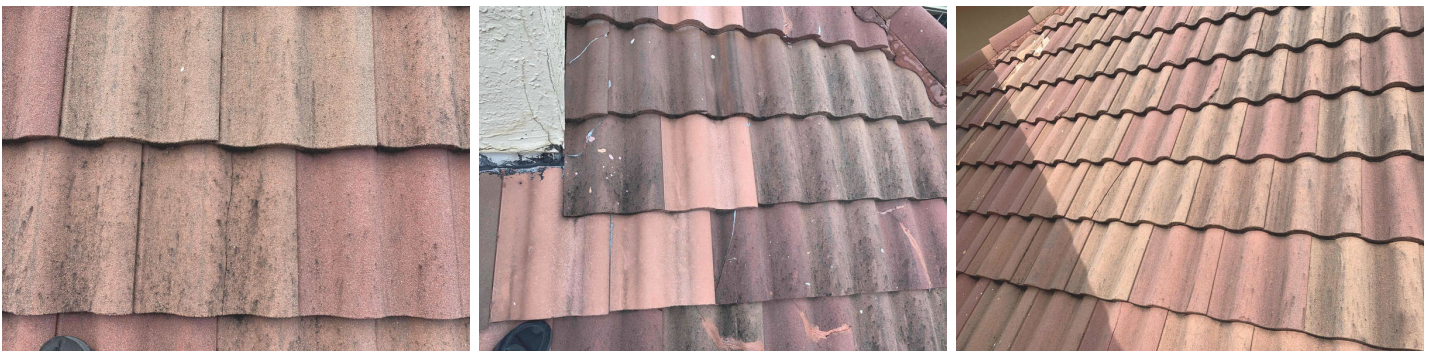


### 2.1.2 Coverings

#### **TILES CRACKED/BROKEN AND MISSING**

Roof had cracked/broken tiles. Inspector recommends a licensed roofing contractor repair or replace to prevent moisture intrusion and/or mold.

Recommendation  
Contact a qualified roofing professional.





### 2.2.1 Roof Drainage Systems

#### **DEBRIS**

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow.

[Here is a DIY resource](#) for cleaning your gutters.

Recommendation

Contact a qualified roofing professional.



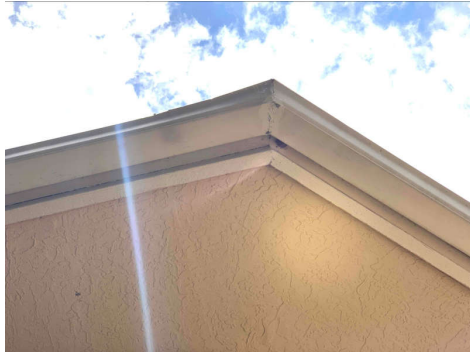
### 2.2.2 Roof Drainage Systems

#### **GUTTER LEAKAGE**

Gutters were observed to be leaking in one or more areas. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor evaluate and repair gutters to proper functionality.

Recommendation

Contact a qualified roofing professional.



### 2.4.1 Skylights, Chimneys & Other Roof Penetrations

#### **VENT STACK BOOT**

Vent stack boot was not properly placed. Inspector recommends hammering down the inner edges a little further.

Recommendation

Contact a qualified professional.



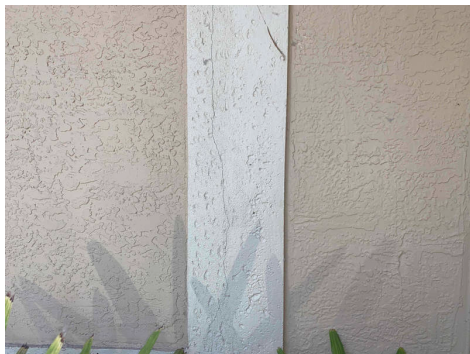
### 3.1.1 Siding, Flashing & Trim

#### **CRACKING - MINOR**

Siding showed cracking in one or more places. This is a result of temperature changes, and typical as homes with stucco age. Stucco cracking is not a normal symptom of a new construction home. Recommend repair and monitoring.

Recommendation

Recommended DIY Project





3.1.2 Siding, Flashing & Trim

**EVIDENCE OF WATER INTRUSION**

Siding showed signs of water intrusion. This could lead to further siding deterioration and/or mold. Recommend a qualified siding contractor evaluate and repair.

Recommendation

Contact a qualified professional.





3.1.3 Siding, Flashing & Trim

**MISSING TRIM**

Recommendation

Contact a qualified professional.



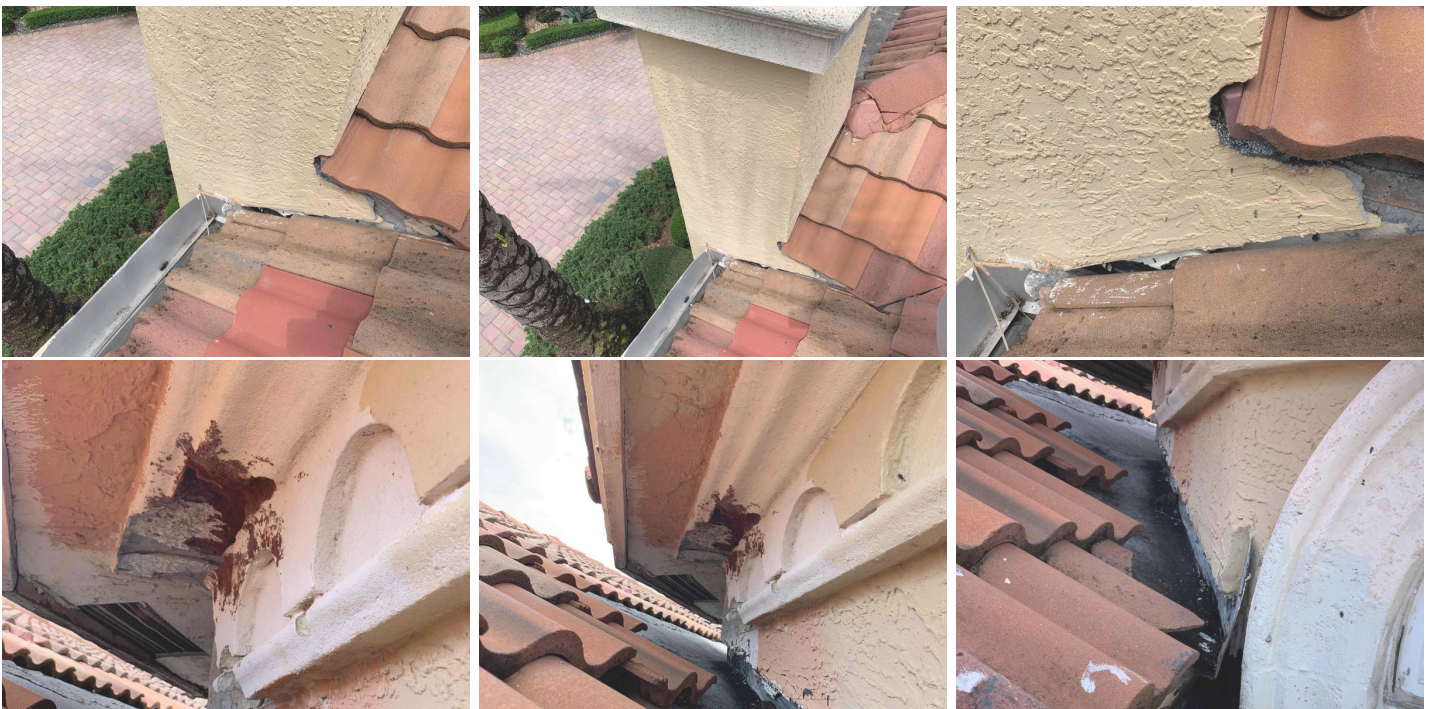
3.1.4 Siding, Flashing & Trim

**SIDING IN NEED OF REPAIR**

Multiple areas of siding in need of repair. Inspector recommends hiring a siding contractor to evaluate the siding condition and determine extent of repair.

Recommendation

Contact a qualified professional.



3.2.1 Exterior Doors

**DOOR SILL/TRIM**

Door sill and/or trim is loose, deteriorated or worn and repair or replacement should be considered.

Recommendation

Contact a qualified door repair/installation contractor.



3.2.2 Exterior Doors

**PAINT/REFINISH NEEDED**

Door finish is worn. Recommend refinish and/or paint to maximize service life.

[Here is a DIY article](#) on refinishing a wood door.

Recommendation

Contact a qualified door repair/installation contractor.



3.3.1 Walkways, Patios & Driveways

**WALKWAY TRIP HAZARD**

Trip hazards observed. Patch or repair recommended.

Recommendation

Contact a qualified professional.

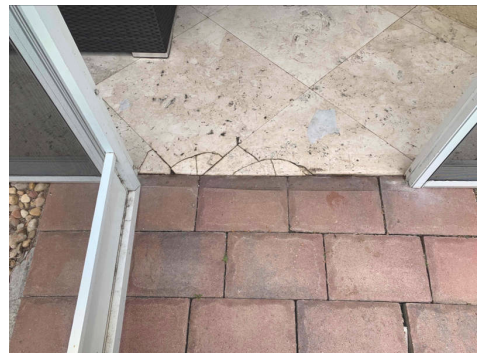


3.4.1 Decks, Balconies, Porches & Steps

**PATIO TILES CRACKED**

Recommendation

Contact a qualified professional.



3.6.1 Vegetation, Grading, Drainage & Retaining Walls

**TREE OVERHANG**

Trees observed overhanging the roof. This can cause damage to the roof and prevent proper drainage. Recommend a qualified tree service trim to allow for proper drainage.

Recommendation

Contact a qualified tree service company.



4.3.1 Electrical

**COVER PLATE MISSING**

Cover plate(s) are missing from one or more electric boxes, such as for receptacles, switches and/or junction boxes. They are intended to contain fire and prevent electric shock from exposed wires. This is a safety hazard due to the risk of fire and shock. Cover plates should be installed where missing.

Recommendation

Contact a qualified electrical contractor.



5.1.1 Cooling Equipment

**INSULATION MISSING OR DAMAGED**

Missing or damaged insulation on refrigerant line can cause energy loss and condensation.

Recommendation

Contact a qualified HVAC professional.



5.2.1 Normal Operating Controls

**FLOAT SWITCH NOT IN PLACE**

Recommendation  
Contact a qualified professional.



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#### 6.1.1 Main Water Shut-off Device

### MINOR LEAK

Minor leak coming from spicket at house main shut off.

Recommendation  
Contact a qualified professional.



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#### 6.3.1 Water Supply, Distribution Systems & Fixtures

### TOILET LOOSE

Toilet is loose at the base. Recommend a qualified plumber evaluate and repair to prevent further water damage.

Recommendation  
Contact a qualified plumbing contractor.



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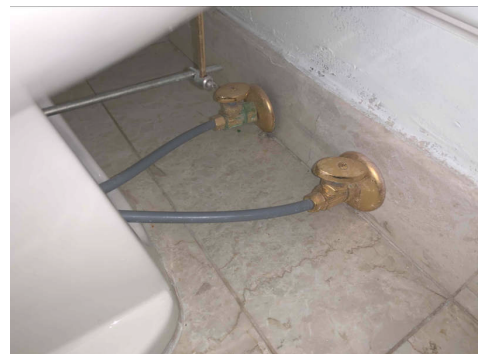
#### 6.3.2 Water Supply, Distribution Systems & Fixtures

### POLYBUTYLENE SUPPLY PIPES

Water supply pipes for master bathroom toilet only were made from polybutylene material. This material can be prone to fail without warning, causing damage to the home structure. Recommend a qualified plumber replace pipes and fittings with an approved material like PEX.

You can read more about polybutylene piping [here](#) and [here](#).

Recommendation  
Contact a qualified plumbing contractor.





6.3.3 Water Supply, Distribution Systems & Fixtures

**WATER STOP DAMAGED**

Recommendation

Contact a qualified professional.



6.3.4 Water Supply, Distribution Systems & Fixtures

**LEAK UNDER SINK**

Leak detected under bathroom sink. Inspector recommends hiring a qualified plumbing professional to repair. Monitor for possible mold growth.

Recommendation

Contact a qualified plumbing contractor.



6.3.5 Water Supply, Distribution Systems & Fixtures

**LOOSE WATER FIXTURE**

Handle on master bathroom tub and sink were not properly attached. Recommend repair.

Recommendation

Contact a qualified professional.



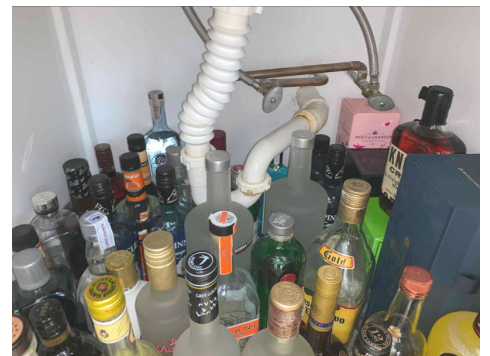
6.3.6 Water Supply, Distribution Systems & Fixtures

**FLEX PIPE**

Flexible drain pipe was installed under sinks. Inspector recommends they be replaced with smooth PVC to avoid build up and unpleasant odors.

Recommendation

Contact a qualified professional.



6.3.7 Water Supply, Distribution Systems & Fixtures

**SLOW DRAIN**

One of the sinks in the master bathroom was slow to drain.

Recommendation  
Contact a qualified professional.



6.3.8 Water Supply, Distribution Systems & Fixtures

**BATHTUB ACCESS COVER OPEN**

Inspector recommends locking to avoid unwanted guests.

Recommendation  
Contact a qualified professional.



6.3.9 Water Supply, Distribution Systems & Fixtures

**BATHTUB HOSE NOT FUNCTIONAL**

Recommendation  
Contact a qualified professional.



6.4.1 Hot Water Systems, Controls, Flues & Vents

**CORROSION**

Corrosion was noted at the burn chamber or pipe fittings.  
Recommend a qualified plumber evaluate for repair/replacement.

Recommendation  
Contact a qualified plumbing contractor.



6.5.1 Sprinkler System

**SPRINKLER HEAD DAMAGE**



One or more sprinkler heads showed signs of damage at time of inspection.

Recommendation

Contact a qualified professional.

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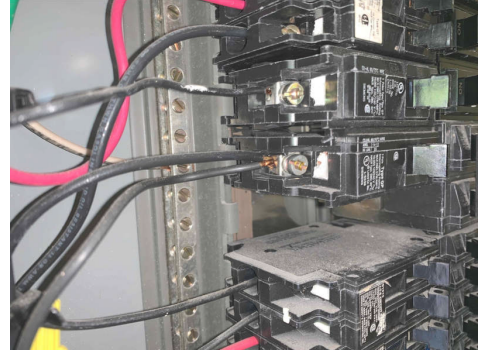
7.2.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device

### **DOUBLE-TAP**

In this sub-panel, two wires were connected to a breaker designed for only one wire. This is known as a "double-tap" and is a defective condition that should be corrected by a qualified electrical contractor.

Recommendation

Contact a qualified electrical contractor.



7.4.1 Lighting Fixtures, Switches & Receptacles

### **COVER PLATES DAMAGED**

One or more receptacles have a damaged cover plate. Recommend replacement.

Recommendation

Contact a qualified electrical contractor.



7.5.1 GFCI & AFCI

### **GFCI NOT FUNCTIONAL**

Recommendation

Contact a qualified professional.



7.7.1 External Components

### **EXPOSED WIRES**

Recommendation

Contact a qualified electrical contractor.

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### 7.7.2 External Components

#### **EXTERIOR LIGHT FIXTURE IN NEED OF REPAIR**

Recommendation

Contact a qualified professional.



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### 7.7.3 External Components

#### **MISSING COVER**

Recommendation

Contact a qualified professional.



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### 8.2.1 Windows

#### **WINDOWS NEED CAULKING**

Windows show signs of dry caulking recommend repair to prevent water intrusion.

Recommendation

Contact a qualified professional.



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8.2.2 Windows

**HARDWARE DAMAGE**

Locking mechanism was damaged at time of inspection.

Recommendation

Contact a qualified professional.



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8.2.3 Windows

**WINDOWS IN NEED OF CLEANING**

Recommendation

Contact a qualified professional.



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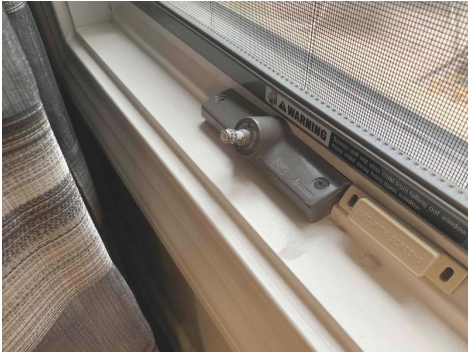
#### 8.2.4 Windows

### WINDOW HARDWARE MISSING

Locking hardware for master bedroom windows was not present at time of inspection.

Recommendation

Contact a qualified professional.



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#### 8.3.1 Floors

### BASEBOARD DAMAGE

Recommendation

Contact a qualified professional.



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#### 8.4.1 Walls

### SHOWER NEEDS GROUT

Certain areas of the showers need more grout. Inspector recommends fixing immediately to avoid water damage.

Recommendation

Contact a qualified professional.



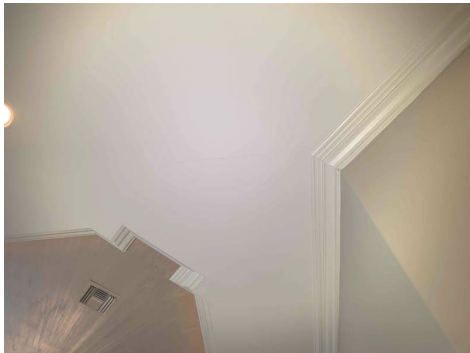
### 8.5.1 Ceilings

#### **CRACKS ON CEILING**

Cracks were discovered on interior ceiling. This could be indication of water intrusion, structural issues, settlement or excess weight on trusses in the attic. Inspector recommends determining the cause of the cracking and evaluating for repairs.

#### Recommendation

Contact a qualified professional.





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8.7.1 Countertops & Cabinets  
**POOR/MISSING CAULK**

Bathroom shower and Kitchen are missing sufficient caulk/sealant at the wall. This can lead to water damage. Recommend adding sealant at sides and corners where counters touch walls.

[Here is a helpful DIY video on caulking gaps.](#)

Recommendation  
Recommended DIY Project



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9.6.1 Wine Cooler  
**BROKEN GLASS**

Recommendation  
Contact a qualified professional.



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10.1.1 General  
**DRYER VENT COVER DAMAGE**

This could permit unwanted guest to enter home.



Recommendation  
Contact a qualified professional.



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10.1.2 General

### THE LAUNDRY CHUTE

Laundry Chute was a straight shot down. This could pose a potential fall risk for young children.

Recommendation  
Contact a qualified professional.



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11.2.1 Fencing

### NO FENCING

There were no holes showing around pool deck for fencing

Recommendation  
Contact a qualified professional.



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11.5.1 Pool and decking

### TILE AND GROUT DETERIORATION

Several of the tiles and grout around the pool and/or spa are deteriorated. The tiles and the grout should be repaired to help prevent water intrusion behind the tile work which can cause them to loosen up.

Recommendation

Contact a qualified Swimming Pool Contractor



11.5.2 Pool and decking

**PAVERS NEED TO BE EVALUATED**

Recommendation

Contact a qualified professional.



12.2.1 Garage Door

**TRIM DAMAGE**

Garage door trim showed signs of damage at time of inspection.

Recommendation

Contact a qualified professional.



