



## SUMMARY

1234 Main St. Rossville GA 30741

Buyer Name  
03/29/2018 9:00AM

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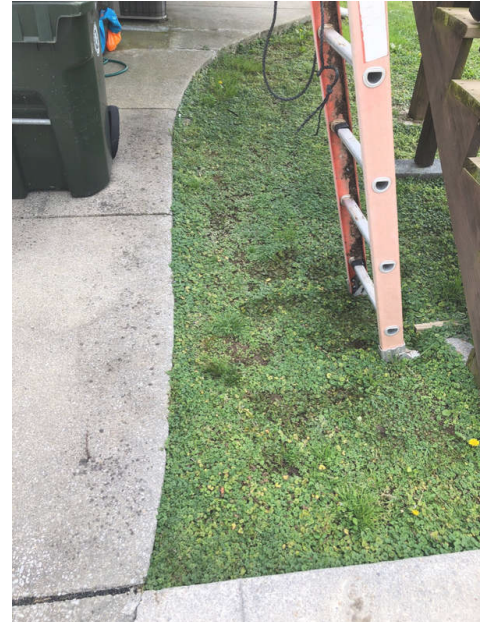


### 2.1.1 Grading

#### **NEGATIVE/NEUTRAL GRADING**

At time of inspection, the grade sloped towards the home in some areas. This could lead to water intrusion and foundation issues. Some areas had a neutral grade which can allow water to pool. Recommend qualified landscaper or foundation contractor regrade so water flows away from home.

[Here is a helpful article](#) discussing negative grading.

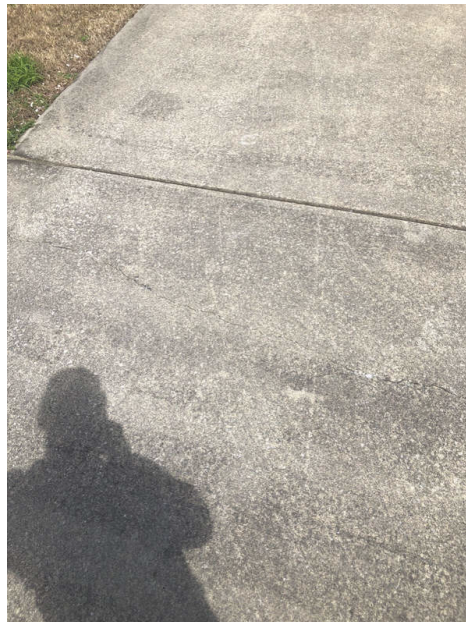


This isnt against foundation just a note that it was negative grade at time of inspection

### 2.2.1 Driveways and Walkways

#### **DRIVEWAY CRACKING - MINOR**

Minor cosmetic cracks were observed at time of inspection, which may indicate movement in the soil. Settling and shrinkage over time causes small cracks in concrete. I recommend a professional to evaluate and suggest repairs.



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### 2.2.2 Driveways and Walkways

#### **WALKWAY TRIP HAZARD**

At the time of the inspection, there was a trip hazard noticed. This should be evaluated by a professional for the material used such as asphalt, dirt, concrete, or gravel.



Grounding rod

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### 3.1.1 Roof Coverings

#### **DAMAGED COVERING**

Damaged and/or missing areas of the roof covering was noted at the time of the inspection. Roof covering should be evaluated and areas repaired and/or replaced by a licensed qualified roofing contractor to avoid damage to the underlying home structure from moisture intrusion.



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### 3.1.2 Roof Coverings

#### **IMPROPER/INCOMPLETE NAILING**

Roof coverings showed signs of improper installation and fastening. Nails that are exposed or not sealed can allow water intrusion. I recommend a qualified roofing contractor evaluate and repair.



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### 3.1.3 Roof Coverings

#### **SHINGLES MISSING**

Observed areas that appeared to be missing sufficient coverings. Recommend qualified roofing contractor evaluate & repair.



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### 3.1.4 Roof Coverings

#### **TEMPORARY/NON-PROFESSIONAL REPAIRS**

Previous repairs were noted on the roof covering at the time of inspection. The repairs appeared to be non professional and/or temporary. I recommend a qualified licensed roofing contractor to evaluate the repair and correct as needed.



### 3.2.1 Plumbing Vents

#### **PLUMBING VENT DAMAGE OR DEFICIENCY NOTED**

One or more plumbing vent(s) had deficiencies and/or damage noted at the time of inspection. Further evaluation is needed by a qualified roofing contractor. Repair or replace as needed.



Caulk



Caulk

### 3.5.1 Roof Drainage Systems

#### **DOWNSPOUTS DRAIN NEAR HOUSE**

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor adjust downspout extensions to drain at least 6 feet from the foundation.

[Here is a helpful DIY link](#) and video on draining water flow away from your house.



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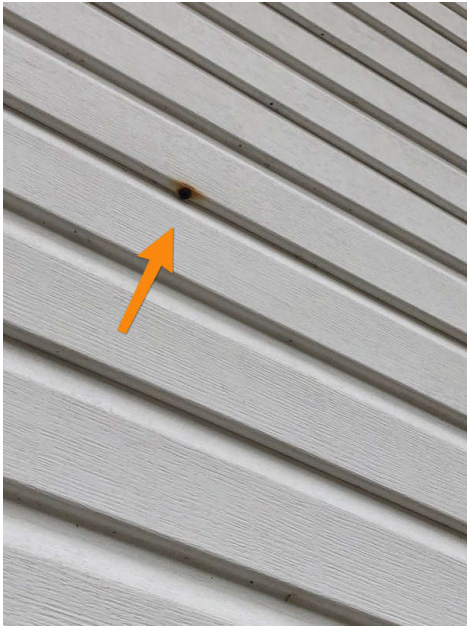
#### 4.1.1 Siding, Flashing & Trim

### **TEMPORARY/NON-PROFESSIONAL REPAIR**

At the time of inspection there were repairs made that were not to professional standards or temporary. I recommend having a qualified professional to evaluate and repair.

#### Recommendation

Contact a qualified professional.

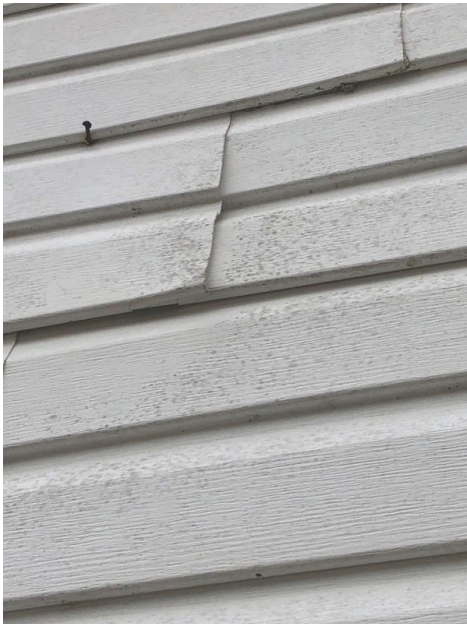


Non sealed screw exposed

#### 4.1.2 Siding, Flashing & Trim

### **WARPING/BUCKLING**

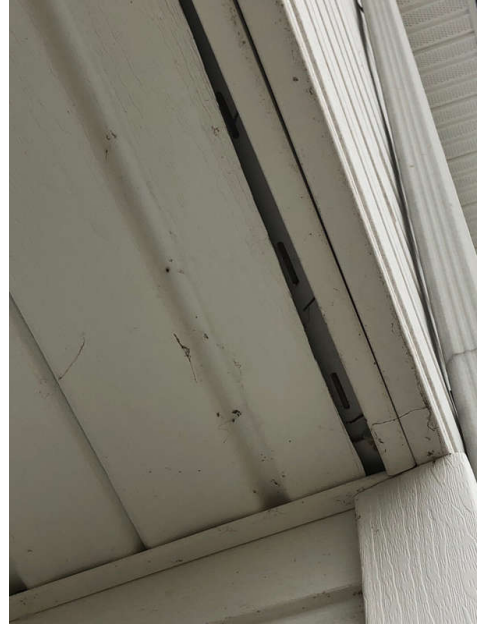
Vinyl siding was warping or buckling in areas. This is often as a result of nailing siding boards too tight to the home, preventing expansion/contraction. Recommend a qualified siding contractor evaluate and repair.



#### 4.2.1 Eaves, Soffits & Fascia

### **GAP**

There was an opening, gap or hole in fascia / soffit which should be repaired. This can allow water intrusion and rodent infestation as well as deterioration of the surrounding material. This should be repaired by a qualified roofing professional.



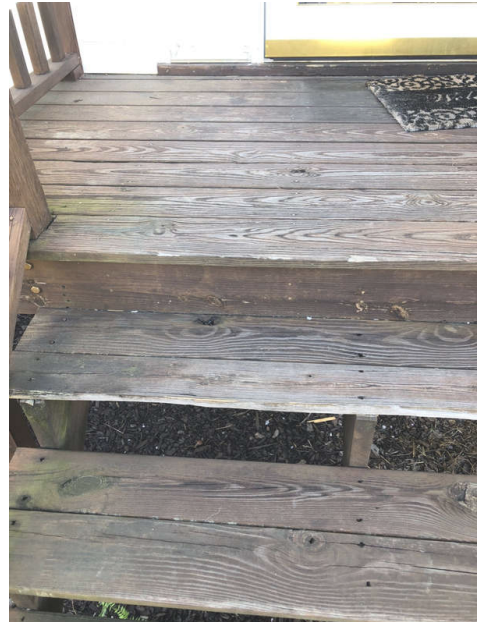
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#### 4.3.1 Porch

### **DECK - WATER SEALANT REQUIRED**

The porch was showing signs of weathering and/or water damage at the time of inspection. I recommend water sealant/weatherproofing be applied. Some clients prefer to do this themselves, but I recommend a qualified professional to repair.

[Here is a helpful article](#) on staining & sealing your deck.

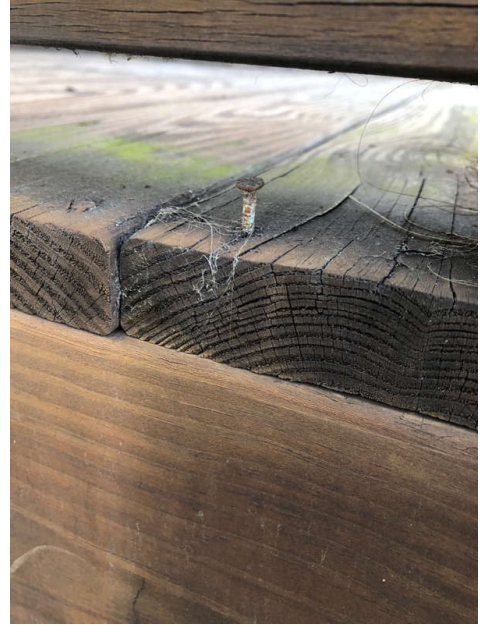


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#### 4.3.2 Porch

### **PORCH - NAILS EXPOSED**

At the time of inspection, one or more nails were observed to be exposed. These need to be set and some clients prefer to do this themselves. I recommend a qualified professional to repair.



#### 4.3.3 Porch

### STEPS - DETERIORATED



At the time of inspection, one or more steps were deteriorated. This could cause someone to fall or be injured. I recommend contact a qualified professional to repair.



#### 4.6.1 Windows (exterior)

### NO HEAD FLASHING/SEALANT

At the time of the inspection, the windows had no flashing installed above openings or no sealant had been applied. I recommend the application of an appropriate sealant such as a premium grade of exterior acrylic latex to help prevent moisture intrusion. Because sealants will eventually dry, shrink and crack, leaving the home exposed to possible moisture intrusion, you should examine sealed areas on an annual basis and re-apply sealant as necessary. I recommend having a qualified professional repair.





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#### 4.7.1 Exterior Outlets

### **DAMAGED OUTLET/COVER**



An exterior outlet/cover was damaged at the time of inspection. This is a safety hazard should be corrected by a qualified electrical contractor.



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#### 4.7.2 Exterior Outlets

### **EXPOSED WIRING**



At the time of inspection the wiring was exposed. This could be a safety issue. I recommend a qualified professional to repair.

#### Recommendation

Contact a qualified electrical contractor.



#### 4.7.3 Exterior Outlets

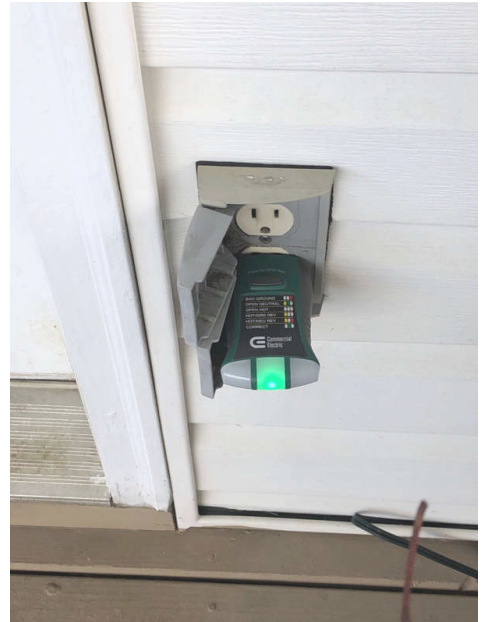
### **EXTERIOR OUTLET NOT GFCI PROTECTED**

 Safety Hazard

AT the time of inspection there was one or more exterior outlets not protected by a GFCI. I recommend a qualified professional to evaluate and repair.

#### Recommendation

Contact a qualified electrical contractor.



#### 4.8.1 Deck

### **DECK IN CONTACT WITH SOIL**

At the time of inspection, the deck framing was in contact with soil. This condition will result in damage from decay. Weakening of the support member can cause collapse if not repaired. I recommend contacting a qualified professional to repair.



#### 4.8.2 Deck

### FRAMING TWISTED/PULLING AWAY



At the time of inspection there were one or more board in the framing themat were twisted or pulling away. This could be a safety issue and contribute to the failing of the structure. I recommend a qualified professinal to evaluate and repair.

#### Recommendation

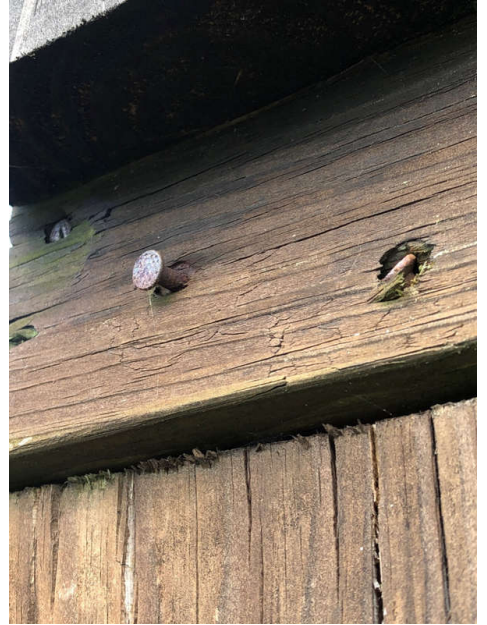
Contact a qualified professional.



#### 4.8.3 Deck

### DECK - NAILS EXPOSED

One or more nails were observed to be exposed. Recommend nails be reset.



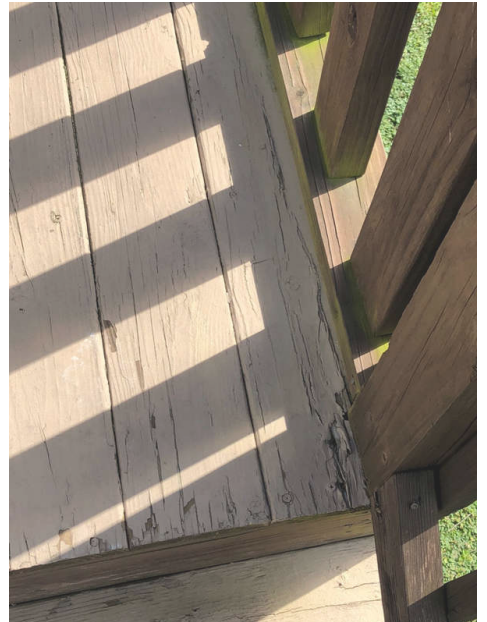
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#### 4.8.4 Deck

### **DECK - WATER SEALANT REQUIRED**

Deck is showing signs of weathering and/or water damage. Recommend water sealant/weatherproofing be applied.

[Here is a helpful article](#) on staining & sealing your deck.



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#### 4.8.5 Deck

### **STEPS - DETERIORATED**



At the time of inspection, one or more steps were deteriorated. This could cause someone to fall or be injured. I recommend contact a qualified professional to repair.



#### 4.8.6 Deck

### STEPS-HANDRAILS LOOSE



At the time of inspection, the handrails were loose. This could cause someone to pull the handrails away and cause the person to fall or be injured. I recommend contacting a qualified professional to correct or repair.



#### 4.9.1 Door Bell

### NO SOUND

At the time of inspection, the bell did not sound when the button was depressed. This could be a wiring issue or a broken door bell. I recommend a qualified professional to repair.

#### 6.1.1 Roof Structure

### WATER INTRUSION

At the time of inspection, there was water intrusion noted in the attic. This can be from poor sealed roof penetrations, missing/torn shingles, damage roof coverings, etc . Water intrusion can lead to mold and rot. Rot will compromise the structure's integrity. I recommend a qualified professional repair.

Recommendation

Contact a qualified roofing professional.



Around vent pipe

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7.3.1 Branch Wiring Circuits, Breakers & Fuses

### **IMPROPER WIRING**

At time of inspection there was deficient wiring noted. Connection and junctions were not in junction boxes. There were bare wire spots noted. I recommend contacting a qualified professional to repair.



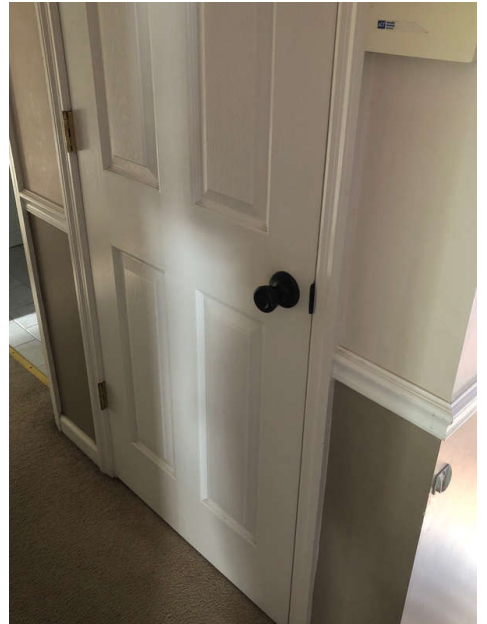
Wire taped off and in reach

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11.1.1 Doors

### **DOOR LATCH ALIGNMENT**

Door latch and/or strike plate is out of alignment. Recommend a handyman repair.



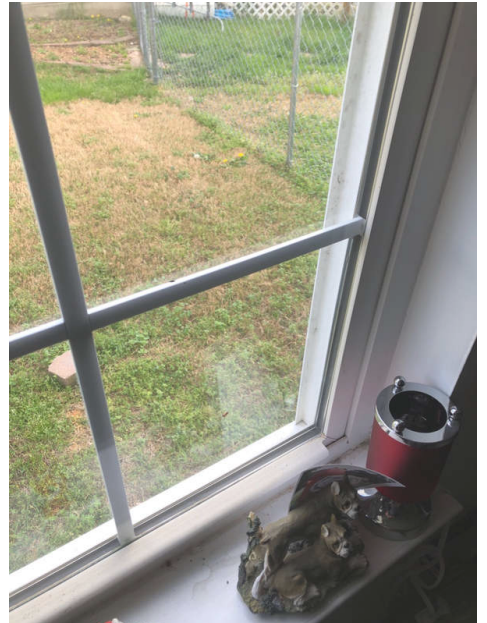
Hall closet

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#### 11.2.1 Windows

### **MISSING SCREEN**

Window missing screen. Recommend replacement.



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#### 13.6.1 Occupant Door (From garage to inside of home)

### **DOOR DOES NOT MEET SEPARATION REQUIREMENTS**

Door separating garage and home does not meet safety standards. Doors in firewalls must be at least 1 3/8-inch thick, metal/steel, or a 20-minute fire-rated door.

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#### 13.6.2 Occupant Door (From garage to inside of home)

### **NOT SELF-CLOSING**

Door from garage to home should have self-closing hinges to help prevent spread of a fire to living space. Recommend a qualified contractor install self-closing hinges.

[DIY Resource Link.](#)

