



2.1.1 A. Foundations

POST TENSION CABLE ENDS

VARIOUS LOCATIONS



One or more of the post tension cable ends are exposed and need to be properly sealed.



Rear Left

2.1.2 A. Foundations

VISIBLE REBAR

REAR



The foundation re bar is visible on the edge of the foundation beam and needs to be properly covered.



Rear

2.2.1 B. Grading and Drainage

GUTTER FULL OF DEBRIS

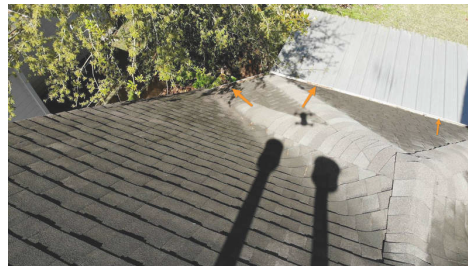
FRONT, FRONT LEFT, REAR LEFT



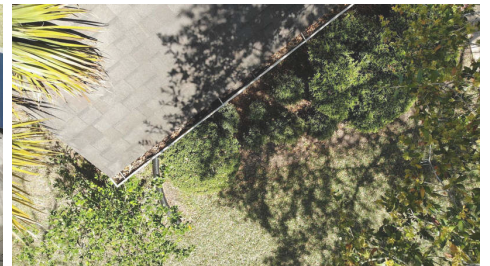
Gutter system had debris on one or more locations at the time of the inspection. The inspector recommends that you clean out all debris in the gutters.



Front



Rear Left



Front Left

2.2.2 B. Grading and Drainage

GUTTER RUSTED

VARIOUS LOCATIONS



The gutters were observed to be rusted through.

2.2.3 B. Grading and Drainage

GUTTER MINOR LEAKS

VARIOUS LOCATIONS



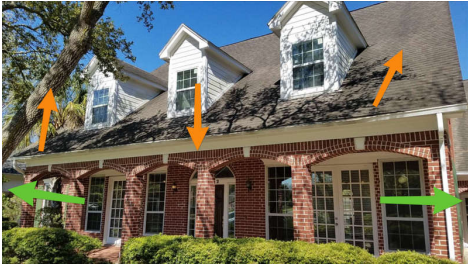
Minor leaks in the gutter joints and seams should be repaired.

2.2.4 B. Grading and Drainage

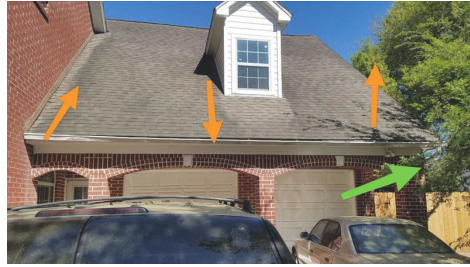
GUTTER SLOPE



The gutters do not appear to have sufficient slope to drain properly. If they do not perform as intended, the slope should be adjusted.



Front



Front, Garage

2.2.5 B. Grading and Drainage

GUTTER DAMAGED

Damaged guttering was observed.

Deficiency



Right, Garage



Front

2.2.6 B. Grading and Drainage

DOWNSPOUT SEPERATED

REAR

The downspout is separated.

Deficiency



Rear



Rear

2.2.7 B. Grading and Drainage

STANDING WATER

FRONT RIGHT

Standing water observed, which could indicate poor drainage and/or grading. Recommend monitor and/or have landscaper correct.

[Here is a resource](#) on dealing with standing water in your yard.



2.2.8 B. Grading and Drainage

LOW SOIL

FRONT LEFT

The soil line is low. Under current building standards there should be 4-inches of foundation visible below masonry veneer and 6-inches of foundation visible below wood type veneer. It is recommended that fill dirt be added around the structure in the noted areas.



2.2.9 B. Grading and Drainage

LOW SPOT FILL DIRT NEEDED

VARIOUS LOCATIONS

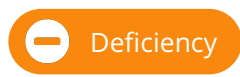
Fill dirt is needed. The low spots in the finished grade (ground) adjacent to the foundation perimeter wall need to be filled in to help prevent water from standing and/or ponding next to the foundation area.

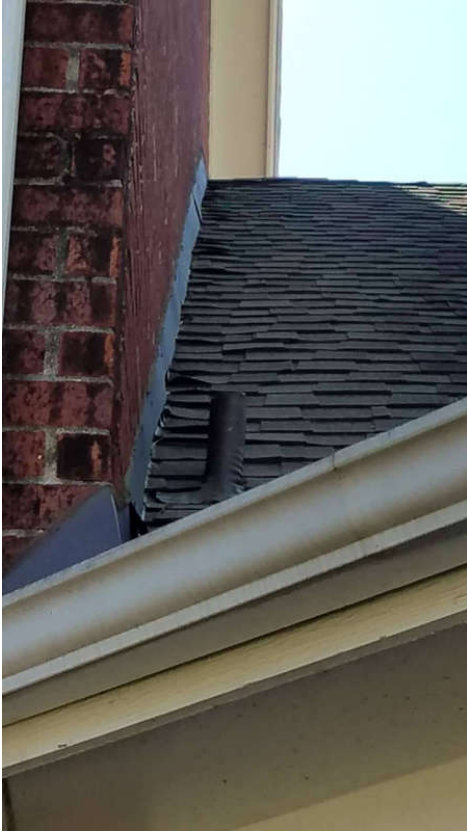


2.3.1 C. Roof Covering Materials

LIFTED SHINGLES

The roofing material observed to have loose and/or lifting shingles in various locations. The damage may have been caused by a previous wind storm and should be further evaluated.





Rear



Chimney



Front

2.3.2 C. Roof Covering Materials

TREES NEED TRIMED

Deficiency

Tree and shrub branches need to be trimmed away from the roofing material at all times to help prevent damage to the roofing material. It is the opinion of this Inspector that there are some branches too close to the roofing material at this time and corrective measures are needed.



Left Rear



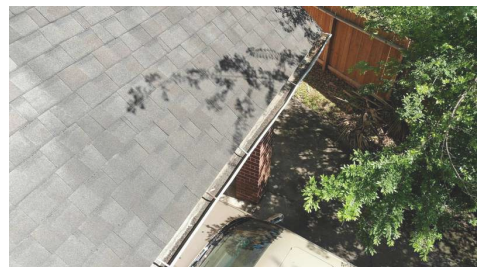
2.3.3 C. Roof Covering Materials

GRANULAR LOSS

Deficiency

GARAGE

The composition roofing material has experienced granular loss in various locations and should be further evaluated by a qualified roof contractor and repaired as necessary.



2.3.4 C. Roof Covering Materials

FLASHING INDEQUATE

RIGHT, LEFT, FRONT, REAR

Chimney, Wall to roof, Step flashing

The flashing appears to be inadequate in one or more locations.

Deficiency



2.3.5 C. Roof Covering Materials

FLASHING LIFTED

The flashing is lifting and/or pulling loose and should be re-secured.

Deficiency



Right, Garage

Left

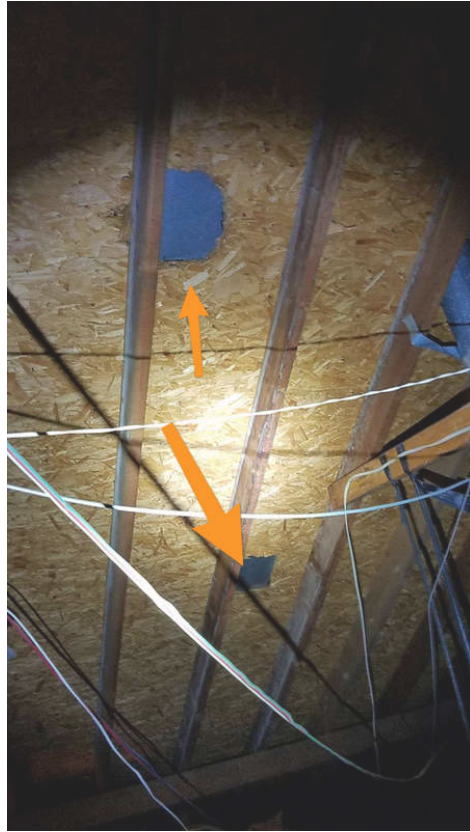
2.4.1 D. Roof Structure & Attic

DECKING DAMAGED

ATTIC

Some roof sheathing (decking) deterioration and/or damage was observed in one or more locations. This condition should be further evaluated by a qualified roofer and repaired as necessary

Deficiency



Attic

2.4.2 D. Roof Structure & Attic

REDISTRIBUTE INSULATION

ATTIC

The attic floor insulation needs to be redistributed in one or more locations.

 Maintenance Item

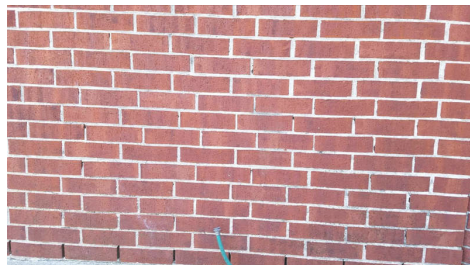
2.5.1 E. Walls (Interior and Exterior)

MORTAR IMPROVEMENTS

RIGHT

Mortar improvements are recommended for the exterior masonry veneer

 Maintenance Item



Rear

2.5.2 E. Walls (Interior and Exterior)

NORMAL CRACKS

VARIOUS LOCATIONS

 Deficiency

There are a number of cracks in the interior walls that are considered to be cosmetic and average for the age of the home. No attempt is made to discover or document an exhaustive list of every crack or anomaly in the interior. These deficiencies should be repaired the next time the interior is painted.

2.6.1 F. Ceilings and Floors

NORMAL CRACKS



There are a number of cracks in the interior ceilings that are considered to be cosmetic and average for the age of the home. No attempt is made to discover or document an exhaustive list of every crack or anomaly in the interior. These deficiencies should be repaired the next time the interior is painted.

2.6.2 F. Ceilings and Floors

WATER STAIN



UPSTAIRS BATHROOM LEFT

Water stains were observed on the ceiling finish. The cause and remedy should be further evaluated and corrected as necessary.



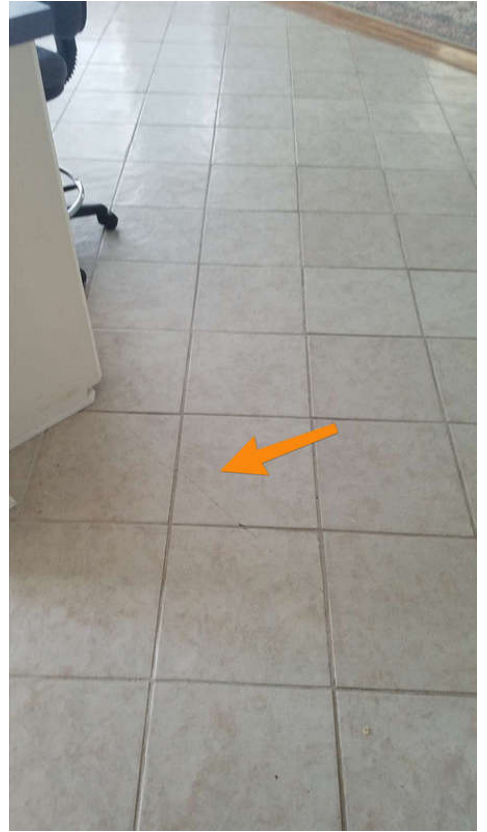
2.6.3 F. Ceilings and Floors

LOOSE OR DAMAGED TILE



UPSTAIRS GAMEROOM

The floor tile(s) were observed to be cracked and/or damaged.



Upstairs gameroom

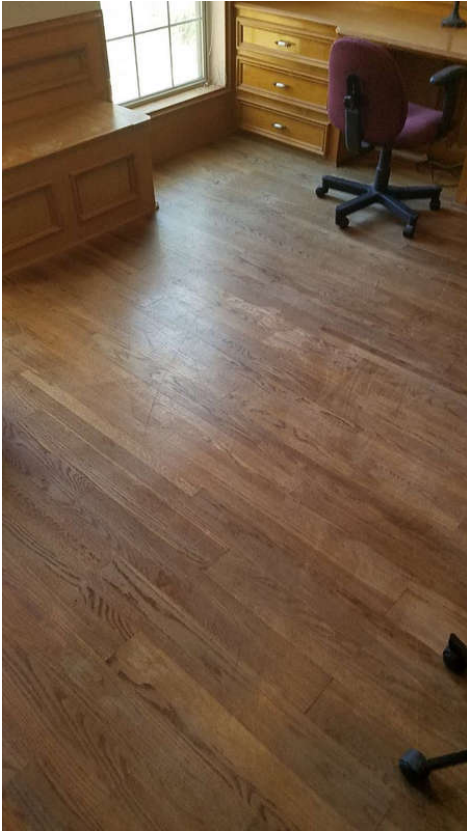
2.6.4 F. Ceilings and Floors

WORN FLOOR COVERING

STUDY/OFFICE

The floor covering is noticeably worn and/or damaged in one or more locations of the home.





Study/office

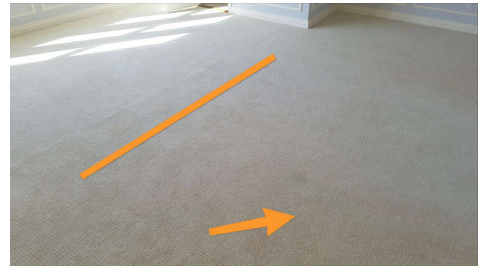
2.6.5 F. Ceilings and Floors

MINOR CARPET WEAR - GENERAL

UPSTAIRS

The home had general minor carpet wear on major paths of travel.

 Deficiency



2.7.1 G. Doors (Interior and Exterior)

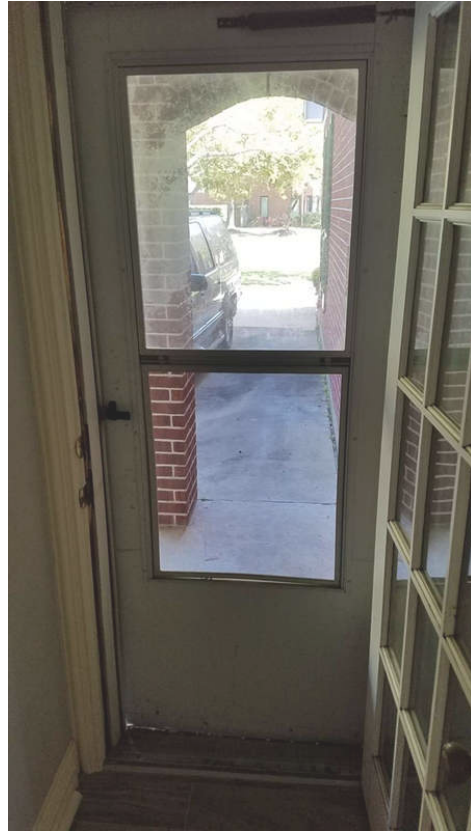
DOOR STICKS

One or more doors was found to be difficult to open/close. This is typical after homes begin to settle.

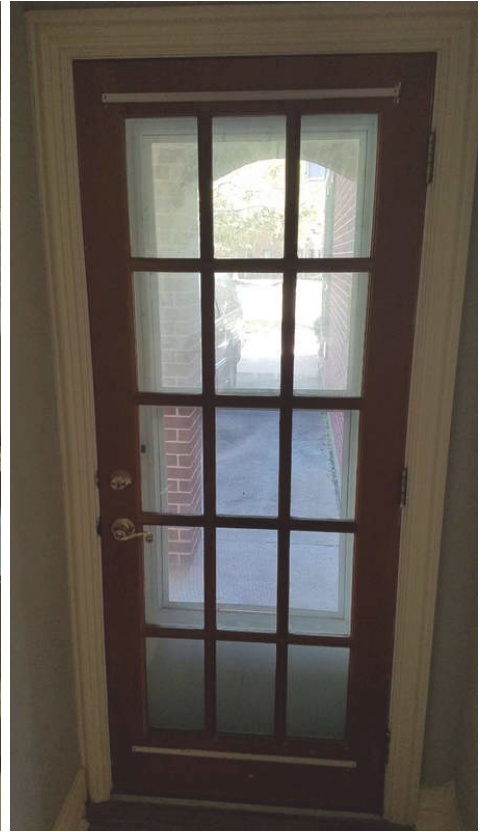
 Maintenance Item



1/2 Bath



Hallway



Hallway



Front



Rear

2.7.2 G. Doors (Interior and Exterior)
GARAGE DOOR TUNE UP
GARAGE



Overhead garage door hinges and rollers should be adjusted, tightened, and lubricated as necessary.

2.7.3 G. Doors (Interior and Exterior)

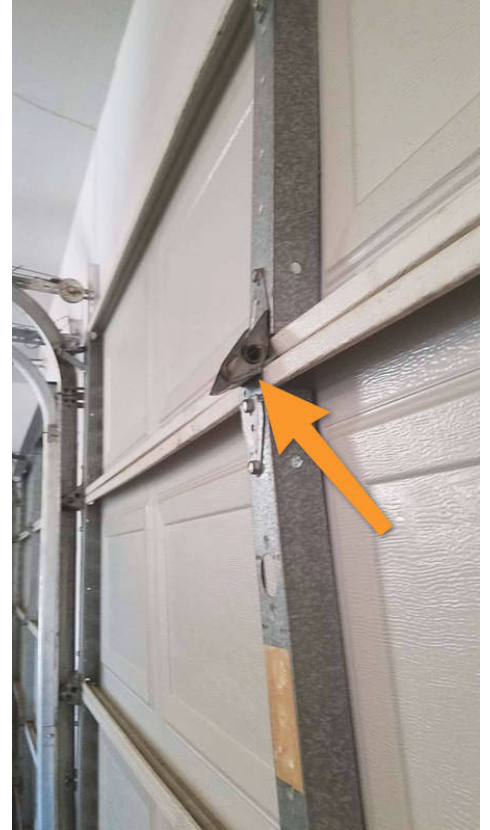
GARAGE DOOR HINGE LOOSE

GARAGE, RIGHT DOOR

Some of the overhead garage door hinges were observed to be loose and should be re-secured.



Deficiency



2.8.1 H. Windows

SILL DAMAGE INTERIOR

VARIOUS LOCATIONS

The interior window sill(s) have some deteriorated and/or damaged.



Deficiency



2.9.1 I. Stairways (Interior and Exterior)

POOR LIGHT SWITCH LOCATION



Deficiency

The light switch for the stairway is poorly located. Under current electrical standards, the activation switch should be accessible at the top and bottom of the stairway without traversing any step of the stairs.



Right stairs

2.10.1 J. Fireplaces and Chimneys

MORTAR CAP

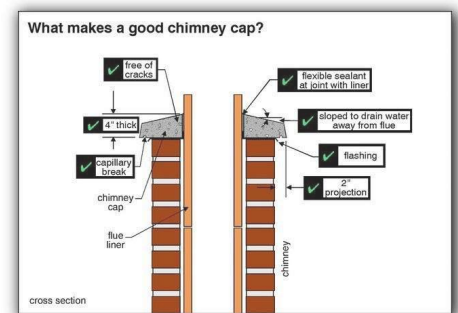
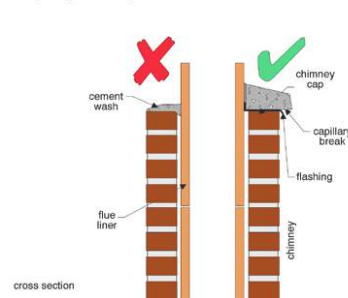
The roof level chimney mortar cap/crown is in need of improvement.



Deficiency



Drip edge on cap



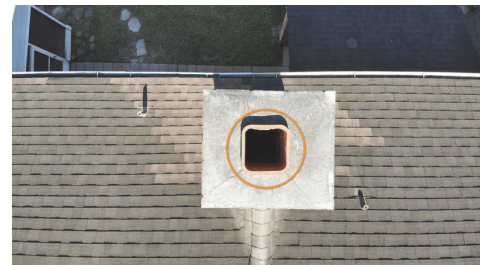
2.10.2 J. Fireplaces and Chimneys

NO CHIMNEY CAP / SCREEN

There is no chimney rain cap or screen in place at this time.



Deficiency



2.11.1 K. Porches, Balconies, Decks, and Carports

PATIO CRACKS

Some deflection and/or cracking of the patio concrete flatwork was observed.



Deficiency



Front



Rear



Rear

2.11.2 K. Porches, Balconies, Decks, and Carports

SIDEWALK SETTLED

 Deficiency

FRONT

The sidewalk has settled somewhat. If this condition persists or if the sidewalk becomes a trip hazard, improvements should be undertaken.



Front

2.11.3 K. Porches, Balconies, Decks, and Carports

MINOR DRIVEWAY CRACKS

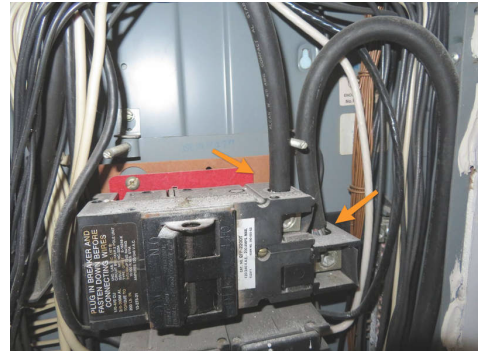
Minor cracks and/or deficiencies were observed in the driveway.



3.2.1 A. Service Entrance and Panels

NO ANTI-OXIDANT ALUMINUM

There was no anti-oxidant gel observed on the exposed aluminum conductor terminations.



3.2.2 A. Service Entrance and Panels

EXTENSION CORD PERMANENT

GARAGE

Electrical flex extension cords should not be used for permanent wiring or pass through walls or ceilings.



3.3.1 B. Branch Circuits, Connected Devices, and Fixtures

GFCI MISSING

1/2 BATH, VARIOUS LOCATIONS

Not all of the receptacles in the wet/damp areas appear to have ground fault circuit interrupter (GFCI) protection. Under current electrical standards all of the exterior receptacles, all kitchen receptacles, all bathroom receptacles, wet bar countertop receptacles, laundry room receptacles, garage non-appliance dedicated receptacles and pool lighting should have GFCI protection. This is an as-built condition, but Per TREC standards of practice we are required to report this condition as a deficiency. Some items reported as Deficient may be considered upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards, form OP-1.



3.3.2 B. Branch Circuits, Connected Devices, and Fixtures

GFCI DOES NOT FUNCTION PROPER

One or more of the ground fault circuit interrupter (GFCI) devices does not appear to be functioning properly at the time of this inspection. Recommend further evaluation by a licensed electrician and repair as needed.





Kitchen



Kitchen

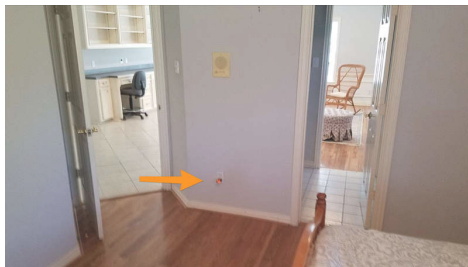
3.3.3 B. Branch Circuits, Connected Devices, and Fixtures

LOOSE PLUG

UPSTAIRS BEDROOM RIGHT

 Deficiency

One or more of the receptacles were observed to be loose at the wall mount. Recommend a licensed electrician evaluate and repair or replace as necessary.



3.3.4 B. Branch Circuits, Connected Devices, and Fixtures

Deficiency

INOP PLUG

UPSTAIRS GAMEROOM

One or more of the receptacles appears to be inoperative. This receptacle(s) and circuit should be investigated and corrected as necessary.



3.3.5 B. Branch Circuits, Connected Devices, and Fixtures

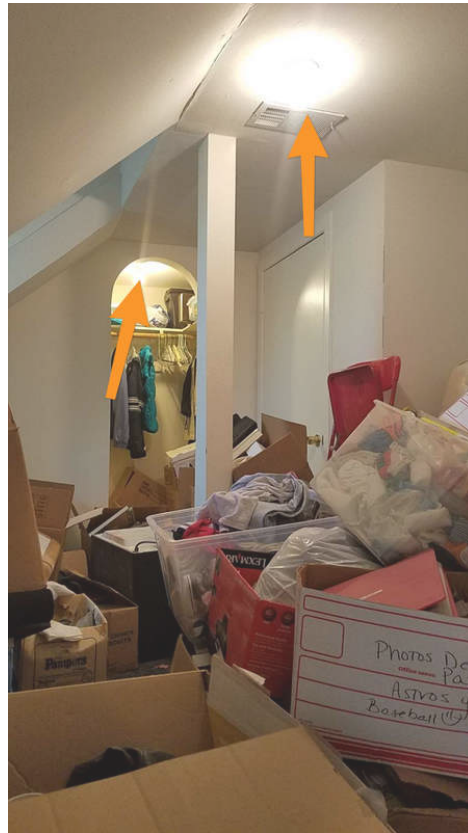
Deficiency

CLOSET LIGHT NO COVER

One or more of the closet light fixtures appear to be installed without globes and/or covers. Safety precautions should be taken around these light fixtures. This is an as built condition however we are required by TREC to note this as a deficiency.



Upstairs Bedroom Closet



Upstairs Bedroom Closet

3.3.6 B. Branch Circuits, Connected Devices, and Fixtures

Deficiency

EXTERIOR LIGHT INOP

Some light fixtures mounted on the exterior walls of the residence were inoperable at the time of the inspection. This condition can be caused by burned out bulbs, the light may be connected to a timer or light-sensitive switch or a problem may exist with the light fixture, wiring or the switch. You should re-test any inoperable light fixtures after replacing the bulbs.

If after bulb replacement the lights still fail to respond to the switch, consider evaluation by a qualified electrical contractor. This condition may be a potential fire hazard.



Rear

3.3.7 B. Branch Circuits, Connected Devices, and Fixtures

Deficiency

FAN OUT OF BALANCE

LIVING ROOM

The ceiling fan is not balanced properly and wobbles when operated.



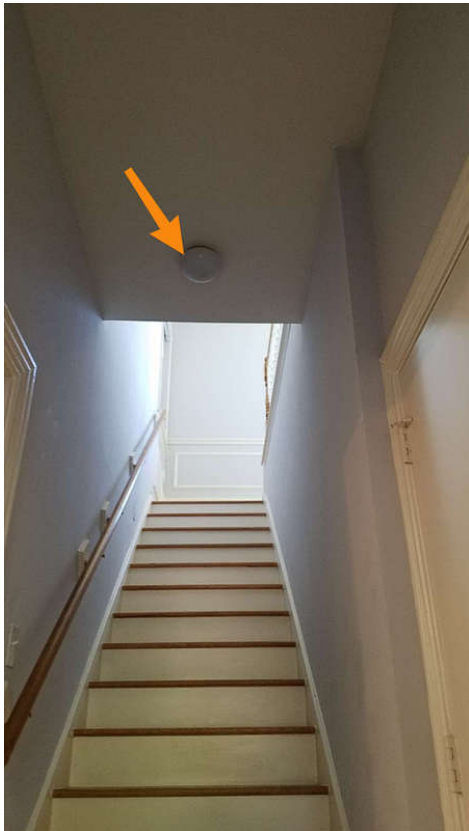
3.3.8 B. Branch Circuits, Connected Devices, and Fixtures

Deficiency

BULB?

HALLWAY

One or more of the light fixtures appear to be inoperative. This may be due to a bad bulb or some other unknown condition. This condition should be further evaluated and corrected as necessary.



Master Closet



Upstairs Garage apt Closet

3.3.9 B. Branch Circuits, Connected Devices, and Fixtures

NOT ENOUGH SMOKE ALARMS

VARIOUS LOCATIONS

There are not enough smoke alarms located in the home. Under current building standards, there should be a smoke alarm located in each sleeping room, outside each separate sleeping area in the immediate vicinity of the sleeping rooms, and on each additional story of the dwelling.



3.3.10 B. Branch Circuits, Connected Devices, and Fixtures

NO CO

No Carbon Monoxide detectors were provided in the home.

The Inspector recommends installation of Carbon Monoxide detectors in appropriate locations.

Proper placement of a carbon monoxide detector is important. If you are installing only one carbon monoxide detector, the Consumer Product Safety Commission (CPSC) recommends it be located near the sleeping area where it can wake you if you are asleep and not above eye level. Additional detectors on every level and in every bedroom of a home provides extra protection.

Homeowners should remember not to install carbon monoxide detectors directly above or beside fuel-burning appliances, as appliances may emit a small amount of carbon monoxide upon start-up. A detector should not be placed within fifteen feet of heating or cooking appliances or in or near very humid areas such as bathrooms.



3.3.11 B. Branch Circuits, Connected Devices, and Fixtures

PLUG GROUND & HOT REVERSED



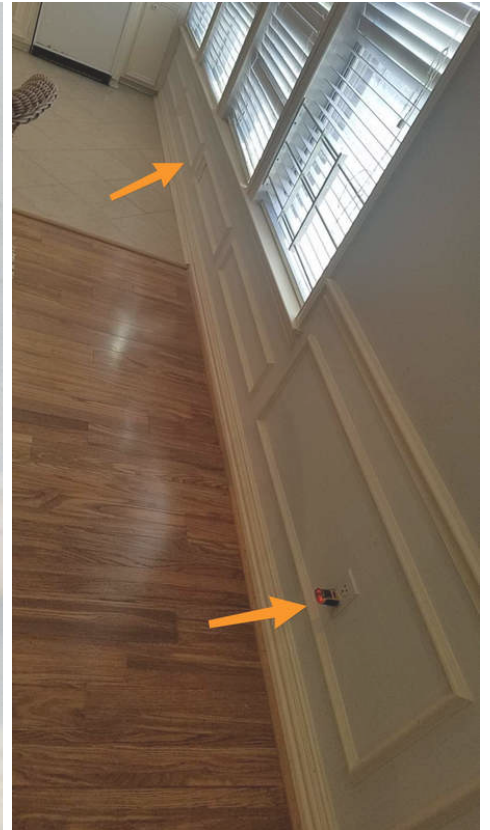
One or more plugs has improper wiring, and the "hot" and ground are reversed. Recommend a licensed electric repair or replace.



Upstairs gameroom



Upstairs gameroom



4.1.1 A. Heating Equipment

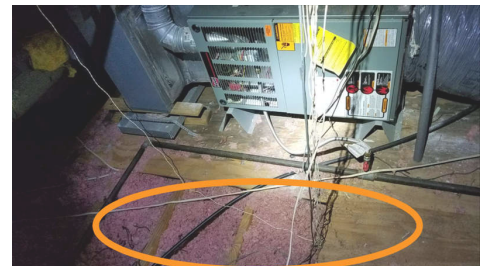
NO SERVICE PLATFORM

ATTIC, DOWNSTAIRS UNIT

The attic equipment service platform is inadequate or missing. There should be at least a 30 X 30 inch floored service space in front of the service side of the equipment.



Deficiency



4.1.2 A. Heating Equipment

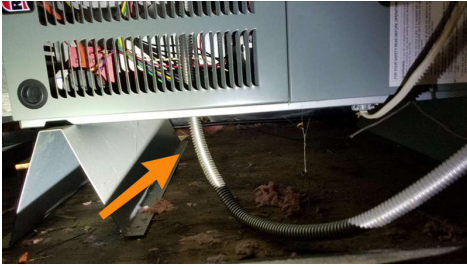
FLEX INTO CABINET

ATTIC, DOWNSTAIRS UNIT

The gas supply flex connector was observed to be passing through the heating unit cabinet. Under current mechanical installation standards, this is no longer an accepted practice. Only rigid black gas pipe is allowed to pass through the heating unit cabinet. This may be an as-built condition but Per TREC standards of practice we are required to report this condition as a deficiency.



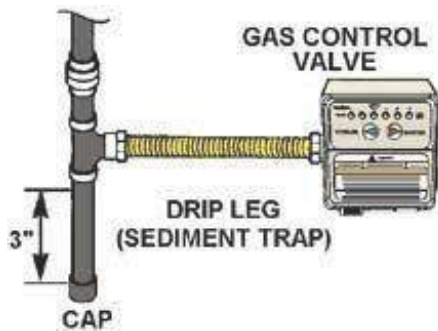
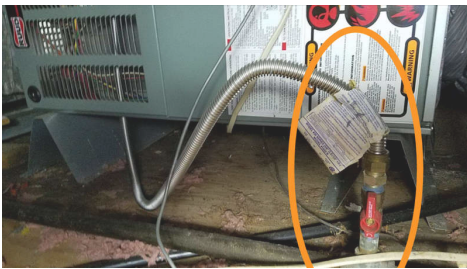
Deficiency



4.1.3 A. Heating Equipment
NO SEDIMENT TRAP

Deficiency

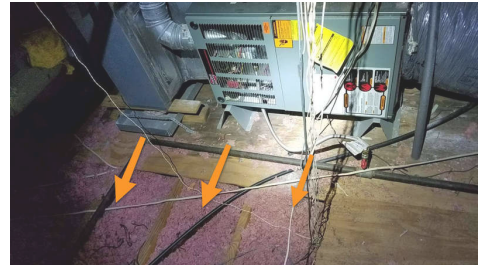
The heater gas supply line is not equipped with a sediment trap just before the gas appliance connector. This condition does not meet current installation requirements and should be corrected.



4.2.1 B. Cooling Equipment
30X30
ATTIC

Deficiency

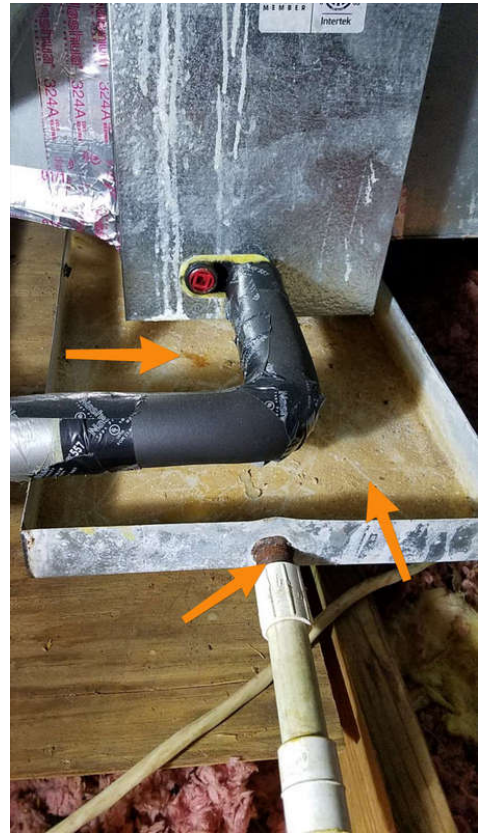
The attic equipment service platform is inadequate or missing. There should be at least a 30 X 30 inch floored service space in front of the service side of the equipment.



4.2.2 B. Cooling Equipment
RUST IN PAN
ATTIC

Deficiency

The auxiliary/secondary drain pan under the coil housing has some water staining and/or a rust build-up. This would indicate that the pan has held water in the past and should be closely monitored.



Upstairs unit

4.2.3 B. Cooling Equipment

DEBRIS IN PAN

ATTIC

The auxiliary/secondary drain pan under the coil housing should be free of all debris. The debris in the pan could clog the drain line and cause water to leak to the interior of the house.





Upstairs unit



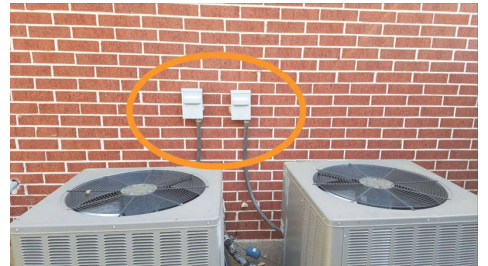
Attic, downstairs unit

4.2.4 B. Cooling Equipment

DISCONNECT BEHIND UNIT

LEFT

The electrical service disconnect is installed behind the outside condenser/coil. This does not meet the clearance requirements of the National Electrical Code or the International Residential Code and should be corrected as necessary.



4.2.5 B. Cooling Equipment

LEVEL OUTSIDE UNIT

LEFT

The outdoor unit of the air conditioning system is out of level. It is recommended that the outside condenser/coils be within 1-inch of level.

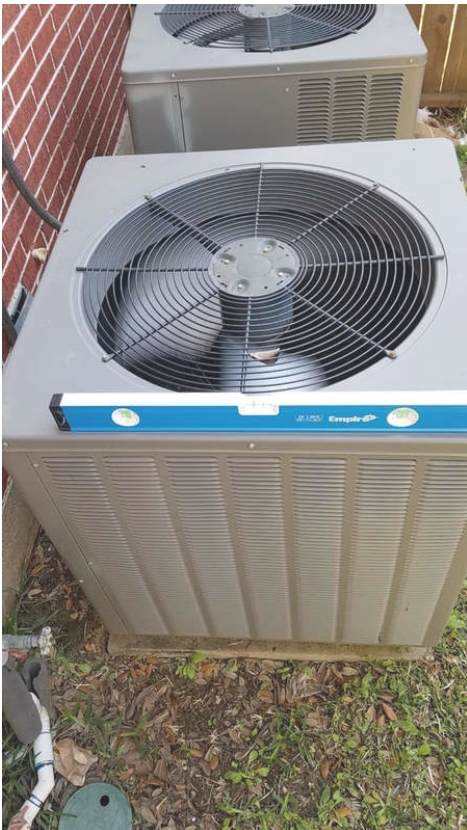




4.2.6 B. Cooling Equipment
FAN MOTOR BALANCE

 Deficiency

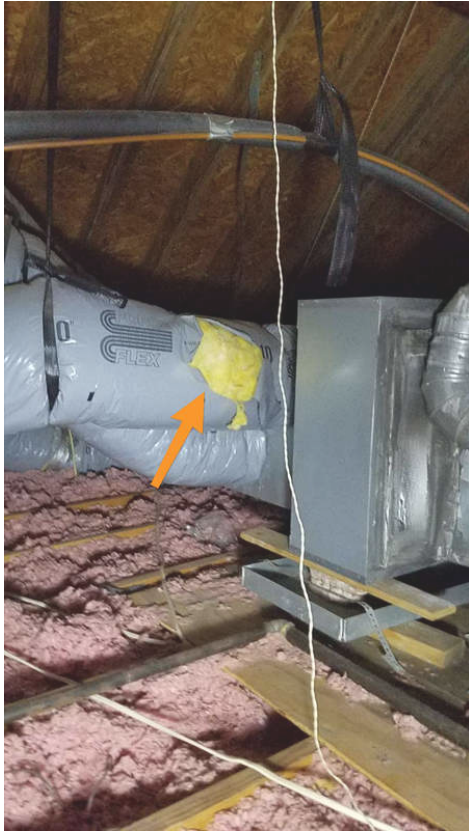
The outside condenser/coil fan motor is out of balance and causes the unit to vibrate more the normal.



DAMAGED INSULATE

ATTIC

Ductwork insulated covering was observed to be damaged and/or pulling loose.



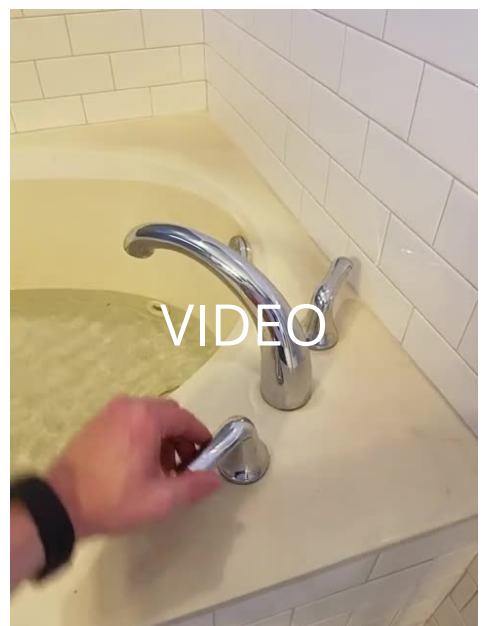
Attic

Attic

"WATER HAMMERING"

MASTER BATHROOM

Water hammering is a term used to describe noise produced by a destructive force known as hydraulic shock. Water hammering develops in a piping system when an instantaneous change in the velocity of flowing water occurs, or when water flowing at a given velocity is stopped abruptly. A quick closure of a valve, for example, creates some form of shock. The shock wave is accompanied by a pressure surge that can expand the wall of the pipe. Recommend further evaluation by a licensed plumber and repair or replace as necessary.



5.1.2 A. Plumbing Supply, Distribution Systems, and Fixtures

FAUCET NOT FUNCTION PROPER

UPSTAIRS

The faucet is not functioning properly at this time.

 Deficiency



Upstairs Gameroom

5.1.3 A. Plumbing Supply, Distribution Systems, and Fixtures

INOPERABLE

KITCHEN

The faucet cold water supply is inoperative. The cause and remedy should be further evaluated.

 Deficiency



Kitchen

5.1.4 A. Plumbing Supply, Distribution Systems, and Fixtures

HOT COLD REVERSED

UPSTAIRS BATHROOM LEFT

The faucets hot/cold water orientation is reversed.

 Deficiency



5.1.5 A. Plumbing Supply, Distribution Systems, and Fixtures

 Deficiency

DIVERTER NOT FUNCTION

UPSTAIRS BATHROOM LEFT

The bathtub shower head diverter is not functioning properly.



Upstairs Bathroom Left

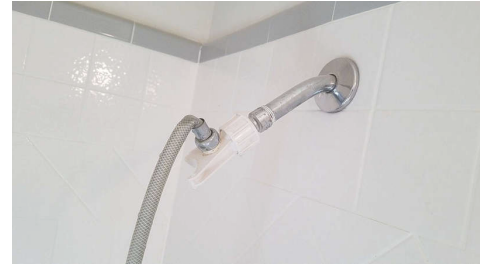
5.1.6 A. Plumbing Supply, Distribution Systems, and Fixtures

Deficiency

LEAK AT NECK CONNECTION

UPSTAIRS GARAGE APARTMENT

The shower spout is leaking at the neck connection. This condition could result in water intrusion into the wall cavity.



Upstairs Garage apartment

5.1.7 A. Plumbing Supply, Distribution Systems, and Fixtures

Deficiency

BACKFLOW MISSING

ALL HOSE BIBS

One or more of the exterior water hose bibbs (faucet) do not have a back-flow or anti-siphon device (Vacuum Breakers) in place. Note: This is not uncommon to observe with a home of this age.



5.1.8 A. Plumbing Supply, Distribution Systems, and Fixtures

Deficiency

LEAKS AT HANDLE

LEFT

The exterior water hose bib (faucet) is leaking at the handle when operated.



Left

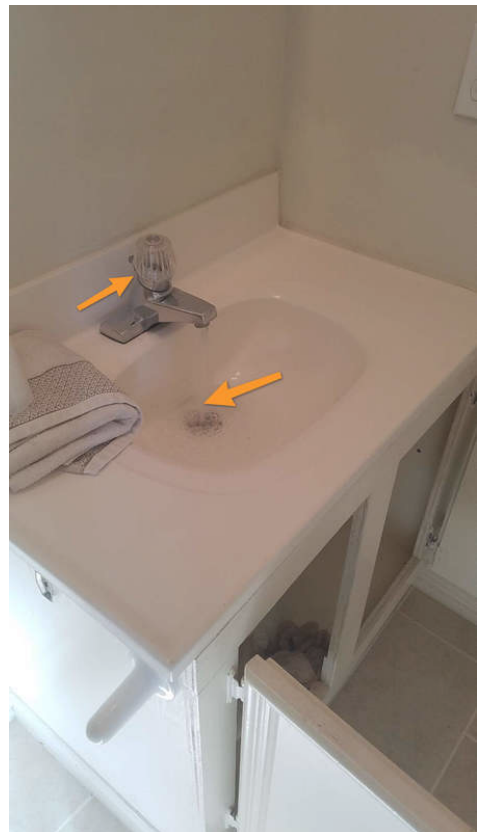
5.1.9 A. Plumbing Supply, Distribution Systems, and Fixtures

Deficiency

SINK HARDWARE INSTALLED INCORRECTLY

UPSTAIRS GARAGE APT.

The sink hardware was installed incorrectly. It did not properly hold water as a result.



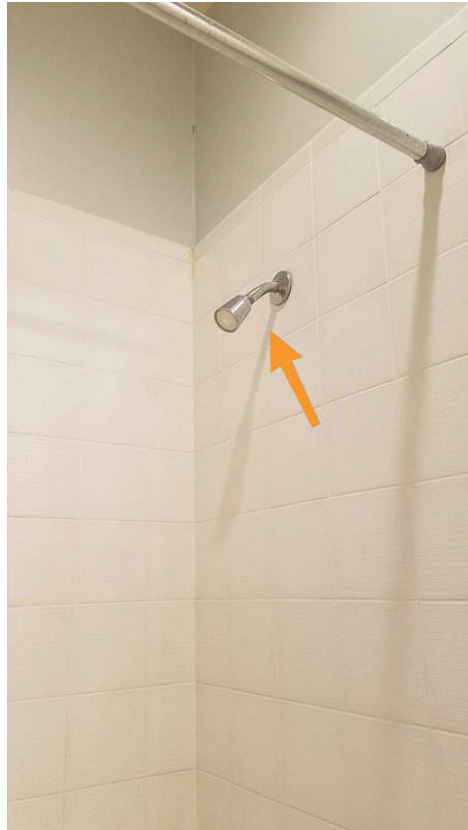
Upstairs Garage Apt.

SHOWER SPOUT LOOSE

UPSTAIRS BATHROOM LEFT



Shower spout is loose. Recommend a licensed plumber repair or replace as recommended.

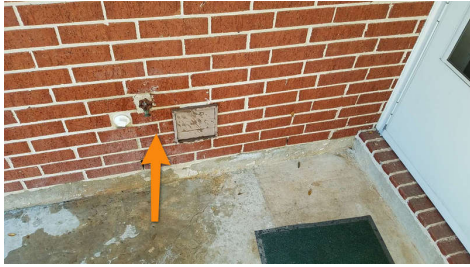


HOSE BIB PIPEING LOOSE

REAR



The hose bib is loose at the connection and does not have support for the piping inside the wall. Recommend repair by licensed plumber.



Rear



Rear



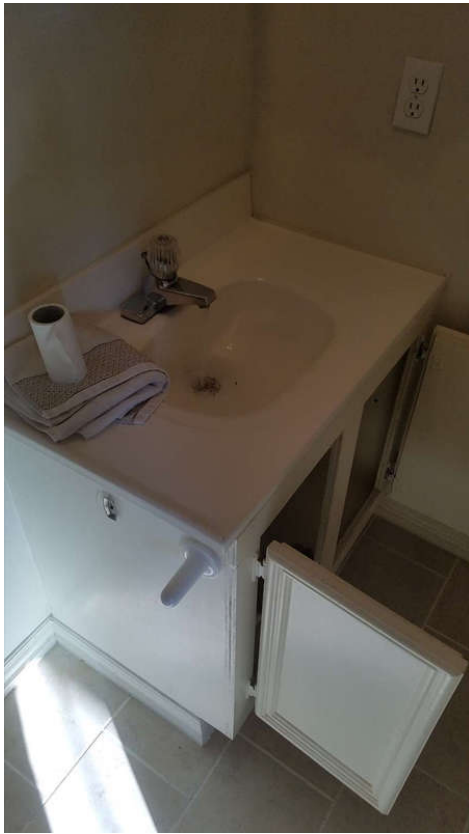
5.2.1 B. Drains, Wastes, & Vents

SLOW DRAIN = SINK

UPSTAIRS GARAGE APT.

The sink was observed to drain slowly, suggesting that an obstruction may exist.





Upstairs Garage apt



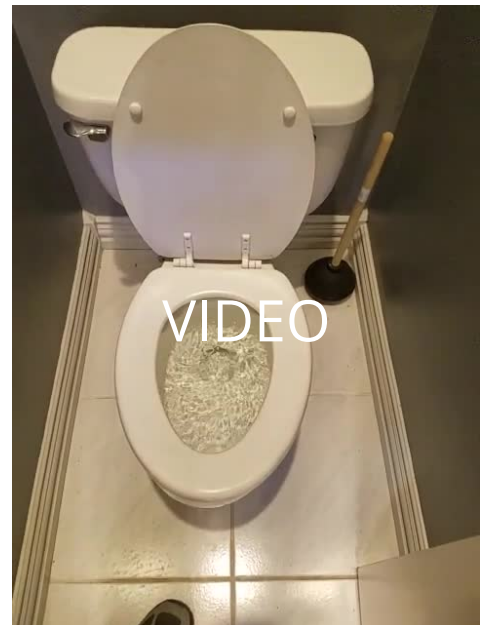
5.2.2 B. Drains, Wastes, & Vents

SLOW DRAIN = TOLIET

MASTER BATHROOM

A toilet was slow to drain.

 Deficiency



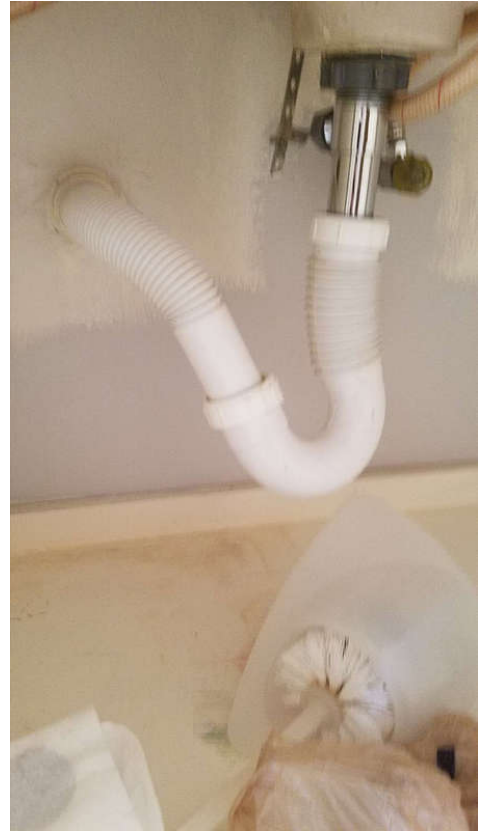
5.2.3 B. Drains, Wastes, & Vents

IMPROPER DRAIN/WASTE/VENT PIPES

UPSTAIRS GARAGE APT.

The home contained drain, waste or vent pipes of improper material which should be replaced with pipes of an approved material by a qualified plumbing contractor.

 Maintenance Item



Upstairs Garage apt

5.2.4 B. Drains, Wastes, & Vents

DRAIN STOP MISSING / DAMAGED / INOP

UPSTAIRS BATHROOM

The stopper is missing, damaged or not functioning properly.



5.2.5 B. Drains, Wastes, & Vents

PRIOR LEAK

UPSTAIRS BATHROOM LEFT

Previous water leaks were observed at and/or around the drain connections under the sink. This would indicate previous problems and should be closely monitored and corrected when necessary.





Upstairs Bathroom Left



Upstairs Bathroom Left

5.2.6 B. Drains, Wastes, & Vents

SHELF DAMAGE

BATHROOM

The shelf in the cabinet under the sink is damaged. This condition is likely due to a prior leak and should be monitored.



Maintenance Item

5.3.1 C. Water Heating Equipment

DISSIMILAR METALS

ATTIC

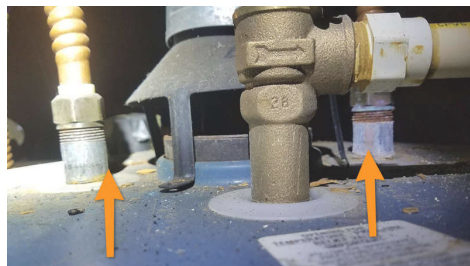
The fittings at the top of the water heater are made of dissimilar metals (galvanized steel connected to copper and/or brass). It is recommended to replace the galvanized steel fittings with brass or copper fittings or install a dielectric union between the two dissimilar metals to prevent electrolysis from occurring.



Deficiency



Attic



Attic

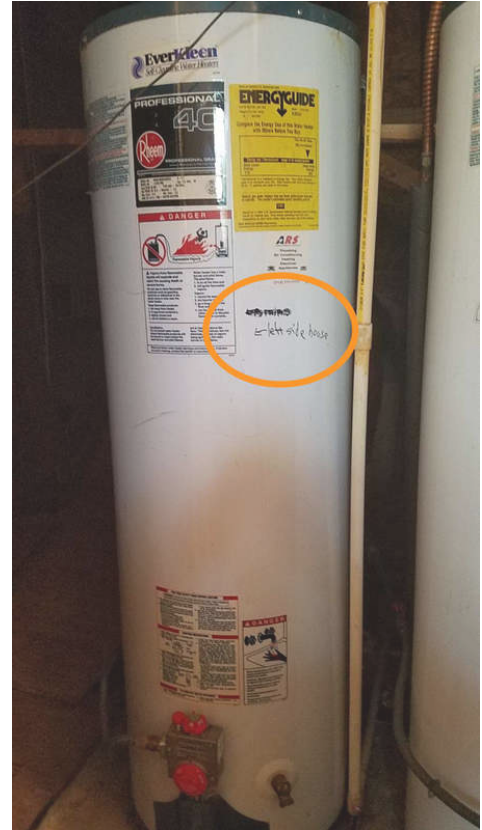
5.3.2 C. Water Heating Equipment

RUMBLING

ATTIC

The water heater is making a rumbling noise when operated. This is a good indicator that there is a lot of sediment in the bottom of the water heater tank. Cleaning and servicing is recommended.

Deficiency



5.3.3 C. Water Heating Equipment

SEDIMENT TRAP MISSING

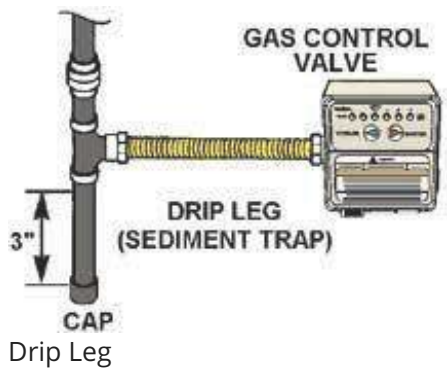
ATTIC

A sediment trap should be installed downstream of the equipment's shut-off valve as close to the inlet of the equipment/appliance as possible. Sediment traps (drip leg) are required by today's building standards.

Safety



Attic



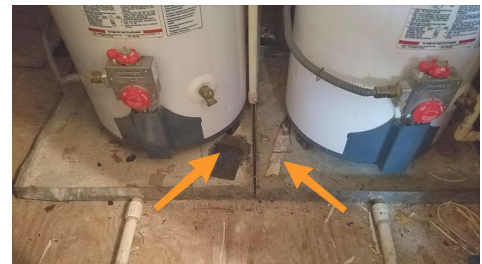
5.3.4 C. Water Heating Equipment

DEBRIS IN PAN

ATTIC

The debris in the water heater pan should be cleaned out to help prevent the pan drain line from being clogged.

Deficiency



Attic

5.3.5 C. Water Heating Equipment

PAN DAMAGED

ATTIC

The pan under the water heater was observed to be damaged and repairs are recommended.



Attic

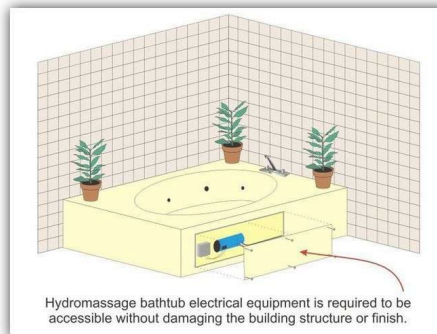
5.4.1 D. Hydro-Massage Therapy Equipment

NO ACCESS

MASTER BATHROOM

The access to the hydro-massage therapy equipment motor is not readily accessible and inspection of the equipment lines and motor could not be performed. This does not meet current installation standards.

This may be an as-built condition but Per TREC standards of practice we are required to report this condition as a deficiency.



Hydromassage bathtub electrical equipment is required to be accessible without damaging the building structure or finish.

5.4.2 D. Hydro-Massage Therapy Equipment

DAMAGED COMPONENT

MASTER BATHROOM

One or more of the hydro-massage therapy jets or covers has damaged and/or missing components.



6.1.1 A. Dishwashers

RUST

Some rusting of the dishwasher interior components was observed.



6.2.1 B. Food Waste Disposers

 Maintenance Item

OLDER

KITCHEN

It is the opinion of this Inspector, this component may be functioning as intended or in need of minor repairs, you should be aware that this is an older component and the future life expectancy cannot be determined. You can continue to use and service this component until replacement is necessary.

6.2.2 B. Food Waste Disposers

 Deficiency

LEAKS

KITCHEN

The food waste disposer is leaking water into the cabinet area. This condition should be further evaluated and corrected as necessary.



Kitchen

6.3.1 C. Range Hood and Exhaust Systems

 Maintenance Item

OLDER

KITCHEN

It is the opinion of this Inspector, this component may be functioning as intended or in need of minor repairs, you should be aware that this is an older component and the future life expectancy cannot be determined. You can continue to use and service this component until replacement is necessary.

6.4.1 D. Ranges, Cooktops, and Ovens



OLDER EQUIPMENT

It is the opinion of this Inspector, the range/oven component may be functioning as intended or in need of minor repairs, you should be aware that this is an older component and the future life expectancy cannot be determined. You can continue to use and service this component until replacement is necessary.

6.5.1 E. Microwave Ovens



OLDER

KITCHEN

It is the opinion of this Inspector, the microwave component may be functioning as intended or in need of minor repairs, you should be aware that this is an older component and the future life expectancy cannot be determined. You can continue to use and service this component until replacement is necessary.

6.7.1 G. Garage Door Operators



LATCH

GARAGE

When an automatic garage door opener is in use, the manual lock should be disabled or removed. Per TREC standards of practice we are required to report this condition as a deficiency.

6.7.2 G. Garage Door Operators



INOPERATIVE GARAGE DOOR OPENER

GARAGE RIGHT

The garage door opener is inoperative. The cause and remedy should be further evaluated and corrected as necessary.

6.7.3 G. Garage Door Operators



DOOR OPENER NOT OPERATING PROPERLY

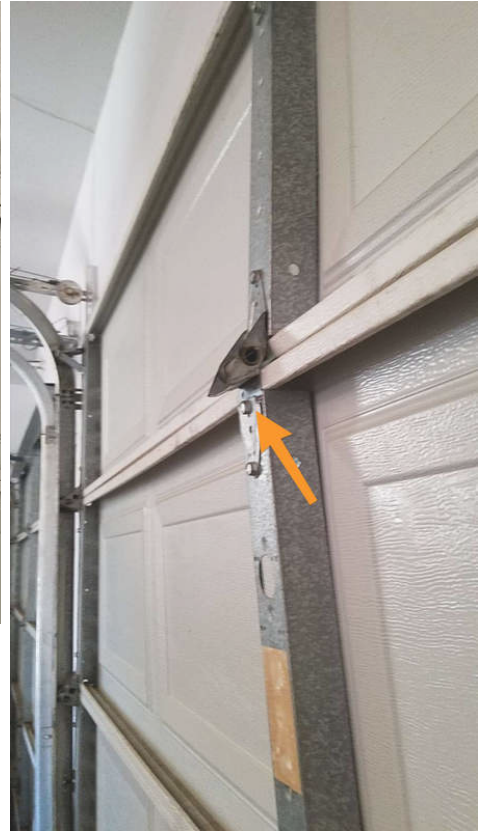
The garage door opener does not appear to be functioning properly when operated. The cause and remedy should be further evaluated and corrected as necessary.



Left



VIDEO



Left



Right

