



SUMMARY

1234 Main St. Big Bear City CA 92314

Buyer Name
05/29/2019 9:00AM

Loch Bell
InterNACHI Certified...
Highlander Inspections
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2.1.1 Coverings

DEBRIS



VALLEYS AND CHIMNEYS

Debris was observed on roof surface. Tree droppings will trap water and moisture long enough for it to eventually find a path beneath the roofing and into the structure. I recommend removal of the debris.

Recommendation

Contact a qualified roofing professional.



2.1.2 Coverings

LIFTING FASTENERS



ABOVE GARAGE

I observed lifting fasteners in one or more location. I recommend correction by a qualified professional.

Recommendation

Contact a qualified roofing professional.

2.1.3 Coverings

TILES CRACKED/BROKEN



MAIN ENTRY, NORTHEAST DORMER

Roof had cracked/broken tiles. I recommend consulting a qualified professional to replace to prevent moisture intrusion and damage.

Recommendation

Contact a qualified roofing professional.



2.3.1 Flashings

SEALANT CRACKS



I observed sealant at one or more flashings to be dried and cracked. I recommend correction.

Recommendation

Contact a qualified roofing professional.

2.3.2 Flashings

VENT PIPE SHORT

Recommendation

Observed one or more vent pipe not extended above the roof adequately (broken off). I recommend consulting a qualified professional and extending 6 to 12 inches above the roof for proper flashing, and ventilation during snow events.

Recommendation

Contact a qualified professional.

3.1.1 Siding, Flashing & Trim

DAMAGED SIDING

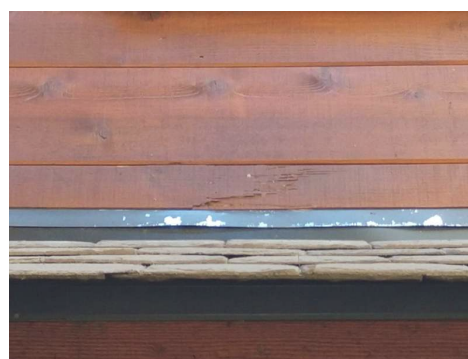
Recommendation

WEST FACE TO THE RIGHT OF THE ENTRY

Observed damaged siding in one or more location.

Recommendation

Contact a qualified siding specialist.



3.4.1 Walkways, Patios & Driveways

WALKWAY CRACKING - MINOR

Maintenance Item

Cracks observed in concrete flatwork in one or more location. I recommend a patch & seal DIY project, or consult a qualified professional for evaluation and correction.

Recommendation

Recommended DIY Project

3.5.1 Decks, Balconies, Porches & Steps

UNEVEN RISER HEIGHT

Recommendation

EAST FACE NORTH END BETWEEN LANDING AND DECK

Observed uneven riser height at steps. A difference larger than 3/8 of an inch presents a trip hazard. I recommend consulting a qualified professional for evaluation and correction.

Recommendation

Contact a qualified general contractor.

3.5.2 Decks, Balconies, Porches & Steps

IMPROPER MATERIALS

Recommendation

SOUTHEAST CORNER

Observed use of improper material application. Use of OSB as a shim below an exposed exterior framing member will retain moisture and degrade at an accelerated rate. I recommend replacement by a qualified professional.

Recommendation

Contact a qualified deck contractor.



3.6.1 Vegetation, Grading, Drainage & Retaining Walls

VEGETATION CONTACT



Maintenance Item

Observed vegetation in contact with the building in one or more location. This can cause damage to finish and materials. Watering of the vegetation next to the structure also introduces excess moisture into the soil at the footing. I recommend creating a space between the vegetation and building of at least 18 inches.

Recommendation

Contact a qualified landscaping contractor

3.6.2 Vegetation, Grading, Drainage & Retaining Walls

TREE OVERHANG



Recommendation

Observed tree branches overhanging the roof. This can cause damage to the roof and prevent proper drainage. A safe distance is 5 - 6 feet of separation. I recommend consulting a qualified professional to trim to allow for proper drainage and prevent potential injury or roof damage from falling dead wood.

Recommendation

Contact a qualified tree service company.

3.6.3 Vegetation, Grading, Drainage & Retaining Walls

OBSTRUCTED DRAIN



Maintenance Item

TRENCH DRAIN AT GARAGE

I observed drain lines nearly filled with material preventing the collection of water. I recommend clearing away material to allow the flow of water away from the building.

Recommendation

Contact a qualified professional.



4.2.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device

KNOCKOUTS MISSING

LAUNDRY ROOM PANELS

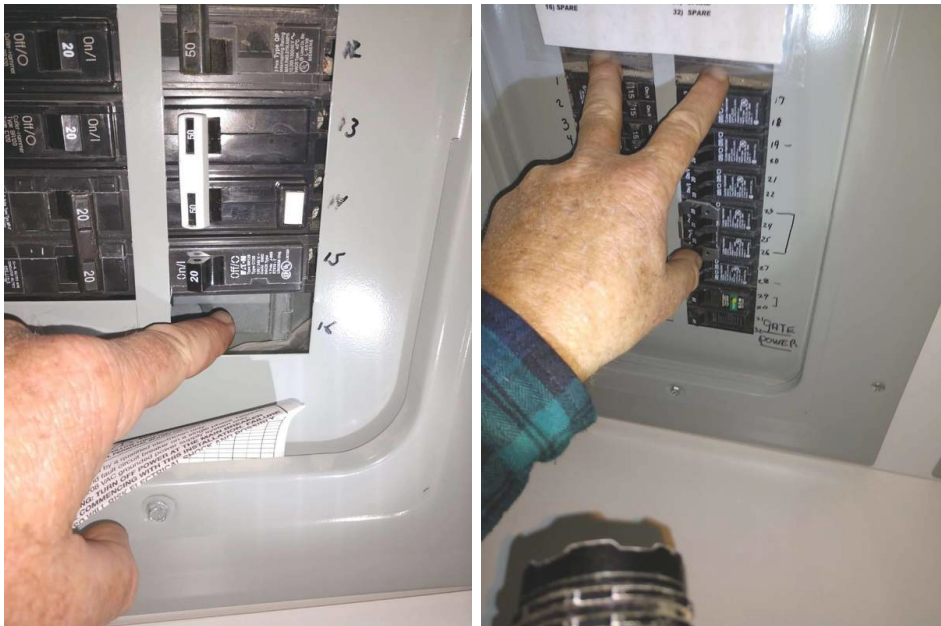
Observed one or more "knockouts" were missing in the electric panel. This poses a safety hazard and it is recommended that the opening in the panel caused by the missing knockout(s) be properly replaced by a qualified professional.

Recommendation

Contact a qualified electrical contractor.



Recommendation



4.3.1 Branch Wiring Circuits, Breakers & Fuses

DOUBLE TAP - NEUTRAL

ALL 4 SUB PANELS

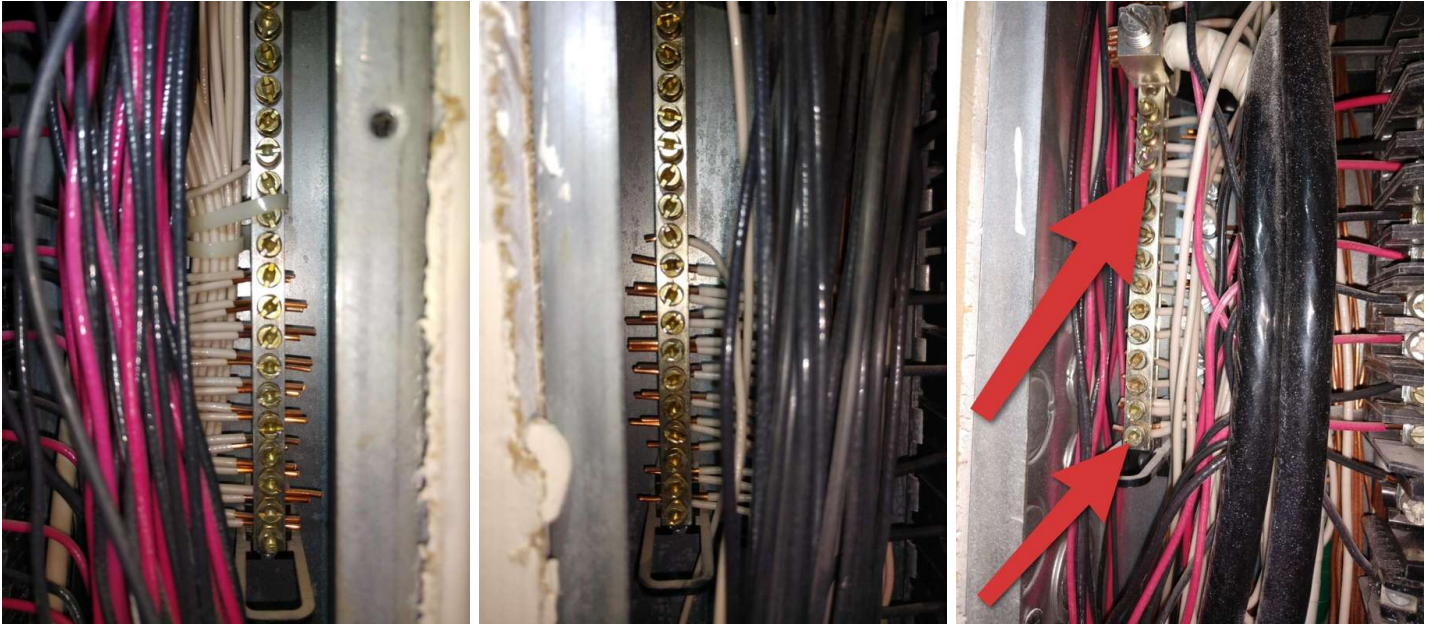
Observed one or more lugs on neutral bus bar with more than one wire. This prevents isolation of the circuit if it needs to be worked on, and wires may slip out of lugs that are not designed for multiple conductors, creating a fire hazard. I recommend consulting a qualified professional to evaluate and correct.

Recommendation

Contact a qualified electrical contractor.



Safety Hazard



4.3.2 Branch Wiring Circuits, Breakers & Fuses

INADEQUATE SUPPORT

SOUTH SIDE A/C CONDENSERS

I observed inadequate support / anchoring of wiring in one or more location. Wiring should be supported / anchored within one foot of boxes and at least every four feet in between. I recommend consulting a qualified professional to evaluate and correct.

Recommendation

Contact a qualified professional.

 Recommendation



4.4.1 Lighting Fixtures, Switches & Receptacles

COVER PLATE DAMAGED

One or more switch or receptacle have a damaged cover plate. I recommend replacement.

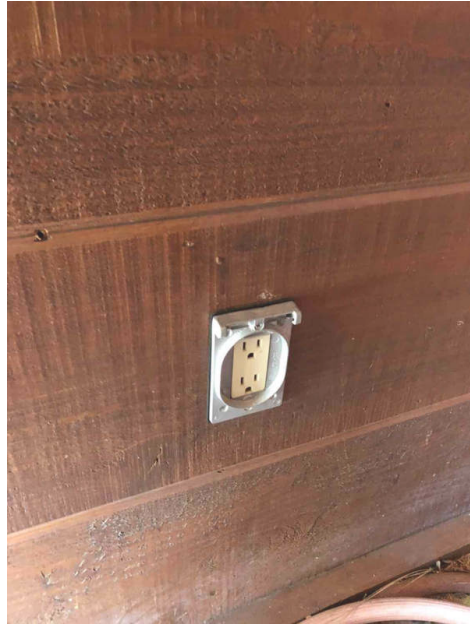
Recommendation

Recommended DIY Project

 Maintenance Item



Garage



1st Floor Southeast Patio

4.4.2 Lighting Fixtures, Switches & Receptacles

COVER PLATE MISSING

 Maintenance Item

Observed one or more outlets (junction box, receptacle, switch) were missing a cover plate. This creates a short and shock risk. I recommend installation.

Recommendation
Recommended DIY Project



2nd Floor South Bedroom



Garage



Basement wine cellar



Basement Utility Room



Basement utility room



Garage

4.4.3 Lighting Fixtures, Switches & Receptacles **REVERSED POLARITY**



Recommendation

Observed one or more receptacles have been wired in reverse polarity (hot and neutral reversed). This can create a shock hazard. I recommend correction by a qualified professional.

Recommendation

Contact a qualified electrical contractor.



2nd Floor South Bathroom

4.4.4 Lighting Fixtures, Switches & Receptacles **DAMAGED / LOOSE RECEPTACLE**

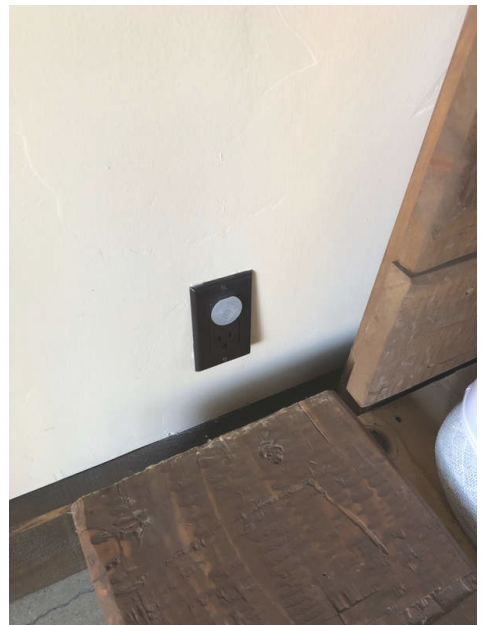


Recommendation

I observed one or more damaged / loose receptacle(s). Receptacles having damage (cracks, missing insulation, etc.) or that are loose (moves around when inserting or removing plug) cause a potential electrical short or electrocution hazard. I recommend having a qualified professional evaluate and correct.

Recommendation

Contact a qualified electrical contractor.



Basement Southeast Bedroom

4.4.5 Lighting Fixtures, Switches & Receptacles

NO POWER

I observed no power to one or more electrical outlet. I recommend consulting a qualified professional for evaluation and correction.

Recommendation

Contact a qualified electrical contractor.



Recommendation



2nd Floor Northeast Bathroom

4.5.1 GFCI & AFCI

NO POWER

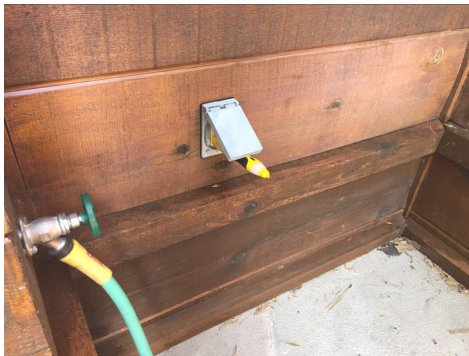
Observed no power to outlet outside

Recommendation

Contact a qualified professional.



Recommendation



2nd Floor Master Patio



1st Floor Southeast Patio

4.5.2 GFCI & AFCI

DEFECTIVE GFCI

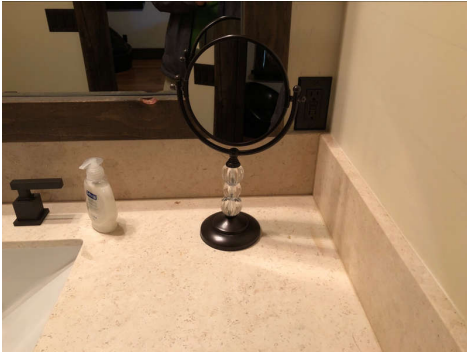
When tested the gfcı outlet will not reset.

Recommendation

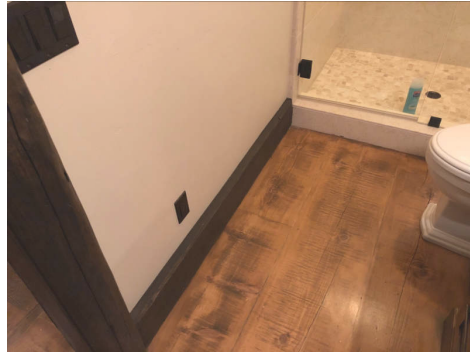
Contact a qualified professional.



Recommendation



2nd Floor Northwest Bathroom



2nd Floor Southwest Bathroom

5.2.1 Water Supply, Distribution Systems & Fixtures

 Recommendation

LEAKING VALVE

WEST SIDE TO THE RIGHT OF THE ENTRY

Observed leaking water supply valve. Recommend correction by a qualified professional.

Recommendation

Contact a qualified plumbing contractor.



5.2.2 Water Supply, Distribution Systems & Fixtures

 Recommendation

STOPPER INOPERABLE

2ND FLOOR LEFT BATHROOM

Stopper was inoperable.

Recommendation

Contact a qualified professional.



5.2.3 Water Supply, Distribution Systems & Fixtures

 Recommendation

DAMAGED / CRACKED SHOWER ENCLOSURE

Damaged grout line in shower enclosure.

Recommendation

Contact a qualified professional.



2nd Floor Northwest Bathroom, floor to wall intersection.

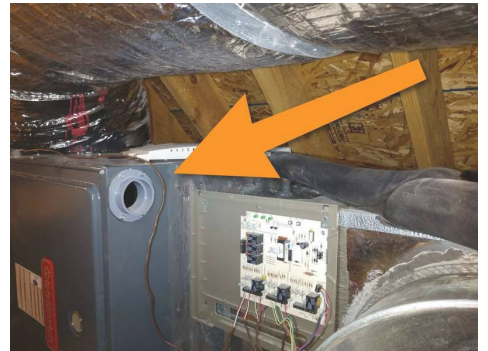
6.1.1 Equipment

INTAKE / EXHAUST VENT CONNECTION MISSING

Observed missing intake / exhaust vent connector. I recommend consulting a qualified professional for evaluation and correction.

Recommendation

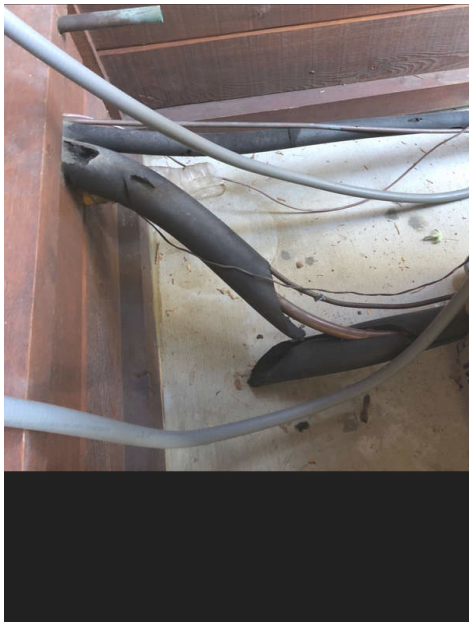
Contact a qualified heating and cooling contractor



7.1.1 Cooling Equipment

INSULATION MISSING OR DAMAGED

Missing or damaged insulation on refrigerant line can cause energy loss and condensation.



8.1.1 Doors

WARPED DOOR DOESN'T LATCH



I observed one or more door that doesn't latch properly due to being warped. I recommend evaluation and correction by a qualified professional

Recommendation

Contact a qualified door repair/installation contractor.



2nd Floor South Master Closet

8.1.2 Doors

DOOR LATCH ALIGNMENT

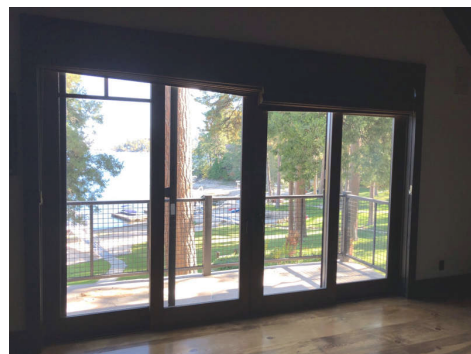


Recommendation

Door latch and/or strike plate is out of alignment. I recommend correction by a qualified professional.

Recommendation

Contact a qualified door repair/installation contractor.



2nd Floor Southeast Master Bedroom

8.1.3 Doors

DOOR STICKS



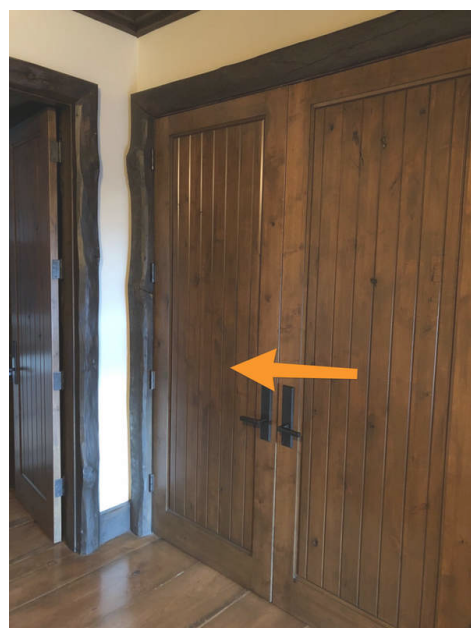
Recommendation

Door sticks and won't open. Recommend evaluation and correction by licensed contractor

[Here is a helpful DIY article](#) on how to fix a sticking door.

Recommendation

Contact a qualified door repair/installation contractor.



1st Floor Southeast Bedroom Closet

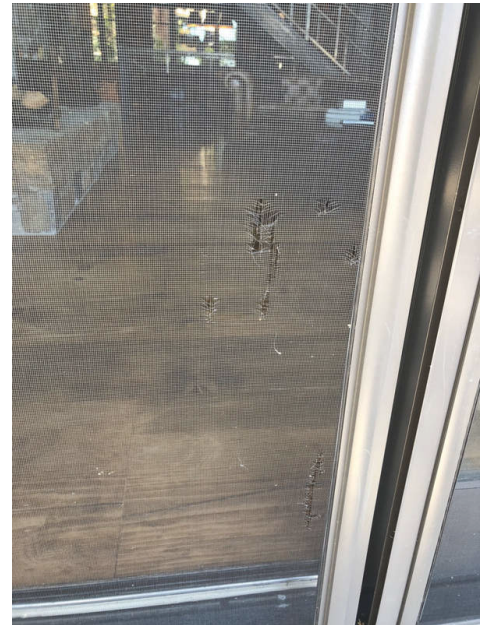
8.1.4 Doors

SCREENS DAMAGED

 Recommendation

Observed one or more damaged window or door screen.
Recommend repair/replacement by qualified professional.

Recommendation
Contact a qualified professional.



1st Floor

8.4.1 Walls

CRACKS

 Maintenance Item

Observed cracks at the intersections and surfaces of walls in one or more location. I recommend monitoring for change, consult a qualified professional as needed for correction.

Recommendation
Recommend monitoring.



1st Floor Southwest Bathroom

8.8.1 Tub/Shower

SEALANT DECADENCE

 Maintenance Item

Observed sealant in tub/shower enclosure degrading and becoming ineffective in one or more location. I recommend removing, cleaning and replacing as a DIY project, or consult a qualified professional for correction.

Recommendation
Contact a qualified painting contractor.



1st Floor Southeast Bathroom

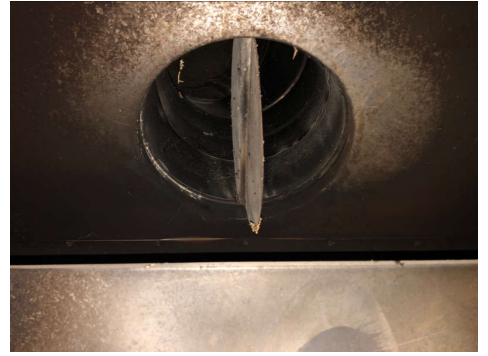
10.1.1 Fireplace

MISSING DAMPER CLAMP

 Recommendation

2nd floor left fire place missing damper clamp.

Recommendation
Contact a qualified professional.



10.1.2 Fireplace

FIREPLACE GAS CONTROL VALVE

 Maintenance Item

WEST LOFT SITTING ROOM FIREPLACE

The natural gas control valve inset behind the masonry stones is non-operational

Recommendation
Contact a qualified professional.



11.3.1 Exhaust Systems

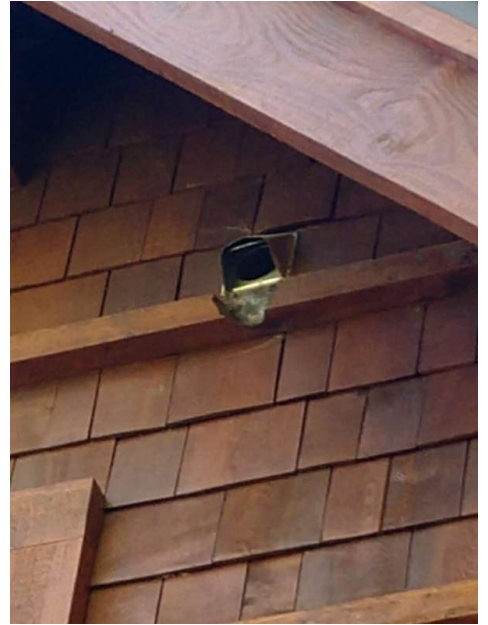
EXHAUST DAMPER MISSING

 Recommendation

NORTH WALL

Observed missing damper in exhaust duct. I recommend replacement (wildlife may find it an inviting nesting place).

Recommendation
Contact a qualified professional.



12.2.1 Basement / Crawlspace

EFFLORESCENCE

 Recommendation

Efflorescence is present on the crawlspace surface (bare earth). This is a white, powdery deposit that is consistent with moisture intrusion. This can compromise the soil's ability to support the home structure and/or lead to mold growth. I recommend a qualified professional identify the source of moisture and correct.



12.2.2 Basement / Crawlspace

INSULATION MISSING, DAMAGED OR FALLEN

 Maintenance Item

I observed in one or more locations missing, damaged or fallen insulation from the floor or wall structure. I recommend reinstalling the insulation to improve climate control in the conditioned space above as a DIY project or by a qualified professional.

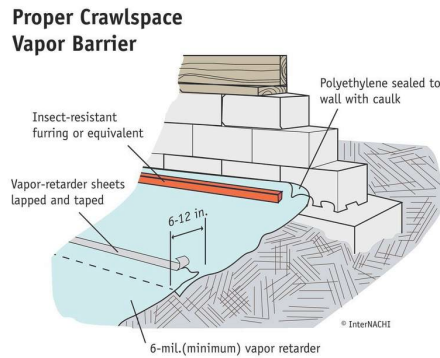
Recommendation

Contact a qualified insulation contractor.



NO MOISTURE BARRIER

I observed the absence of a moisture barrier on the floor (exposed dirt) of the crawlspace. This is not a requirement of any kind, but it will reduce the amount of ground moisture introduced into the area below the conditioned space (living area). I recommend considering installation of a moisture barrier.



COMPROMISED FIREWALL

SOUTH SIDE BEHIND STORAGE DOORS

Observed damaged drywall or unsealed penetration or transition. I recommend correction by a qualified professional.

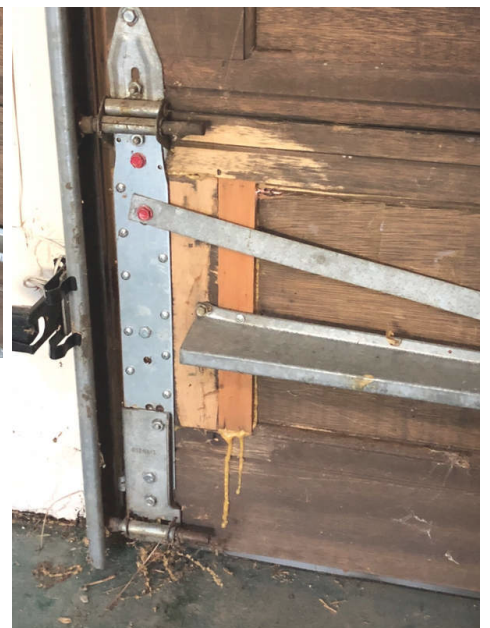
Recommendation

Contact a qualified drywall contractor.



PANEL DAMAGE

Garage door panel is damaged and may need repair/replacement. Recommend a qualified garage door contractor evaluate.



Left door

13.6.1 Occupant Door (From garage to inside of home)

 Recommendation

NOT SELF-CLOSING

Door separating garage from home should have self-closing hinges or a door closer to help prevent spread of a fire to living space. I recommend installation self-closing hinges or a door closer.

[DIY Resource Link.](#)

