



SUMMARY
1234 Main St. LOLO MT 59847
Buyer Name
05/22/2019 9:00AM

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Thank you for choosing Inspect Montana, LLC !!

2.3.1 Coverings

DAMAGED (GENERAL)

EAST



Roof coverings showed damage. Recommend a qualified roofing professional evaluate and repair.

Recommendation

Contact a qualified roofing professional.



2.3.2 Coverings

EXPOSED FASTENERS

Several exposed fasteners without proper sealing were found.

Recommendation

Contact a qualified roofing professional.

 Recommendations

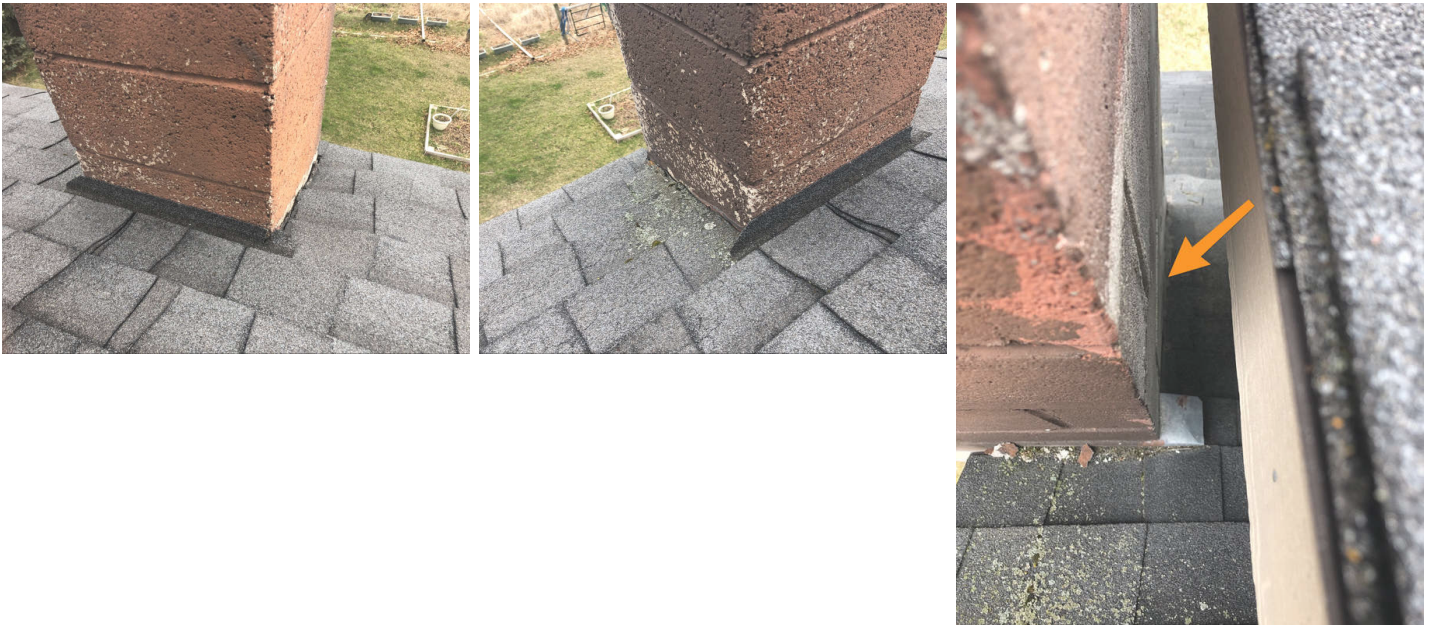


2.5.1 Flashings

MISSING

Proper flashings at chimneys were missing at time of inspection. Flashings provide protection against moisture intrusion. Recommend a qualified roofing contractor evaluate and remedy.

 Recommendations



2.6.1 Valleys

IMPROPERLY CUT

 Recommendations

Valley is improperly cut and may lead to moisture problems. See video explaining proper valley installation [here](#). Refer to a qualified contractor for evaluation.

Recommendation

Contact a qualified roofing professional.



2.8.1 Chimneys

DETERIORATION

Portions of block were damaged and/or deteriorated. The crown was also deteriorated. Refer to qualified mason for correction.



3.3.1 Siding

FLASHING/TRIM IMPROPERLY INSTALLED

Flashing was missing at transition points, which could result in moisture intrusion and damaging leaks if sealing and caulking are not installed and maintained regularly thereafter.



3.3.2 Siding

GROUND CLEARANCE

Recommendations

Inadequate clearance between the siding and ground. Recommend a minimum ground clearance between bottom of siding and ground of 6". Siding in contact with the ground or soil is a serious concern because that condition can provide direct access for water to susceptible materials.



3.3.3 Siding

WOOD IN CONTACT WITH SOIL

Recommendations

Wood was found to be in contact with soil. I would will run out as well as potential he create a van for moisture intrusion. We recommend reparations be done.

Recommendation

Contact a qualified professional.



Northeast

3.4.1 Trim

SEALING AND CAULKING

 Maintenance Item

Proper sealing and caulking, regularly maintained, will prevent damages from moisture intrusion.

Recommendation

Contact a handyman or DIY project

3.9.1 Sealing and paint

SEALING AND PAINT

 Recommendations

Sealing and paint will prolong the life of exterior materials and prevent deteriorative effects to other associative materials as well, such as wall sheeting and framing.

Recommendation

Contact a qualified professional.

4.1.1 Gutter System

MISSING GUTTER SYSTEM

 Recommendations

We recommend installing a full gutter system to help divert water away from foundation.

Recommendation

Contact a qualified gutter contractor

5.2.1 Floor

NO VAPOR BARRIER

 Recommendations

WEST

No Vapor Barrier observed. A minimum of 6mil. Plastic covering should be installed on floor surface to minimize moisture intrusion and potential mold growth. Refer to a qualified contractor for correction.



5.2.2 Floor

VAPOR BARRIER IMPROPERLY INSTALLED

 Recommendations

EAST

Recommendation

Contact a qualified professional.

5.3.1 Foundation/ Walls

EXPOSED FOAM INSULATION

 Safety Hazard

Spray foam insulation in an attic or crawl space. The building code requires using materials or assemblies that offer some fire resistance.

Recommendation

Contact a qualified professional.

5.4.1 Piers

WOOD NEAR OR IN CONTACT WITH SOIL

 Recommendations

Proper ground clearance between soil and wood structure was not present at some locations.

We recommend review by a structural specialist.

Recommendation

Contact a qualified structural engineer.



5.4.2 Piers

MISSING OR IMPROPER ANCHORING

 Recommendations

Missing or improper anchoring was observed at several places throughout the crawlspace.

Recommendation

Contact a qualified professional.





5.4.3 Piers

IMPROPER INSTALLATION

EAST

Improper installation of a pier holding up floor joists for the cut in crawlspace access hatch was noted.

Recommendation

Contact a qualified professional.



5.5.1 Beams

IMPROPER SUPPORT



A support under a short beam in the addition was inadequately supported and anchored according to standards.

Recommendation

Contact a qualified structural engineer.



5.8.1 Insulation

INSULATION MISSING

WEST

Insulation was missing or inadequate.

 Recommendations



6.2.1 Ceiling

FIRE BARRIER COMPROMISED

The attic access compromised the required fire barrier between house and garage.

Recommendation

Contact a qualified professional.

 Recommendations

7.1.1 Equipment

NEEDS SERVICING / CLEANING

Furnace should be cleaned and serviced annually. We recommend a qualified HVAC contractor clean, service, and certify furnace.

[Here is a resource](#) on the importance of furnace maintenance.

Recommendation

Contact a qualified HVAC professional.

 Recommendations



7.6.1 Blower Door Switch

MADE INOPERABLE



The safety switch was made inoperable by tape.



8.4.1 Cooling Lines

UV RESISTANT INSULATION RECOMMENDED



Insulating refrigerant lines with a UV resistant material is recommended for preservation and efficiency of equipment.

Recommendation

Contact a handyman or DIY project

9.2.1 Drain, Waste, & Vent Systems

KITCHEN SINK DRAIN PIPING



KITCHEN

While this tee style drain set up under a two or more basin sink fixture is fairly commonly available in hardware stores, there is the potential for drain water and debris to back up from one basin to the next due to the proper installation of a proper Santee missing.

Recommendation

Contact a qualified professional.



9.2.2 Drain, Waste, & Vent Systems

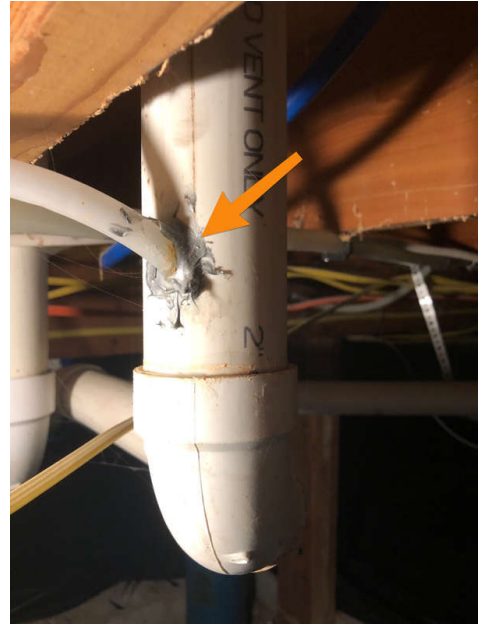
DAMAGE FROM IMPROPER PRACTICES



A vent pipe was cut into to accommodate the condensate drain line from the furnace. We recommend reparations and proper disposal of condensate.

Recommendation

Contact a qualified plumbing contractor.



9.3.1 Water Supply & Distribution

INADEQUATE SUPPORT

 Recommendations

Inadequate support For distribution water piping was found throughout the crawlspace.

Recommendation

Contact a qualified plumbing contractor.

9.8.1 Fuel distribution

INADEQUATE SUPPORT

 Recommendations

Inadequate support was found in the crawlspace for one or more lengths of gas piping.

Recommendation

Contact a qualified plumbing contractor.

10.4.1 Sub Panel

PANEL NOT LABELED

 Recommendations

10.5.1 Branch Wiring, Circuits

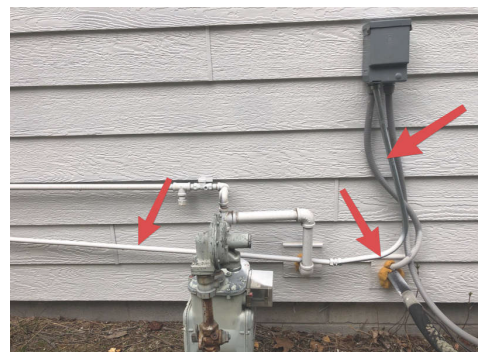
DAMAGED CONDUIT

 Safety Hazard

The conduit to the AC unit wiring was damaged and unsupported. We recommend reparations to prevent damages to wiring within, creating potential hazards.

Recommendation

Contact a qualified professional.



10.5.2 Branch Wiring, Circuits
INADEQUATE SUPPORT

Recommendations

Inadequate support was found throughout the crawlspace for branch wiring.

Recommendation

Contact a qualified electrical contractor.

10.5.3 Branch Wiring, Circuits
EXPOSED WIRING

Recommendations

Cabling that appeared not to be designed for sunlight or moisture exposure was exposed outside.

Recommendation

Contact a qualified electrical contractor.



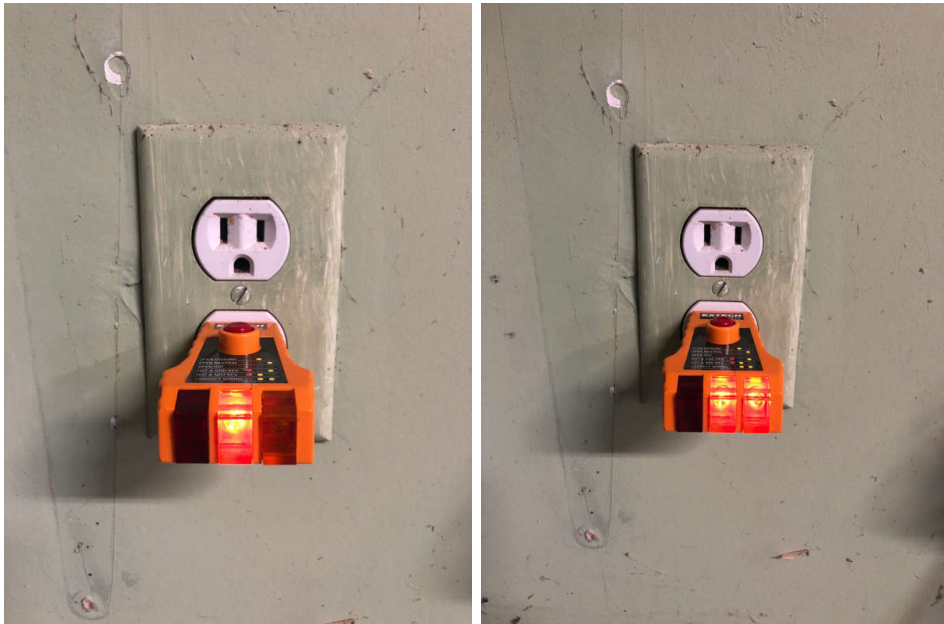
10.6.1 Receptacles
FAULTY DEVICE

Safety Hazard

A receptacle in the garage had inconsistent readings and appeared to be shorting at the device.

Recommendation

Contact a qualified electrical contractor.



12.8.1 Dishwasher

IMPROPERLY INSTALLED DRAIN PIPE

 Recommendations

The dishwasher drain hose did not terminate through an air gap, or run in a high loop above the unit, either of which is typically required by manufacturers for proper operation.



13.7.1 Toilet

TOILET BOWL LOOSE

 Recommendations

Toilet bowl was loose and not properly secured, refer to a qualified contractor for repair to properly tighten down and seal the toilet.

13.7.2 Toilet

SEALING

 Maintenance Item

It is recommended to seal around all plumbing fixtures to prevent damages to adjacent materials.

Recommendation

Contact a handyman or DIY project

14.8.1 Drains & Fixtures

SEALING AND CAULKING

 Maintenance Item

Sealing around all plumbing fixtures and adjacent materials is recommended to minimize and prevent damages from moisture that may become trapped.

Recommendation

Contact a handyman or DIY project

14.9.1 Toilet

SEALING

 Maintenance Item

It is recommended to seal around all plumbing fixtures to prevent damages to adjacent materials.

Recommendation

Contact a handyman or DIY project

14.10.1 Receptacles

NO GFCI PROTECTION INSTALLED

 Recommendations

No GFCI protection present. Have a licensed electrician upgrade by installing ground fault receptacles in all required locations. Receptacles within 6 feet of water must be GFCI protected and properly labeled. If an outlet is ungrounded but GFCI protected it also must be properly labeled.

[Here is a link](#) to read about how GFCI receptacles keep you safe.

Recommendation

Contact a qualified electrical contractor.

15.8.1 Drains & Fixtures

IMPROPER CONNECTION

 Recommendations



15.8.2 Drains & Fixtures

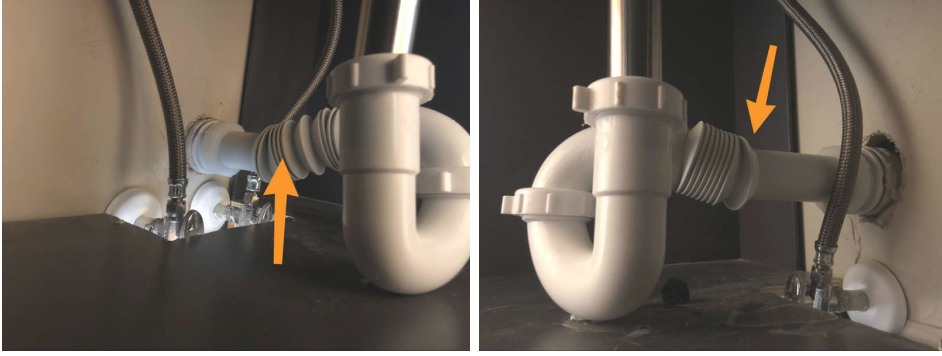
CORRUGATED DRAIN LINES

 Recommendations

Though sold regularly at hardware stores these corrugated drain lines are never recommended by professionals due to the high probability of blockages from accumulated debris.

Recommendation

Contact a qualified plumbing contractor.



15.9.1 Toilet

SEALING



It is recommended to seal around all plumbing fixtures to prevent damages to adjacent materials.

Recommendation

Contact a handyman or DIY project

17.2.1 Windows

MISSING / DAMAGED HARDWARE



The hardware for one or more windows to properly lock / open / close is missing or damaged. We recommend that all windows in the home be properly tested and in proper working function prior to closing.

Recommendation

Contact a handyman or DIY project



17.3.1 Floors

NOT ADHERED



Flooring was not properly adhered to crawlspace access hatches.

Recommendation

Contact a qualified professional.



17.6.1 Steps

OPEN SIDE



For added safety add a handrail to open side of stairs.

