



**SUMMARY**  
 1234 Main St. Boulder Colorado 80305  
 Buyer Name  
 12/13/2018 9:00AM

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 NACHI1707013  
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 eric@heroinspect.com



4.1.1 EPA RADON TEST RESULTS

**RADON TEST RESULTS AVERAGE OVER 4.0 PCL/L**

 Major - Safety | Deficiencies

Results: pCi/L average 9.7  
 Date & Time Start: 12/8/2018  
 Date & Time Finish: 12/10/2018 2:00 pm  
 Hourly Readings: 48

RadStar RS300  
 Radon Detector/Monitor  
 Version 1.7  
 Serial#: 04257  
 Calib.#: 31000 Bkgnd03  
 TestID#: 30203

Interval Report

Hour	T	B	AC	pCi/L	Temp	Hum	Alpha
001	001.7	-	-	0032			
002	004.3	-	-	0082			
003	004.6	-	-	0087			
004	005.9	-	-	0112			
005	006.5	-	-	0123			
006	006.4	-	-	0122			
007	009.2	-	-	0173			
008	010.0	-	-	0188			
009	010.8	-	-	0203			
010	009.8	-	-	0186			
011	009.4	-	-	0178			
012	011.2	-	-	0212			
013	012.4	-	-	0234			
014	010.2	-	-	0192			
015	009.2	-	-	0175			
016	009.4	-	-	0178			
017	008.7	-	-	0165			
018	009.8	-	-	0185			
019	009.7	-	-	0183			
020	008.9	-	-	0168			
021	007.8	-	-	0148			
022	009.3	-	-	0176			
023	009.9	-	-	0187			
024	009.8	-	-	0186			
025	009.7	-	-	0183			
026	009.5	-	-	0179			
027	011.2	-	-	0211			
028	010.0	-	-	0189			
029	011.6	-	-	0218			
030	009.9	-	-	0188			
031	008.7	-	-	0164			
032	009.7	-	-	0183			
033	008.2	-	-	0156			
034	010.5	-	-	0199			

035	010.8	-	-	0203
036	012.3	-	-	0231
037	014.4	-	-	0270
038	012.1	-	-	0228
039	012.2	-	-	0229
040	009.5	-	-	0179
041	009.8	-	-	0185
042	009.7	-	-	0183
043	009.1	-	-	0172
044	008.0	-	-	0152
045	007.2	-	-	0137
046	007.9	-	-	0150
047	008.0	-	-	0151
048	011.2	-	-	0211

Avg: 009.7  
 Max: 014.4  
 Min: 006.4

Recommendation  
 Contact a qualified environmental contractor

### 7.3.1 BUILDING STRUCTURE

#### FOUNDATION - CRACKS - MINOR

 Minor - Safety | Deficiencies

There were minor cracks and/or cosmetic blemishes found in the foundation. These don't appear to be a structural concern, but recommend sealing them to prevent water infiltration and monitoring them in the future. Numerous products exist to seal such cracks including:

- Hydraulic cement. Requires chiseling a channel in the crack to apply.
- Resilient caulks (easy to apply).
- Epoxy sealants (both a waterproof and structural repair).

Recommendation  
 Contact a handyman or DIY project

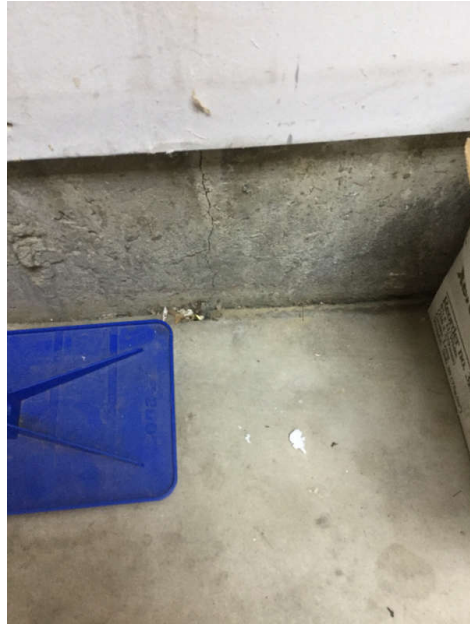


North Elevation



North Elevation





Garage

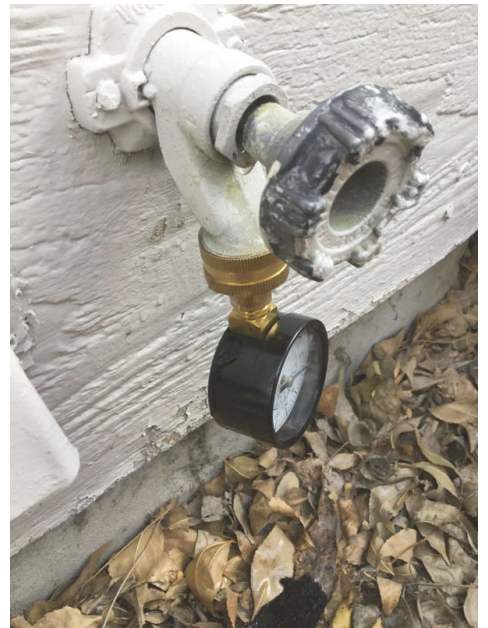
Garage

7.5.2 DRAINAGE/ PLUMBING/ GAS  
**FAUCET/ HOSE BIB - LEAKS**

Minor - Safety | Deficiencies

The outside faucets leak. For example, from the valve stem when turned on or from the spigot when turned off. A qualified plumber should evaluate and repair as necessary.

Recommendation  
Contact a qualified plumbing contractor.



South Elevation

7.5.3 DRAINAGE/ PLUMBING/ GAS  
**FAUCET / HOSE BIB - NO ANTI-SIPHON**

Minor - Safety | Deficiencies

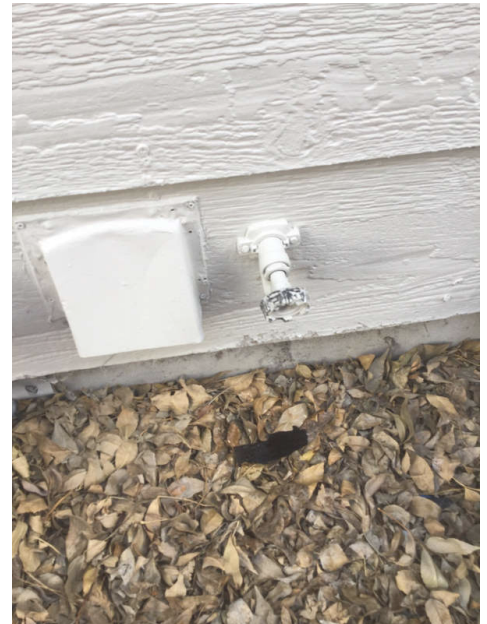
Outside faucets are missing backflow prevention devices. These devices reduce the likelihood of polluted or contaminated water entering the potable water supply. This condition can occur when an outside faucet is left in the "on" position with a hose connected and the sprayer head turned off. When pressure in the system fluctuates, water can be drawn back into the water supply pipes from the house. If a chemical sprayer is being used with the hose, those chemicals can enter the water supply pipes.

Recommend installing backflow prevention devices on all exterior hose bibs where missing. They are available at most home improvement stores and are easily installed. For more information, visit:

<http://edis.ifas.ufl.edu/AE113>

Recommendation

Contact a qualified plumbing contractor.



South Elevation

#### 7.8.1 ELEVATED AREAS AND STAIRS

### HANDRAILS - MISSING

Minor - Safety | Deficiencies

Flights of stairs with more than two risers have no handrail installed. This is a safety hazard. A qualified contractor should install graspable handrails that your hand can completely encircle at stairs where missing, and as per standard building practices.

Recommendation

Contact a handyman or DIY project



East Elevation

#### 7.10.1 SIDING/ WALL COVERING

### CAULKING - GENERAL

Minor - Safety | Deficiencies

Caulking/sealant is missing and/or deteriorated around the entire exterior where similar and dissimilar materials meet. This is a general maintenance situation which typically requires regular attention. A qualified contractor should evaluate and make repairs as necessary.

Recommendation

Contact a handyman or DIY project



North Elevation



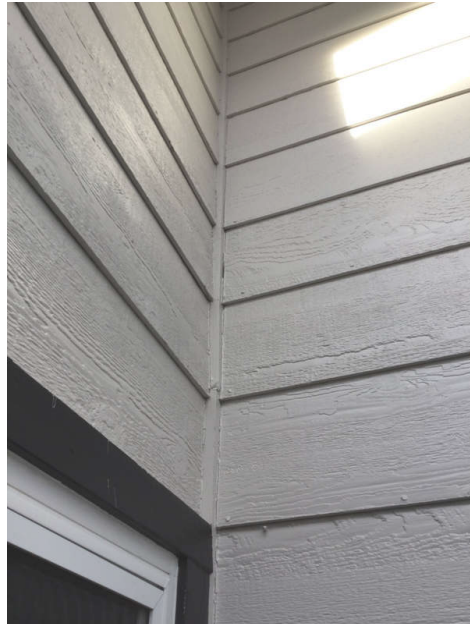
North Elevation



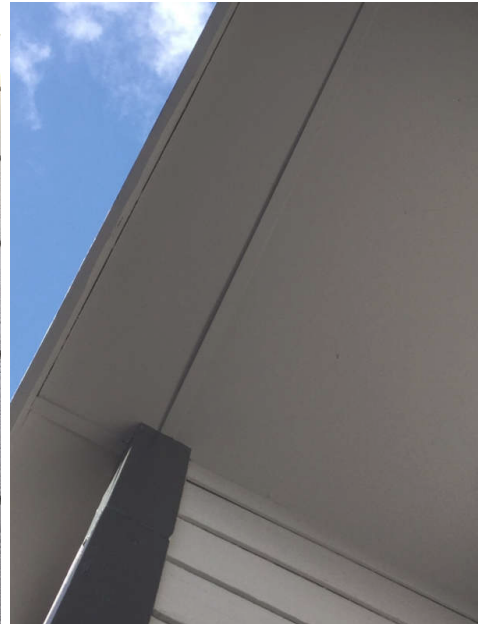
East Elevation



South Elevation



South Elevation



South Elevation



West Elevation



Roof

**SIDING - COMPOSITION SIDING - MINOR - MAINTAIN**

This property is clad with composition wood fiber siding. Many brands of this type of siding by different manufacturers are known to deteriorate and/or fail prematurely due to moisture penetration. Failure is typically visible in the form of swelling, cracking and delamination, especially at the bottom edges. Class action lawsuits have been filed or are being filed against most manufacturers of this material.

Some areas of siding on this structure show the symptoms described above, but it appears that the siding hasn't deteriorated to the point of needing replacement. Some manufacturers (Louisiana Pacific) recommend a repair process for this siding where affected areas are sealed with "Permanizer Plus", a flexible primer made by Pittsburgh Paint, followed by two coats of 100% acrylic latex paint. This sealant must be applied to the bottom edges using a brush. The face of the siding can be sprayed. The "Permanizer Plus" sealer isn't required for edges that aren't swollen, cracked or deteriorated, but the acrylic latex should still be brushed on these edges.

At a minimum, recommend having a qualified contractor seal and repaint as described above, or by other methods specified by the siding's manufacturer. The client(s) may wish to have a qualified contractor evaluate further to determine if some or all of the siding should be replaced.

For more information, visit:

<http://www.google.com/search?hl=en&q=permanizer+plus>

[http://www.siding4u.com/failing\\_siding\\_help.htm](http://www.siding4u.com/failing_siding_help.htm)

#### Recommendation

Contact a handyman or DIY project



West Elevation



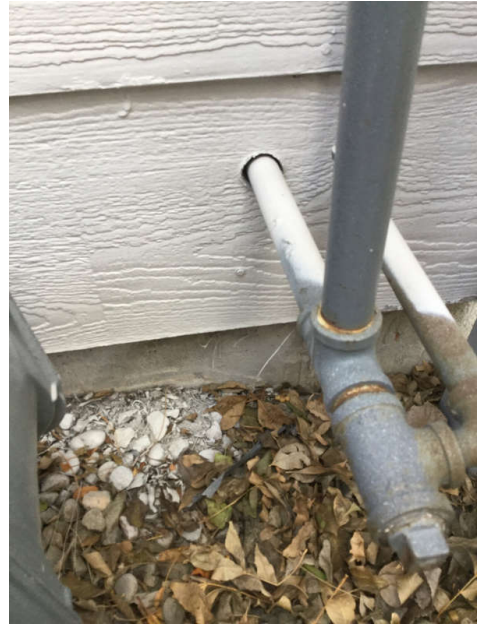
Roof

**SIDING - GAPS AT PENETRATIONS**

Gaps exist at openings around the exterior, such as those where outside faucets, refrigerant lines, and/or gas supply pipes penetrate the exterior. Gaps should be sealed as necessary to prevent moisture intrusion and entry by vermin.

#### Recommendation

Contact a handyman or DIY project



South Elevation

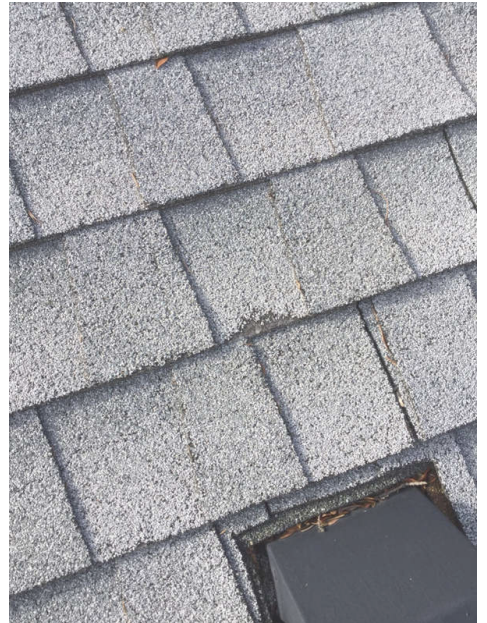
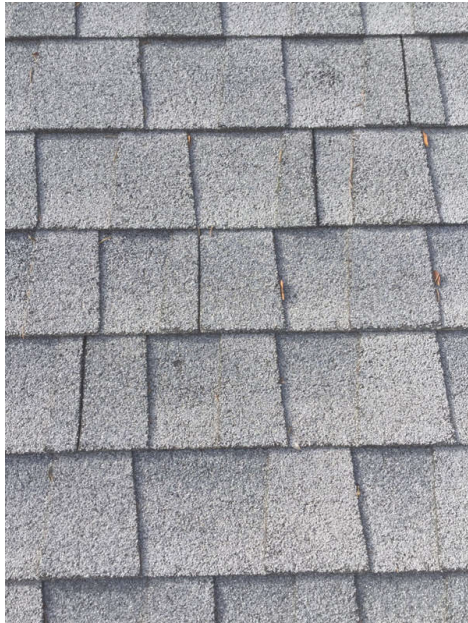
8.5.1 GENERAL ROOFING

**DAMAGE - DETERIORATION - MINOR**

Minor - Safety | Deficiencies

The roof has minor damage or deterioration. It is recommended to monitor the roofing system, however, the buyer may consider having it evaluated by a licensed roofer.

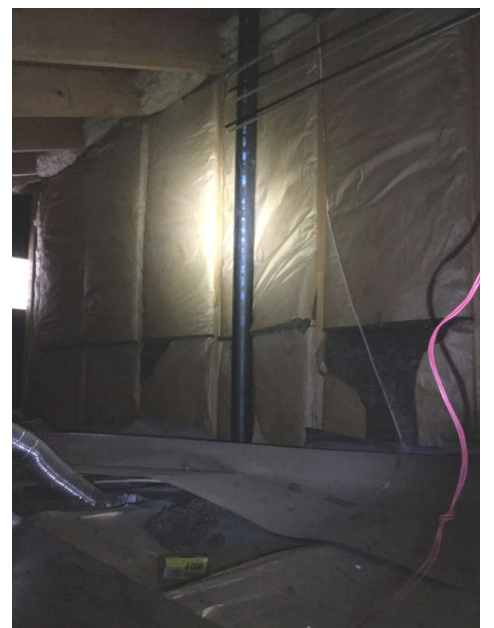
Recommendation  
Recommend monitoring.





9.3.2 ATTIC  
**INSULATION - PAPER FACING  
ON BATTS EXPOSED**

 Minor - Safety | Deficiencies





Paper facing on batt insulation is oriented towards open spaces, rather than against interior space surfaces. This occurs when newer, fiberglass batt insulation with paper facing on one side is installed backwards or upside down, or when older batt insulation wrapped on both sides with paper is installed. The paper facing is flammable. Newer insulation usually has a warning label indicating this on the facing.

For newer batt insulation with paper facing on one side only, the paper facing should be oriented towards interior spaces rather than exposed, open spaces. The existing insulation should be reinstalled or replaced.

For older batt insulation with paper facing on both sides, recommend that repairs be made as necessary to eliminate the exposed paper facing.

A qualified contractor should evaluate and make repairs as necessary, and as per standard building practices and the insulation manufacturer's recommendations to eliminate the fire hazard.

Also, the paper facing also acts as a vapor barrier, and if located away from the interior surfaces, can trap moisture from condensation in the cavity between the paper facing and the interior spaces. This is a conducive condition for wood destroying insects. The inspector was unable to evaluate the structure obscured by the insulation. When repairs are made, the exposed structure should be evaluated for damage by wood destroying insects and/or organisms, and repairs should be made if necessary.

Recommendation  
Contact a qualified insulation contractor.

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#### 9.4.1 ELECTRICAL **LIGHT FIXTURE - INOPERABLE**

Minor - Safety | Deficiencies

The light fixtures appear to be fully or partially inoperable. Recommend further evaluation by replacing bulb(s) and/or consulting with the property owner(s). Repairs or replacement of the light fixture by a qualified electrician may be necessary.

Recommendation  
Contact a handyman or DIY project



#### 10.4.1 PANEL AND WIRING

### SAFETY - MINOR - MISSING OR INADEQUATE LEGEND

Minor - Safety | Deficiencies

The legend for overcurrent protection devices (breakers or fuses) in the main service panel is missing, unreadable or incomplete. Recommend installing, updating or correcting the legend as necessary so it's accurate. Evaluation by a qualified electrician may be necessary.

Recommendation

Contact a qualified electrical contractor.



#### 11.5.1 GARAGE HOUSE DOOR/ EXTERIOR DOORS/ WINDOWS

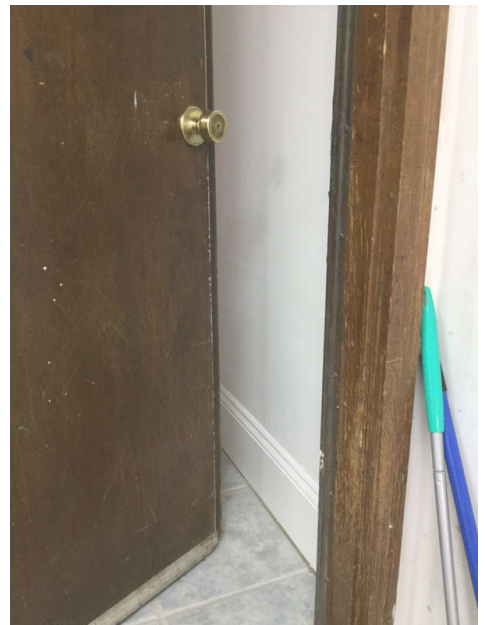
### GARAGE/ HOUSE DOOR - AUTO CLOSE - NOT INSTALLED

Minor - Safety | Deficiencies

The garage-house door isn't equipped with an automatic closing device such as sprung hinges. This door should close and latch automatically to prevent vehicle fumes from entering living spaces and/or to slow the spread of fire from the garage to living spaces. A qualified contractor should install automatic closing device(s) as necessary, and as per standard building practices, so this door closes and latches automatically.

Recommendation

Contact a handyman or DIY project



#### 11.6.2 WALLS/ FLOORS/ CEILINGS

### FLOORS - CRACKS - TRIP HAZARD

Minor - Safety | Deficiencies

Trip hazards were found in the garage floor due to cracks, settlement and/or heaving. Recommend having a qualified contractor evaluate and repair or replace sections as necessary to eliminate trip hazards.

Recommendation

Contact a qualified concrete contractor.



### 11.7.1 ELEVATED AREAS AND STAIRS

## HANDRAILS - MISSING

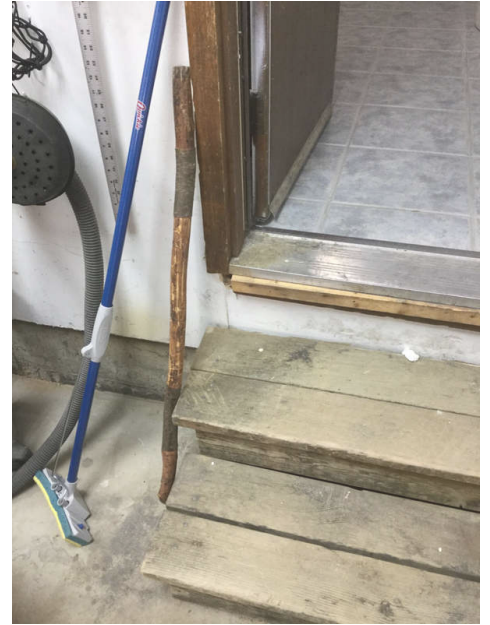


Minor - Safety | Deficiencies

Flights of stairs with more than two risers have no handrail installed. This is a safety hazard. A qualified contractor should install graspable handrails that your hand can completely encircle at stairs where missing, and as per standard building practices.

Recommendation

Contact a handyman or DIY project



### 11.8.1 VEHICLE DOOR/ VEHICLE DOOR OPENER

## VEHICLE DOOR - WEATHERSTRIP MISSING



Minor - Safety | Deficiencies

Weatherstrip at the sides and/or bottom of the vehicle door is missing. It should be installed where missing to prevent water and vermin intrusion.

Recommendation

Contact a handyman or DIY project



### 15.1.1 BATHTUBS/ SHOWERS

## CAULK - MISSING AT FIXTURES



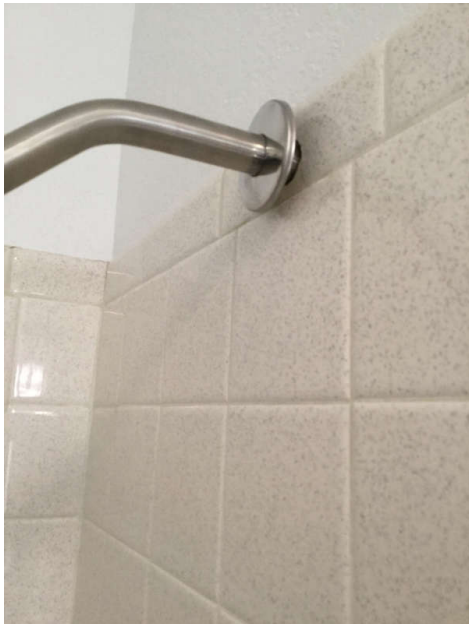
Minor - Safety | Deficiencies

Caulk is missing or deteriorated around fixtures such as the base of shower/bathtub spouts and/or at the base of the control valves and/or at the base of the shower head back plate. Caulk should be replaced where deteriorated and/or applied where missing to prevent water intrusion and damage to wall structures.

For more information on caulking, visit: [The Ins and Outs of Caulking](#).

Recommendation

Contact a handyman or DIY project



1st Floor Bathroom



1st Floor Bathroom



Basement Bathroom

#### 15.1.2 BATHTUBS/ SHOWERS

### CAULK - MISSING AT FLOOR



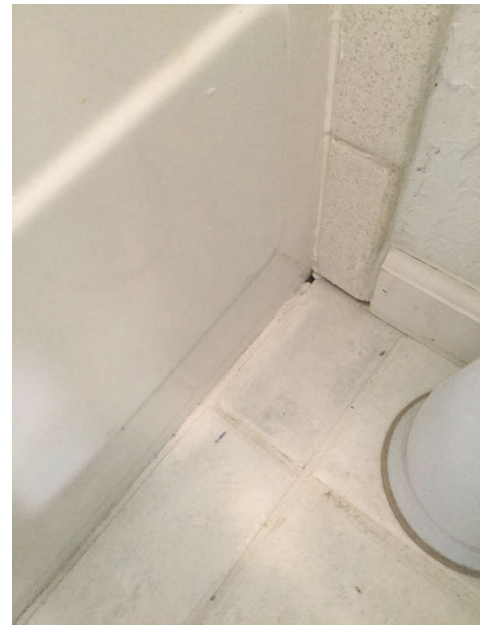
Minor - Safety | Deficiencies

Caulk is missing or deteriorated along the base of the shower/bathtub, where flooring meets the shower/bathtub. It should be replaced where deteriorated and/or applied where missing to prevent water intrusion and damage to the floor structure.

For more information on caulking, visit: [The Ins and Outs of Caulking](#).

Recommendation

Contact a handyman or DIY project



1st Floor Bathroom

#### 15.1.4 BATHTUBS/ SHOWERS

### SHOWER/TUB - TILE OR GROUT DETERIORATED

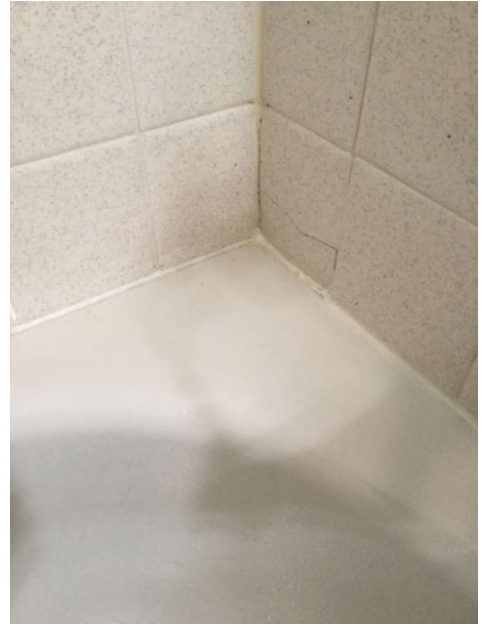


Minor - Safety | Deficiencies

Tile and/or grout around the bathtub/shower is damaged or deteriorated. For example, deteriorated/missing grout, and/or cracked, missing or loose tiles, etc. A qualified contractor should evaluate and repair tile and/or grout as necessary.

Recommendation

Contact a qualified tile contractor



1st Floor Bathroom

### 16.3.1 ELECTRICAL **COVER PLATES - MISSING**

Minor - Safety | Deficiencies

Cover plate(s) are missing from electric boxes, such as for receptacles, switches and/or junction boxes. They are intended to contain fire and prevent electric shock from exposed wires. This is a safety hazard due to the risk of fire and shock. Cover plates should be installed where missing.

Recommendation  
Contact a handyman or DIY project



Stairway



Stairway

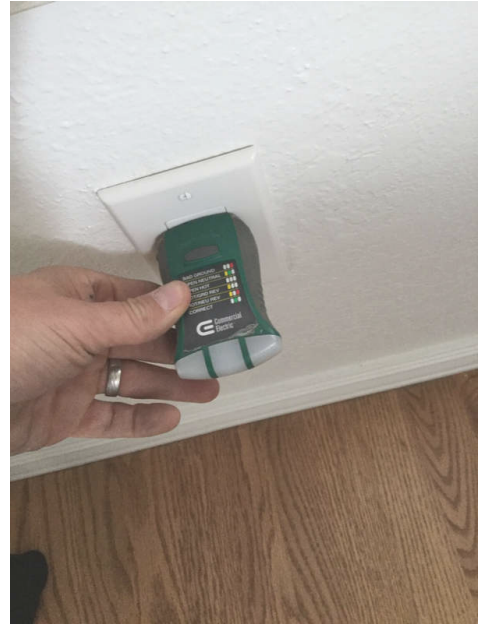
### 16.3.3 ELECTRICAL **RECEPTACLES - LOOSE**

Minor - Safety | Deficiencies

Electric receptacles and/or the boxes they are installed in are loose and/or not securely anchored. Wire conductors may be damaged due to repeated movement and/or tension on wires, or insulation may be damaged. This is a safety hazard due to the risk of shock and fire. A qualified electrician should evaluate and repair as necessary.

Recommendation

Contact a qualified electrical contractor.



Family Room East Wall

#### 16.3.4 ELECTRICAL

### WIRING - SPLICES EXPOSED

Minor - Safety | Deficiencies

Wire splices are exposed due to not being contained in a covered junction box. This is a safety hazard due to the risk of shock and fire. A qualified electrician should evaluate and make repairs as necessary. For example, install securely mounted junction boxes with cover plates where needed to contain wiring splices.

Recommendation

Contact a qualified electrical contractor.



Basement East

#### 19.7.1 INSULATION

### INSULATION - A PAPER FACING ON BATTS EXPOSED

Minor - Safety | Deficiencies

Paper facing on batt insulation is oriented towards open spaces, rather than against interior space surfaces. This occurs when newer, fiberglass batt insulation with paper facing on one side is installed backwards or upside down, or when older batt insulation wrapped on both sides with paper is installed. The paper facing is flammable. Newer insulation usually has a warning label indicating this on the facing.

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For older batt insulation with paper facing on both sides, recommend that repairs be made as necessary to eliminate the exposed paper facing.

A qualified contractor should evaluate and make repairs as necessary, and as per standard building practices and the insulation manufacturer's recommendations to eliminate the fire hazard.

Also, the paper facing also acts as a vapor barrier, and if located away from the interior surfaces, can trap moisture from condensation in the cavity between the paper facing and the interior spaces. This is a conducive condition for wood destroying insects. The inspector was unable to evaluate the structure obscured by the insulation. When repairs are made, the exposed structure should be evaluated for damage by wood destroying insects and/or organisms, and repairs should be made if necessary.

Recommendation

Contact a handyman or DIY project

