



2.2.1 Flashing

NO FLASHING - EAVES

 Deficient

Metal flashing should be installed at the perimeter edges of the roof, including all eaves. Lack of flashing in these areas may affect roof sheathing, wood fascias, and siding.



2.2.2 Flashing

POOR FLASHING INSTALLATION

 Deficient

FRONT BAY WINDOW

Missing counter flashing. Counter-flashing may be a piece of metal or wood trim that is installed over the vertical leg of flashing to prevent moisture related issues. Sealant is not an adequate substitute. Horizontal leg of installed flashing should be under roofing

Recommendation

Contact a qualified roofing professional.



2.3.1 Chimney & Roof Penetrations

CHIMNEY IN POOR CONDITION

 Deficient

Sealant used to seal flashing around chimney vent. Bent vent stack above roof. Contact roofing contractor to repair flashing

Recommendation
Contact a qualified roofing professional.



3.1.1 Electrical Service
MISSING KNOCKOUTS

 Deficient

Hot conductors exposed. Recommend installing filler plates



4.1.1 Driveway & Walkway

ASPHALT DETERIORATION - DEFICIENT

 Deficient

Repair and/or monitor for expansion of cracks and further deterioration. Recommend sealing annually to extend life.



4.1.2 Driveway & Walkway

DAMAGED CONCRETE

 Deficient

Concrete at walkway is damaged and deteriorated. Recommend repair to prevent a tripping hazard



4.4.2 Exterior Finishes

STONE VENEER DAMAGE

 Deficient

Damage to stone veneer observed, some missing rocks and cracked grout. Recommend replacing missing rocks and maintaining grout to extend the life of the veneer.

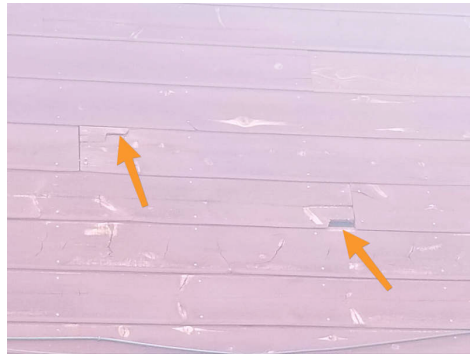
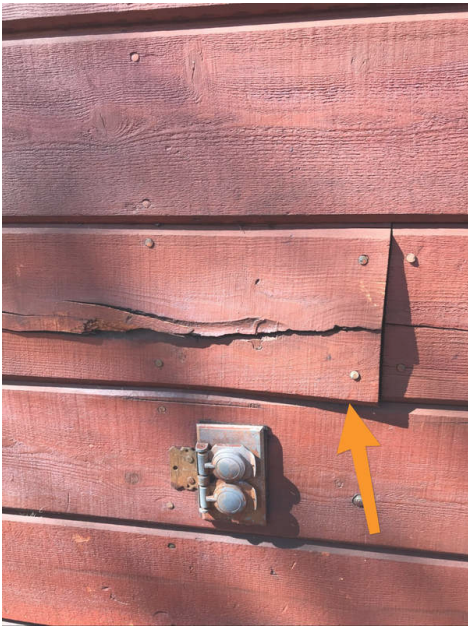
Recommendation
Contact a qualified masonry professional.



4.4.3 Exterior Finishes
DAMAGED SIDING

 Deficient

Recommend replacing or patching cracks in damaged siding.



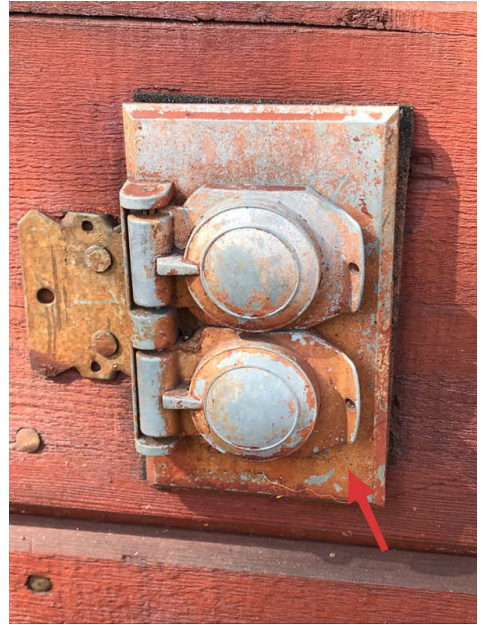
Above entry

4.5.1 Electrical
OUTLET(S) NOT GFCI PROTECTED
BACK DECK

 Deficient

All exterior outlets should be GFCI protected. Recommend updating for safety

Recommendation
Contact a qualified electrical contractor.



4.6.1 Plumbing

HOSE BIB LEAKING

RIGHT OF ENTRY

Recommend replacing to prevent further leaking of hose bib.

 Deficient



4.8.2 Decks & Porches

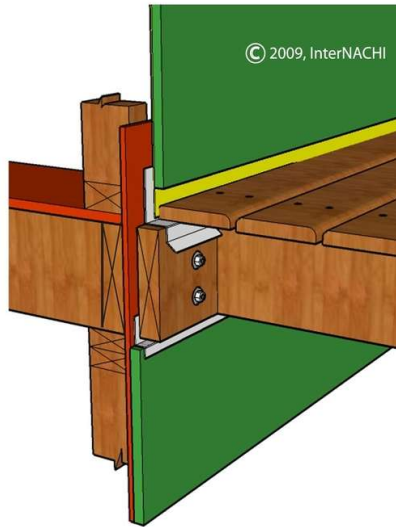
MISSING FLASHING

No flashing between deck ledger and siding. Flashing at this location helps prevent moisture from getting behind ledger and siding that can cause damage. This can typically be retrofitted without many issues.

 Deficient



Ledger Flashing



4.8.3 Decks & Porches
STRUCTURAL FAILURE

 Deficient

REAR DECK

Deck structure was of older construction and is a safety hazard. Missing hangers in several locations, settled footings, and inadequate framing. Recommend installing hangers on all deck joists to support beams.



Missing hangers



Settled footing



Settled footing

5.4.1 Doors

FRONT DOOR DOES NOT OPEN

 Deficient

FRONT DOOR

Right side of front door without hardware does not open. Door sweep may be interfering. Screws missing at metal piece at bottom of door.



Missing screws

5.4.2 Doors

MISSING TRANSITION PIECE

 Marginal

DOOR TO GARAGE



5.5.1 Patio Door

MISSING LOCK

 Deficient

Sliding patio door does not lock. Latch is missing on frame side.



5.7.1 Ceilings

WATER STAINS

 Marginal

Water stains on wood panel above the living room and down vent pipe. Unable to determine when these occurred or if the issue has been resolved. Contact seller for more information. Flashing at roof may be inadequate or poorly installed



5.9.1 Smoke/ CO Detector
MISSING CO DETECTOR

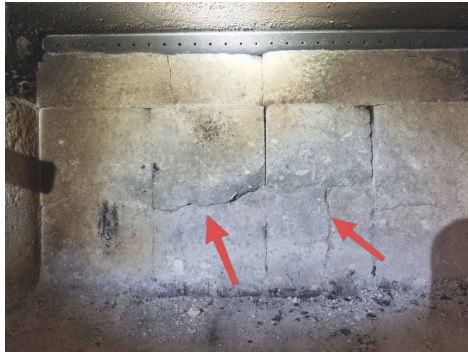
Carbon monoxide detector is missing. This is required



5.10.1 Fireplace
MISSING FIRE BRICKS

Recommend replacing fire bricks prior to use.

Recommendation
Contact a qualified fireplace contractor.



Damaged bricks

6.1.1 Electrical
NO POWER TO RECEPTACLE
MASTER BEDROOM

Receptacle was tested with a plug tester and did not have power at the time of inspection. Contact licensed electrical contractor for repair.

Recommendation
Contact a qualified electrical contractor.





Top outlet only

6.2.1 Closets

MISSING DOORS

MASTER BEDROOM

Missing closet doors. Hardware is installed. Doors observed in garage



6.5.1 Walls

POOR REPAIR

Wall behind guest bedroom door was repaired with poor craftsmanship. This area is soft and likely to be damaged again. Recommend replacing drywall section and screwing into studs.



6.7.1 Floors

MODERATE TO HEAVY WEAR

Recommend replacing carpet



7.5.1 Exhaust Fan

NO FAN INSTALLED, BUT WINDOW NOTED

MASTER BATHROOM

Bathroom does not have an exhaust fan installed but does have a window. When the house was built, a bath fan may not have been required. Recommend installing an exhaust fan in all bathrooms for proper ventilation and moisture control.



7.6.1 Sinks

SINK STOPPER IS INOPERABLE

GUEST BATHROOM

 Deficient



7.10.1 Walls

MISSING TRIM

GUEST BATHROOM

Missing baseboard trim.

 Marginal



8.2.1 GFCI

OUTLET(S) NOT GFCI PROTECTED

ALL OUTLETS

All kitchen outlets should be GFCI protected. Recommend updating for safety

Recommendation

Contact a qualified electrical contractor.

 Deficient

8.4.1 Cabinets

CABINET POORLY ATTACHED TO WALL

Cabinet left of refrigerator is not adequately screwed to wall.

Recommend repair for safety and to prevent damage to cabinet.

 Marginal



8.4.2 Cabinets

CABINET OFF TRACKS

 Marginal

Cabinet drawer left of oven was off its track at time of inspection.



8.5.1 Sinks

FIXTURE IS LOOSE

 Marginal

Fixture is loose on sink basin or counter. Recommend tightening.



8.5.2 Sinks

IMPROPER P-TRAP

 Deficient

P-trap under kitchen sink is not a standard type. Install standard p-trap to prevent clogged drain

Recommendation

Contact a qualified plumbing contractor.



8.6.1 Cook Top and Range

NOT INSPECTED

 Marginal

Oven was unplugged at time of inspection. Not tested

8.7.1 Exhaust Fan

NO FAN INSTALLED

 Deficient

Recommend installing an exhaust fan per current code



8.8.1 Dishwasher

NOT INSPECTED

Dishwasher was unplugged at time of inspection. Not tested

⊖ Marginal

8.9.1 Garbage Disposal

DISPOSAL WAS INOPERABLE

Reset button was pushed on bottom of unit, but still did not operate.

Recommendation

Contact a qualified appliance repair professional.

⚠ Deficient



8.10.1 Refrigerator

REFRIGERATOR HAS BEEN UNPLUGGED

Not inspected

⊖ Marginal

8.12.1 Walls

SMALL HOLE IN WALL

Call an exterior wall at lower cabinet right of sink. Recommend repair to prevent rodent intrusion. Evidence of rodent activity observed

⊖ Marginal



9.2.1 Dryer Vent
DISCONNECTED BEHIND DRYER

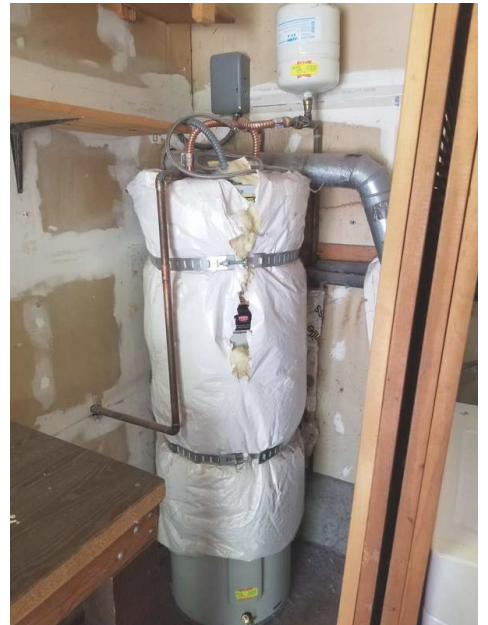
 Deficient



10.1.1 Water Heater
INSULATION WRAP

Unable to thoroughly inspect water heater or determine manufacturer information, including age, due to the insulation wrapped around tank water heater.

 Marginal



11.1.1 Heating
WALL HEATER NOT TESTED

Unable to test wall heater in guest bathroom. Control knob was missing

 Marginal



12.2.1 GFCI

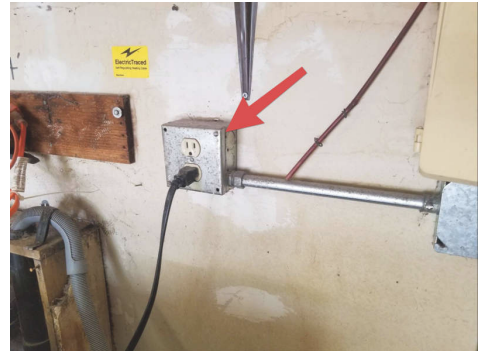
OUTLET(S) NOT GFCI PROTECTED

REAR WALL

All garage outlets should be GFCI protected. Recommend updating for safety

Recommendation

Contact a qualified electrical contractor.



12.3.1 Walls/ Firewall

HOLE IN FIREWALL, ORGANIC GROWTH

REAR WALL

Organic growth and hole at rear wall with laundry drain. Replace drywall with organic growth. Repair hole for fire safety. The garage should be separated from the house and its attic area by at least 1/2 Inch continuous gypsum board (drywall) applied to the garage side. Garages beneath habitable rooms should be separated by at least 5/8-inch Type X gypsum board or equivalent.

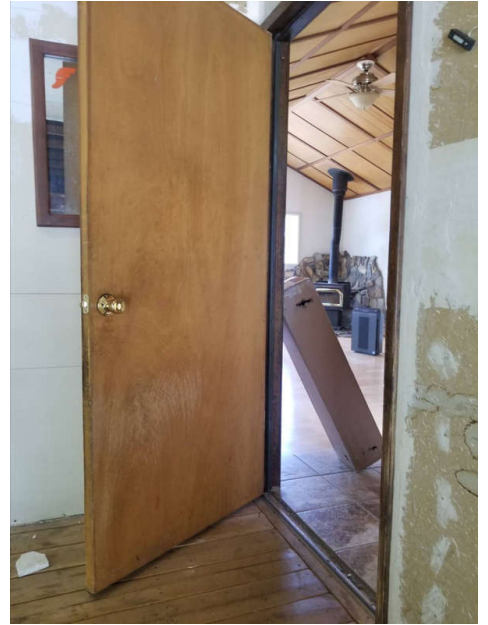


12.7.1 Fire Door

THE SELF-CLOSING DEVICE ON FIRE DOOR ISN'T SET



The self-closing device on the door from the house leading to the garage does not function properly. This is a fire hazard. Recommend adjusting or replacing the hinges to allow for proper closure of the door.

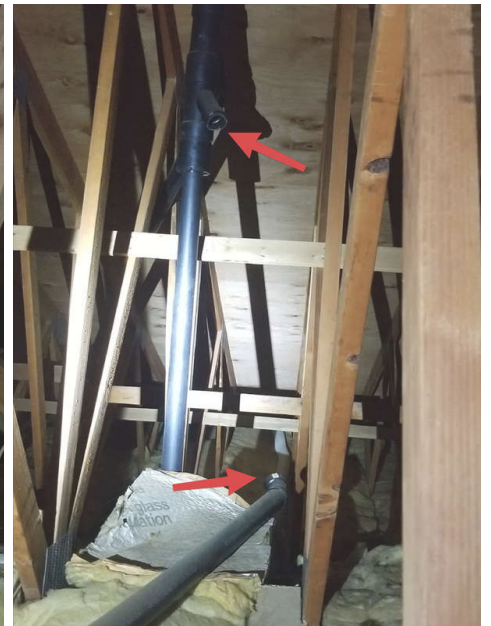


13.5.1 Plumbing

DAMAGED VENT PIPES

 Deficient

Two damaged plumbing vents observed in attic. Another vent is inadequately supported. Repair damaged vents and secure all existing vents to framing



14.2.1 Crawlspace

MOIST DIRT

 Marginal

Moisture in the crawlspace is normal this time of year. Recommend opening all vents to dry out the crawlspace area. Monitor space to ensure that soil dries before fungus begins to grow on surface.



14.2.2 Crawlspace
NO INSULATION
ENTIRE CRAWLSPACE

 Deficient

No insulation was found in the crawlspace in between the floor framing members. Recommend installation of insulation between all framing members to increase the comfort and the efficiency of the home.

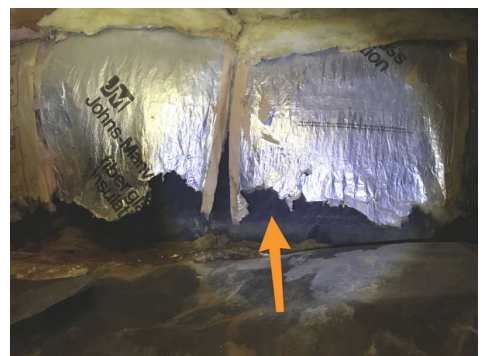
Recommendation
Contact a qualified insulation contractor.



14.2.3 Crawlspace
POORLY INSTALLED INSULATION

 Marginal

Insulation installed on the walls of crawlspace are deteriorated and missing the bottom third of insulation do you to moisture and rodent intrusion. Recommend replacing with rigid insulation.



14.3.1 Venting
INSULATION COVERING VENTS

 Marginal

Recommend removing insulation from all vents to maintaining proper air flow and prevent moisture issues.



14.5.1 Plumbing

UNINSULATED WATER PIPES OBSERVED IN UNHEATED CRAWLSPACE

 Marginal

Recommend insulating water pipes, installing heat tape, or both to prevent pipes from freezing

