



SUMMARY
1234 Main St. Raeford NC 28376
Buyer Name
11/26/2018 9:00AM

James Saunders
NC License # 3728
Certified Inspectors of North Carolina
LLC
910-578-4943
james.cinlcl@gmail.com



"This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your North Carolina real estate agent or an attorney."

2.1.1 Coverings

SHINGLES MISSING

 Recommendation

Observed areas that appeared to be missing sufficient coverings. These areas are subject to water penetration to the wood roof sheathing as the roof covering material should overlap the previous course. Recommend qualified roofing contractor evaluate & repair.

Recommendation

Contact a qualified roofing professional.



2.1.2 Coverings

NAIL POPS-ROOF

 Recommendation

Roof surface shows evidence of nail pops in several areas around the roof plane. Nails that are lifting and eventually popping through the shingle roof covering can cause small leaks in several different areas and lead to rotted roof sheathing and even damaged roof framing overtime if they are not repaired. Recommend a licensed roofing contractor do a full evaluation of the roof system and covering and make repair recommendations.

Recommendation

Contact a qualified roofing professional.



2.3.1 Flashings

BOOT FLASHING / NAIL SEALANT

The nails at the bottom of the plumbing boot flashing and vents are not sealed. Nail/screw heads should be sealed to prevent water intrusion to the roof structure from around the nail head. Recommend a qualified contractor seal the nail heads with silicone roof sealant.

Recommendation

Contact a qualified roofing professional.



3.1.1 Siding, Flashing & Trim

CHIMNEY SIDING/TRIM-WATER DAMAGE

Siding and trim In several areas have observed indications of water damage around the chimney. Recommend replacement by a licensed contractor.

Recommendation

Contact a qualified siding specialist.





3.1.2 Siding, Flashing & Trim

WOOD TRIM-ROTTED

CORNERS OF BUILDING

The wood trim in several areas around the home have observed indications of wood rot. If this condition is not corrected water damage may spread to adjacent materials and cause further damage. Inspector recommends a full evaluation of all wood trim and siding materials and repair as needed. All work should be done by a licensed general contractor.

Recommendation

Contact a qualified siding specialist.



Engineered wood coming apart at ends

3.1.3 Siding, Flashing & Trim

SIDING LOOSE

The siding is loose on areas of the structure. This condition may allow a blow off of the siding from strong winds and subjects the exterior wall to the elements. Recommend further evaluation for damage and verify proper installation per manufacturer instructions and correct as needed by a licensed contractor.

Recommendation

Contact a qualified siding specialist.





3.4.1 Decks, Balconies, Porches & Steps

FRONT PORCH SLAB MOVEMENT

 Recommendation

FRONT PORCH

The front porch slab has sunken several inches from the surrounding brick. In the majority of cases this is due to poor water drainage, but it can also be the result of ground movement, subsidence or poor construction. These problems can be repaired. Recommend a full evaluation by a licensed contractor to determine the cause and make recommendations for correction.

Recommendation

Contact a qualified general contractor.



3.4.2 Decks, Balconies, Porches & Steps

STAIRS DIFFERENTIAL MOVEMENT

 Recommendation

FRONT PORCH

The stairs had observed indications of movement. This could be caused by excessive water intrusion, soil instability or un-compacted soils, or other external factors. This condition may worsen if not corrected. A licensed general contractor should be consulted to determine the cause and take necessary corrective action.

Recommendation

Contact a qualified general contractor.



3.5.1 Eaves, Soffits & Fascia

RAKE TRIM ROTTED

WEST SIDE OF HOME. ROOF

The wood rake board is rotted and touching the roof surface. Wood will wick moisture from roof run off and rot, exposing adjacent materials to moisture damage. Recommend replacement of the roof rake trim board allowing a minimum of 1/2inch from roof surface. Repairs should be made by a qualified contractor.

Recommendation

Contact a qualified general contractor.



Recommendation

3.6.1 Vegetation, Grading, Drainage & Retaining Walls

NEGATIVE GRADING

WEST AND EAST SIDE OF HOME, REAR OF A/C UNIT

Grading is sloping towards the home in some areas. This could lead to water intrusion and foundation issues. Recommend qualified landscaper or grading company regrade so water flows away from home. Some areas may easily be filled with fill dirt and sloped.

[Here is a helpful article](#) discussing negative grading.



Recommendation



Rear of a/c unit

3.6.2 Vegetation, Grading, Drainage & Retaining Walls

YARD-LARGE VOID/HOLE

SOUTH EAST OF BACK YARD

There is a large hole in the walking surface of the yard. This condition may allow someone to step into the hole and cause personal injury and/or fall. This condition may be remedied by filling the hole with fill dirt, then compacting.

Recommendation

Contact a handyman or DIY project



4.2.2 Windows

WINDOW-BROKEN BALAST

LIVING ROOM, MASTER BEDROOM



The window ballast was not properly adjusted or broken. A window ballast helps to support the weight of the sash. Windows may fall in their tracks if not working properly. Recommend a window installation company for repair.

Recommendation
Contact a qualified window repair/installation contractor.



4.2.3 Windows

WINDOW SILL MOISTURE DAMAGE

BONUS ROOM

The window seal on the interior of the window has indications of moisture damage. This is an indication of water intrusion and should be corrected by a licensed general contractor soon as possible. If correction is not made water may enter the wall assembly.

Recommendation
Contact a qualified general contractor.



Recommendation



5.3.1 Water Supply, Distribution Systems & Fixtures

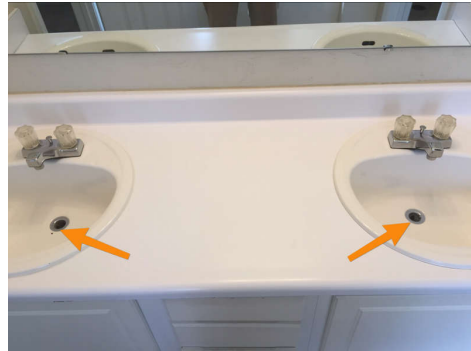
DRAIN STOP-MISSING

HALLWAY BATHROOM, MASTER BEDROOM

Drain stop is missing from the drain. A drain stop is a method to restrict or protect the waste outlet from an object or objects from entering and stopping up the drainage system (fixture arm, branch, drain, etc.) Recommend a licensed plumber repair or replace per standard building practices.

Recommendation

Contact a qualified plumbing contractor.



5.3.2 Water Supply, Distribution Systems & Fixtures

HOSE BIB- LOOSE ATTACHMENT

REAR

The hose bib is not securely attached to the home. This condition may cause undue stress on the piping material and brackets. Recommend a licensed plumbing contractor secure the exterior Fossett to the building using standard building practices.

Recommendation

Contact a qualified plumbing contractor.





5.4.1 Hot Water Systems, Controls, Flues & Vents

NEAR END OF LIFE



Water heater showed normal signs of wear and tear. Recommend monitoring it's effectiveness and replacing in the near future. The average lifespan for a water heater is 10-12 years.

[Click here for more information about water heaters.](#)

5.4.2 Hot Water Systems, Controls, Flues & Vents

NO EXPANSION TANK



No expansion tank was present. Expansion tanks allow for the thermal expansion of water in the pipes. These are required in certain areas for new installs. Recommend a qualified plumber evaluate and install.

Recommendation

Contact a qualified plumbing contractor.



5.4.3 Hot Water Systems, Controls, Flues & Vents

WATER HEATER ELECTRICAL-UNPROTECTED



The power cable to the water heater is not protected. Water heater power cables are not required to be in conduit, however, it is important that the power cable be protected primarily when in an area of the home where the cable may be subject to damage. Recommend a licensed plumber or electrical contractor make repairs as recommended.

Recommendation

Contact a qualified plumbing contractor.



6.1.1 Dishwasher

EXCESSIVE DEBRIS IN DRAIN PIPE



Recommendation

There are observed indications of excessive debris or build up in the dishwasher drain hose. This may stop or slow down the flow of drain water to the waste pipe. It is recommended that the dishwasher drain be cleaned or replaced as needed by a licensed plumbing contractor

Recommendation

Contact a qualified plumbing contractor.



6.4.1 Garbage Disposal

DISPOSAL-INOPERATIVE



Recommendation

The garbage disposal in the kitchen does not turn on when operated by the wall switch. This may be an inconvenience for the homeowner as it cannot be used when needed. If this is of concern to the client, the inspector recommends further evaluation and repair or replacement of the garbage disposal.

Recommendation

Contact a qualified plumbing contractor.



7.1.1 Cooling Equipment

CONDENSATE TUBE DAMAGED

 Recommendation

Condensate tube was damaged, which limits safe discharge of condensation produced by evaporator coils. The discharge water may also run to unwanted places. Recommend a qualified HVAC technician repair.



7.1.2 Cooling Equipment

CONDENSATE DRAIN-TOO CLOSE

 Recommendation

A/C condensate drain line is too close to the foundation. The A/C drain water is usually routed just an inch or two from the edge of your foundation. Water pools there and seeps under your foundation. The hotter the weather, the harder the A/C unit works, the more condensation is created. An A/C unit can generate between 5 and 20 gallons of water per day. It is recommended that the condensate drain line be no less than 12 inches away from the foundation. Recommend that a Licensed HVAC Contractor make any necessary repairs.

Recommendation
Contact a qualified heating and cooling contractor



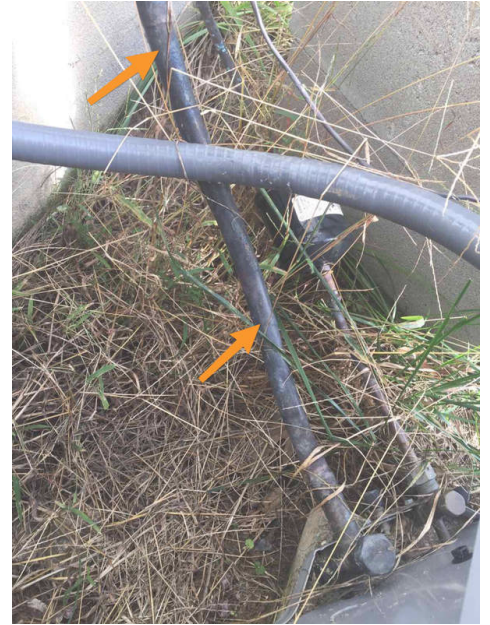
7.1.3 Cooling Equipment

HVAC SUCTION LINE NOT FULLY INSULATED

 Recommendation

The AC suction line is not fully insulated. This line is normally cold while the unit is in operation. When the line comes into contact with warm air, the line will condensate and leak water, possibly damaging nearby building components depending on the location. Inspector recommends that this line be fully insulated from the air handler to the condenser unit. This repair should be made by a licensed HVAC contractor.

Recommendation
Contact a qualified HVAC professional.



7.1.4 Cooling Equipment

CONDENSATE DRAIN LEAKING AT AIR HANDLER

ATTIC

 Recommendation

The condensate drain at the trap of the air handler was leaking water onto the attic flooring. This will cause water damage and rotting of the attic floor space over time. Water may also damage adjacent components. Recommend further evaluation by a licensed hvac contractor and correct the condition as necessary.

Recommendation
Contact a qualified heating and cooling contractor



9.3.1 Branch Wiring Circuits, Breakers & Fuses

HVAC DISCONNECT-LOOSE

 Recommendation

The electrical disconnect for the AC condensing unit is not securely attached to the home. The attachment is only going through the siding and not through to the sheathing. All electrical connections and boxes should be secure to prevent damage from wiring, conduit, or related components. Inspector recommends correction by a licensed HVAC contractor.

Recommendation
Contact a qualified heating and cooling contractor



9.3.2 Branch Wiring Circuits, Breakers & Fuses

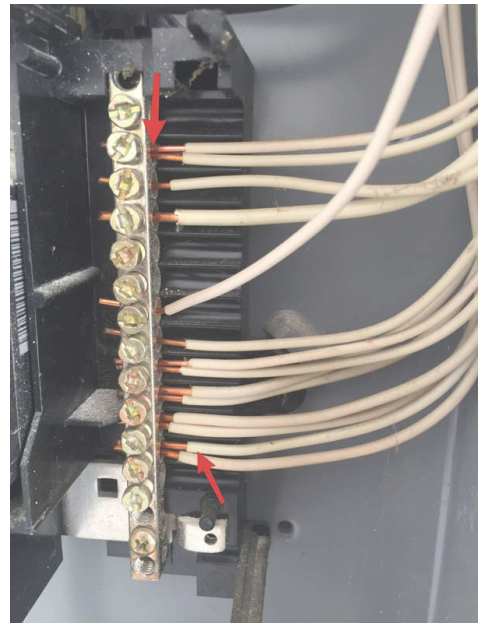
DOUBLE TAPPED NEUTRALS



The electrical panel board has several double tap neutral wires. A panel with double tap wires have circuits that should not be worked on because the circuits are not isolated. Also, too neutral wires underneath one lug can come loose overtime due to current vibrations. Circuit ground may be double tapped but neutrals should not. Correction should be made by a licensed electrical contractor.

Recommendation

Contact a qualified electrical contractor.



9.4.1 Lighting Fixtures, Switches & Receptacles

OUTLET-DAMAGED



DINETTE

Body of the electrical outlet is damaged. A damaged outlet may not be safe to use by the occupant risking electrical shock or arcing. Inspector recommends replacement of the outlet by a licensed electrical contractor.

Recommendation

Contact a qualified electrical contractor.



Crack may get worse with use

9.4.2 Lighting Fixtures, Switches & Receptacles

INTERIOR OUTLET LOOSE

FIRST BEDROOM



The interior outlet is loose and needs to be secured properly. Wires can move around and come loose from the terminals causing them to overheat and potentially catch fire. Loose outlets can also cause damage to the outlets and face plates while in use. Recommend a licensed electrical contractor for evaluate all outlets and make any necessary repairs.

Recommendation

Contact a qualified electrical contractor.



10.4.1 Attic Entry

ACCESS DOOR NOT INSULATED

BONUS ROOM



The attic access door is not insulated. Conditioned air from the living space will be lost into the attic. Attic access doors in living spaces should be insulated and sealed to prevent energy loss. Recommend a qualified general contractor or maintenance company insulate and seal the door.

Recommendation

Contact a qualified insulation contractor.



12.1.2 Foundation

EFFLORESCENCE ON FOUNDATION WALL



GARAGE

Efflorescence found on the foundation wall inside of the garage. Efflorescence happens when water or moisture is absorbed through masonry because masonry is a porous material, and that moisture carry's salt deposits from the masonry and can be seen on the surface. Efflorescence itself is not harmful but can be an indication of current or past moisture intrusion from heavy rains etc. Recommend further evaluation to determine the cause and make any corrections if needed.

For more information about efflorescence, go to: <https://www.nachi.org/efflorescence.htm>

Recommendation

Contact a qualified concrete contractor.

