



SUMMARY

1234 Main St. Edmond OK 73012

Buyer Name
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This **Summary Report** is meant to organize any **Moderate Recommendations** and **Significant and/or Safety Concerns** into a shorter, straight to-the-point format. It does not, however, include **Minor/Maintenance** issues or Informational data that can be found in the Full Report.

2.1.1 Coverings

WIDESPREAD FUNCTIONAL HAIL DAMAGE



Significant and/or Safety Concern

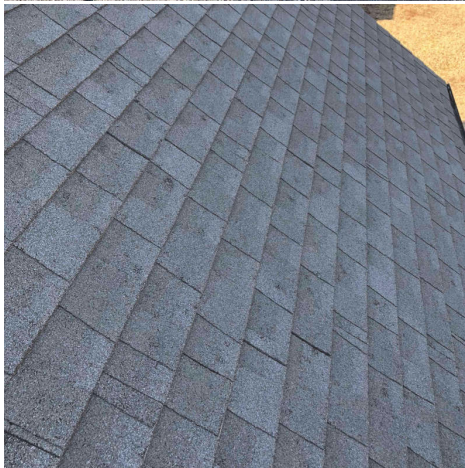
At the time of the inspection, the asphalt composition shingle roof had widespread damage visible that appeared to be the result of hail strikes. This damage appeared to meet the definition of what insurance companies call "functional damage." Functional damage is damage that;

1. Reduces the ability of the roof to shed water; or
2. Significantly shorten the shingle's long term service life. Offering estimates of the remaining long-term expected service life of asphalt shingles exceeds the scope of the General Home Inspection.

The Inspector recommends replacement of all damaged shingles by a qualified contractor.

Recommendation

Contact a qualified roofing professional.



2.3.1 Roof Drainage Systems

DOWNSPOUTS DRAIN NEAR HOUSE

 Moderate Item

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor adjust downspout extensions to drain at least 4-6 feet from the foundation.

[Here is a helpful DIY link](#) and video on draining water flow away from your house.

Recommendation

Contact a handyman or DIY project



North Garage

2.3.2 Roof Drainage Systems

GUTTER IMPROPERLY SLOPED

 Moderate Item

Gutters in certain areas sloped incorrectly. This condition can result in water pooling in the gutters, which will encourage corrosion and shorten gutter lifespan. It can also result in spillage and runoff draining to the foundation. Gutter spillage can result in excessively high moisture levels in soil at the foundation. Excessive moisture levels in soil near the foundation can affect the ability of the soil to support the weight of the structure above. The Inspector recommends repair of the roof drainage system to help protect the home structure and occupants. All work should be performed by a qualified contractor.

Recommendation

Contact a qualified roofing professional.



Southeast

3.1.1 Siding, Flashing & Trim

BRICK- EXPANSION CRACKING

 Moderate Item

What appears to be differential brick expansion cracking was observed near several exterior windows. Clay brick masonry undergoes irreversible expansion during its lifetime. This creates stress concentrations around door and window openings or at offsets in walls. These are common and do not reflect a structural problem or foundation issue. Recommend discussing repair options with a qualified masonry contractor.

Recommendation

Contact a qualified masonry professional.



Back Entry



East

3.1.2 Siding, Flashing & Trim

STAIN FADING

 Moderate Item

The wood siding could use a fresh stain. Over time, exposure to Mother Nature can take its toll on wood siding, allowing decay to begin. At present this is more of a cosmetic issue but it should be addressed sooner rather than later. Expect to re-stain every few years for best protection.

Recommendation
Contact a qualified painter.



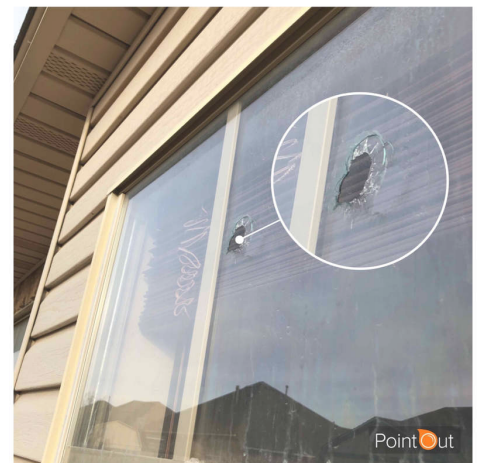
3.3.1 Window Exteriors

BROKEN PANE

 Moderate Item

An exterior window pane was broken. Recommend replacement by qualified professional.

Recommendation
Contact a qualified window repair/installation contractor.



West

3.7.1 Decks, Balconies, Porches & Steps

DECK - LOOSE/DAMAGED BOARDS

Moderate Item

A number of deck boards were observed to be loose and/or damaged. Recommend they be replaced/refastened as necessary. This represents a significant area of the deck surface so a full replacement or removal may be necessary.

Recommendation

Contact a qualified deck contractor.



7.3.1 Sewage & Drain, Waste, & Vent (DWV) Systems

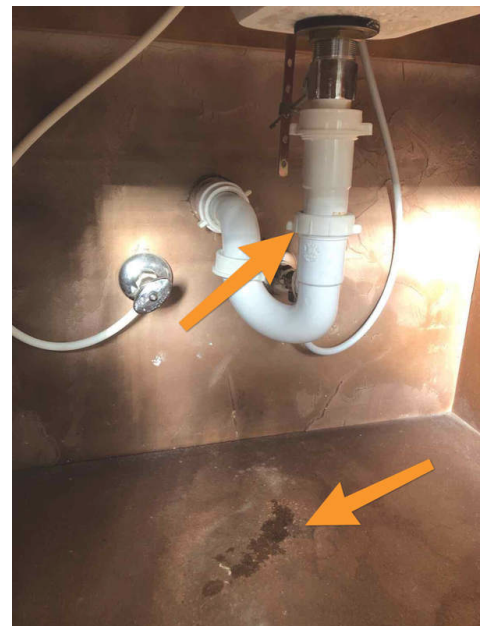
LEAKING PIPE

Moderate Item

A drain, waste and/or vent pipe showed signs of a leak. Recommend a qualified plumber evaluate and repair.

Recommendation

Contact a qualified plumbing contractor.



1st Floor 1/2 Bathroom

8.4.1 Lighting Fixtures, Switches & Receptacles

OPEN GROUND RECEPTACLE(S)

Moderate Item

An electrical receptacle had an open ground. Other receptacles in the home were grounded. This receptacle should have a functional equipment grounding conductor installed by qualified electrical contractor.

Recommendation

Contact a qualified electrical contractor.



Office

8.5.1 GFCI & AFCI

GFCI FAILURE



Moderate Item

A ground fault circuit interrupter (GFCI) electrical receptacle did not respond to testing, did not re-set, was slow to re-set or made a buzzing sound when re-set. The Inspector recommends replacement of the receptacle to ensure that it works correctly when required. All work should be performed by a qualified contractor.

Recommendation

Contact a qualified electrical contractor.



1st Floor 1/2 Bathroom

8.7.1 Carbon Monoxide Detectors

LOW BATTERY



Moderate Item

Carbon monoxide detector failed to respond when tested. Recommend battery be changed or unit replaced if still no function.

Recommendation

Recommended DIY Project



1st Floor Bedroom Hallway

9.2.1 Ventilation

SOFFIT VENTS BLOCKED

 Moderate Item

Some soffit vents were blocked by thermal insulation. This condition will reduce the amount of air flowing through the roof structure to exhaust excessive heat and moisture to the exterior. The Inspector recommends that thermal insulation be pulled back from any blocked vents to allow proper airflow and improve roof structure ventilation.

Recommendation
Contact a qualified professional.

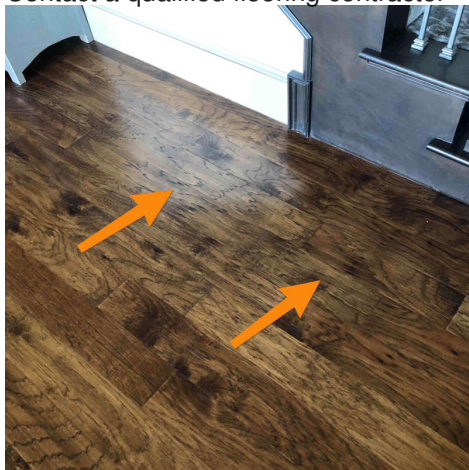
10.4.2 Floors

WOOD/TILE HOLLOW SPOTS

 Moderate Item

There are hollow spots under areas of wood/tile flooring. This is common and typically a minor issue. In the case of the wood floor, however, it was a significant area. There are a number of potential causes, none of which can be determined without more invasive inspection methods. Recommend a qualified flooring professional to determine cause and/or repair.

Recommendation
Contact a qualified flooring contractor



Living Room



Foyer

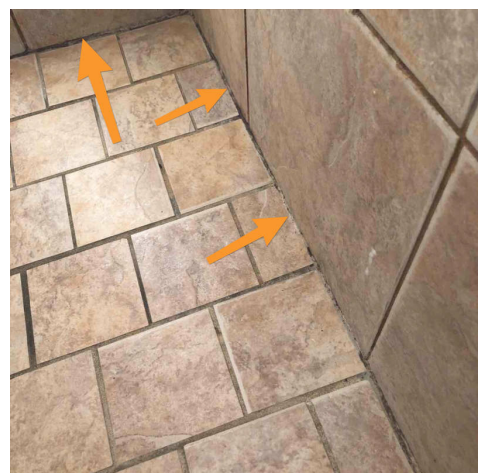
10.10.1 Tiled Areas- Kitchen, Bath & Laundry

GROUT DETERIORATING

 Moderate Item

Grout lines were cracked or severely deteriorated, potentially allowing for moisture intrusion. Recommend a qualified contractor repair or replace grout.

Recommendation
Contact a qualified countertop contractor.



Master Bathroom Shower

11.2.1 Cooktop/Exhaust Fan

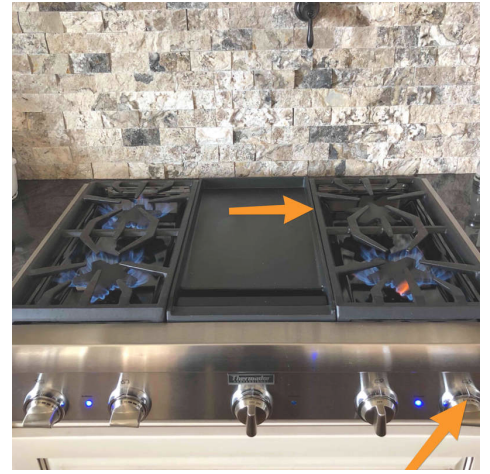
COOKTOP IGNITER FAILED TO IGNITE

 Moderate Item

A cooktop burner igniter failed to ignite the burner. The Inspector recommends service by a qualified technician.

Recommendation

Contact a qualified appliance repair professional.



12.3.1 Walls & Firewalls

DAMAGED DRYWALL

Moderate Item

Garage wall had damaged drywall. Recommend drywall contractor repair.

Recommendation

Contact a qualified drywall contractor.



Garage East Wall

12.4.1 Garage Door

AUTO REVERSE SENSOR NOT WORKING

Significant and/or Safety Concern

DOUBLE GARAGE DOOR

The auto reverse sensor was not responding at time of inspection. This is a safety hazard to children and pets. Recommend a qualified garage door contractor evaluate and repair/replace.

Recommendation

Contact a qualified garage door contractor.

