



**SUMMARY**  
1234 Main St. Merrimack NH 03054  
Buyer Name  
01/21/2019 9:00AM

Chris Caisse  
InterNACHI Certified...  
Platinum Home Inspections  
603.897.5495



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## YOUR REPORT:

Thank you for choosing Platinum Home Inspections (PHI) to inspect your new home! Please carefully read your entire Inspection Report. If you have any questions throughout the closing process don't hesitate to ask. **This report is based on an inspection of the visible portion of the structure at the time of the inspection with a focus on safety and function, not on current building or municipality codes.** Any and all evaluations or repairs made by PHI should be carried out prior to closing. We recommend that you and/or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property.

## INSPECTION CATEGORIES

- 1) Maintenance Items** - Primarily comprised of small cosmetic items and simple handyman or do-it-yourself maintenance items. These observations are more informational in nature and represent more of a future homeowner to-do list.
- 2) Recommendations** - Most items typically fall into this category. These observations are typical defects but are not necessarily urgent or safety related. Some may require a qualified contractor to evaluate further and repair or replace but the cost is somewhat reasonable.
- 3) Observations/Concerns** - This category is composed of immediate safety concerns or items that could represent a significant expense to repair or replace.

## KEYS TO THE HOME INSPECTION

The home inspection was performed in accordance with the InterNACHI Standard of Practice and Code of Ethics. These standards are included in the report under each section summary. An earnest effort was made on your behalf to discover all visible defects, however, in the event of an oversight, maximum liability must be limited to three times the price of the home inspection. This inspection is an evaluation of the condition of the home. Any areas that are not safe, readily accessible and/or visible to the inspector will not be included in the home inspection report. The home inspection is not intended as a substitute for a Seller's Disclosure. This home inspection is not a compliance inspection or certification of any kind. It simply is an inspection of the condition of the home at the time of the inspection. This inspection does not cover items or conditions that may be only discovered by invasive methods. No removal of materials or dismantling of systems shall be performed under this inspection. This is not a technically exhaustive inspection. The inspection report lists the systems and components inspected by Platinum Home Inspections, LLC. Items not found in

this report are considered beyond the scope of the inspection and should not be considered inspected at this time. This report contains technical information that may not be readily understandable to the lay person. Therefore, a verbal consultation with the inspector is a mandatory part of this inspection. If you choose not to consult with the inspector, Platinum Home Inspections, LLC cannot be held liable for your understanding or misunderstanding of this report's contents. If you were not present during this inspection, please contact me at (603-897-5495) to arrange for your verbal consultation.

### 2.1.1 Coverings

#### HEATING CABLE



Roof de-icing / heat cable was observed at the home. These heat cables were not inspected or tested for operation. It is unknown if these cables are operable, powered by a switch or are wired properly. Recommend to inspect these cables to understand how they operate and to ensure they are in proper working condition prior to first snowfall. Monitor as part of preventative maintenance to ensure satisfactory operation. De-icing / heat cables may have been installed as a result of a known ice-dam issue. For more information regarding ice-dams, read here.

#### Recommendation

Contact a qualified professional.



### 2.1.2 Coverings

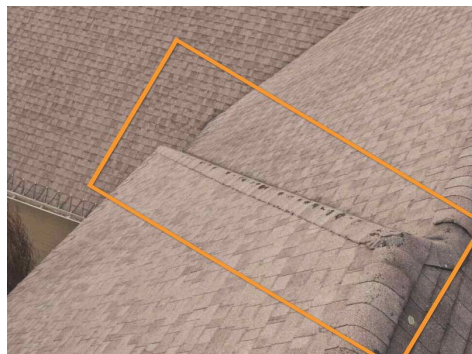
#### DAMAGED RIDGE CAP SHINGLES



Cap shingles/ridge vent shingles are damaged/aging. Cap shingles are shingles that cover areas where the roof changes direction, like at roof peaks and hips. Recommend roofing professional evaluate and repair as needed.

#### Recommendation

Contact a qualified roofing professional.



2.3.1 Flashings

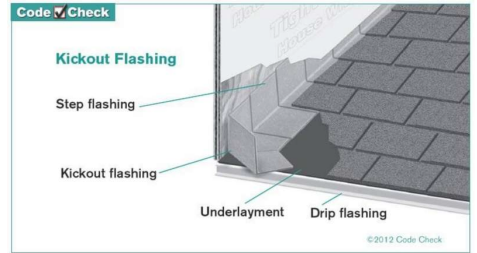
**MISSING KICK-OUT FLASHING**

Recommendation / Improvement

Kick-out flashing was missing where walls extended past roof edges.

Recommendation

Contact a qualified roofing professional.



Example

2.3.2 Flashings

**DWV PIPE FLASHING - MISSING COVER SHINGLE ON RIGHT SIDE**

Recommendation / Improvement

Drain, waste and vent pipe flashing should be covered on the back and sides by the shingles. Bottom edge/apron of the flashing should be the only exposed area. Recommend qualified roofing contractor rectify to prevent potential moisture intrusion.

Recommendation

Contact a qualified professional.



Example of properly flashed DWV Pipe.



2.4.1 Eaves, Soffits & Fascia

**PEELING PAINT**

Maintenance Item

Minor areas of peeling paint was observed on exterior surfaces, such as Siding, Trim, Fascia, Soffits, and Eve edges. Recommend qualified contractor to perform normal paint maintenance to prevent moisture damage to these areas.

Recommendation

Contact a qualified painter.



Front

#### 2.4.2 Eaves, Soffits & Fascia

### FASCIA - ROTTED

One or more sections of the fascia appear to be rotted. Listing agent explained that this damage is not rot, but caused by woodpeckers. Recommend qualified roofer evaluate & repair as needed.

Recommendation

Contact a qualified roofing professional.

 Recommendation / Improvement



#### 2.5.1 Skylights, Chimneys & Other Roof Penetrations

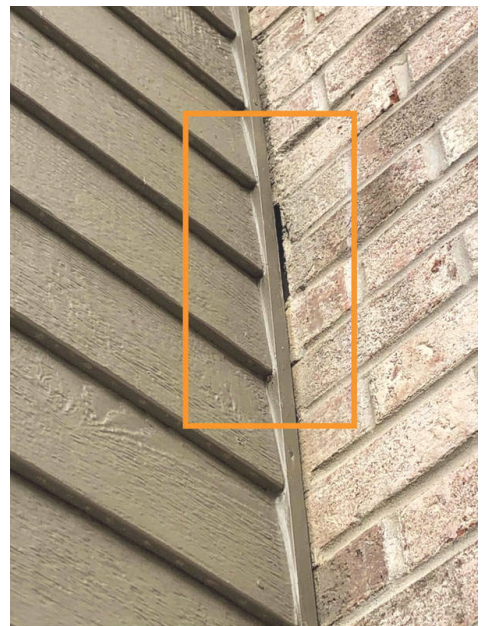
### GAP WHERE CHIMNEY MEETS SIDING

Observed a gap where the house siding meets the brick chimney. Recommend repointing/caulking to prevent moisture/insect intrusion.

Recommendation

Contact a qualified professional.

 Recommendation / Improvement



### CRICKET - MOSTLY OK

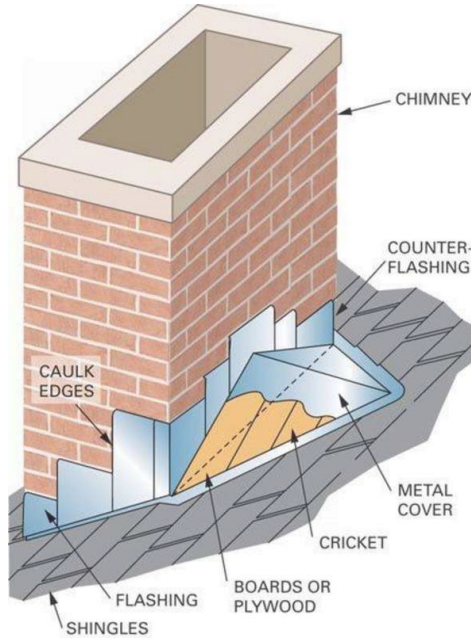
A cricket was installed to protect roofing near the chimney. A cricket is a small roof built on the uphill side of and abutting the chimney. Its purpose is to keep roof drainage from pooling on the uphill side of the chimney and eventually causing leakage. The Inspector observed few deficiencies in the condition of the cricket such as excessive caulking around the flashing as well as aging flashing. Recommend monitoring and have professional roofer repair as needed.

Recommendation

Contact a qualified roofing professional.



Example #1 of properly flashed cricket.



Example #2 of properly flashed cricket.



### ASPHALT DRIVEWAY - TYPICAL CRACKING

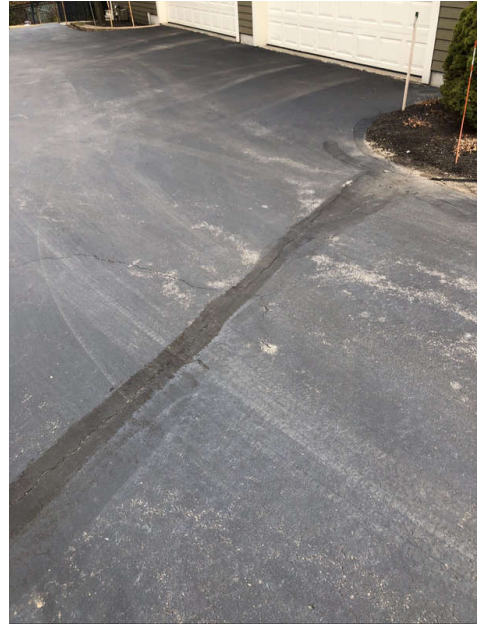
Asphalt driveway... this material has typical cracking which is normal for its age recommend seal coating as needed to prolong life expectancy.

Asphalt Seal Coating Information:

[Seal Coating Information](#)

Recommendation

Contact a qualified professional.



3.2.2 Walkways, Patios & Driveways

**WALKWAY TRIP HAZARD**

Trip hazards observed. Patch or repair recommended.

Recommendation  
Contact a qualified concrete contractor.

 Recommendation / Improvement



Pavers have sunk along stair tread

3.3.1 Decks, Balconies, Porches & Steps

**DECK (MOSTLY OK)**

 Maintenance Item

At the time of the inspection, the Inspector observed few deficiencies in the condition of this deck. Notable exceptions will be listed in this report. Inspection of decks typically includes visual examination of the following:

- foundation;
- general structure;
- stair components
- attachment to home;
- floor planking;
- guardrail assemblies; and
- stair components

Recommendation

Contact a qualified professional.

### 3.3.2 Decks, Balconies, Porches & Steps

#### **JOIST HANGERS - MISSING**



Recommendation / Improvement

Joist hanger(s) are missing or improperly installed. This could cause the deck structure to fail. Recommend that joist hangers be properly installed by qualified contractor.

Recommendation

Contact a qualified deck contractor.



### 3.3.3 Decks, Balconies, Porches & Steps

#### **LEDGER BOARD - NAILED ON, NO SCREWS OR BOLTS**



Recommendation / Improvement

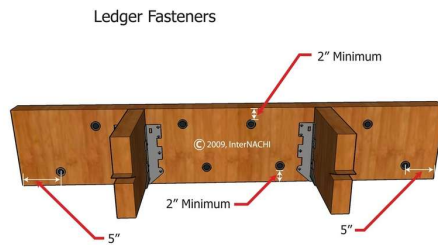
Ledger boards for one or more decks, balconies or porches appeared to be attached with nails only. This method of attachment is substandard and may result in such structures separating from the main building. This is a potential safety hazard. Modern standards call for ledger boards to be installed with 1/2 inch lag screws or bolts into solid backing, and brackets such as [Simpson Strong Tie DTT2 brackets and threaded rod](#), connecting interior and exterior joists. Recommend that a qualified contractor repair per standard building practices. For more information, visit:

[Ledger Boards](#)

[Safe Decks](#)

Recommendation

Contact a qualified deck contractor.



### 3.3.4 Decks, Balconies, Porches & Steps

#### **SUPPORT POSTS - MISSING ANCHORS**

Recommendation / Improvement

While the deck structure seems solid at the time of inspection the support posts are missing anchors. Recommended installing metal base anchors with 1/2" through bolts for added stability.

Recommendation

Contact a qualified deck contractor.



### 3.4.1 Vegetation, Grading, Drainage & Retaining Walls

#### **TREE OVERHANG**

Recommendation / Improvement

Trees observed overhanging the roof. This can cause damage to the roof and prevent proper drainage. Recommend a qualified tree service trim to allow for proper drainage.

Recommendation

Contact a qualified tree service company.





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### 3.4.2 Vegetation, Grading, Drainage & Retaining Walls

#### **VEGETATION ON HOME**

 Recommendation / Improvement

Vegetation growing on home, recommend removal to prevent possible moisture damage.

Recommendation

Contact a qualified landscaping contractor



#### 4.2.1 Floor **CRACKING**

 Recommendation / Improvement

Typical cracking/settlement observed in concrete. If trip hazards become present, recommend licensed contractor to repair to prevent injuries.

Recommendation  
Contact a qualified concrete contractor.



#### 4.3.1 Walls & Firewalls **DAMAGED DRYWALL**

 Recommendation / Improvement

Garage wall had damaged drywall. Recommend drywall contractor repair.

Recommendation  
Contact a qualified drywall contractor.



#### 4.3.2 Walls & Firewalls **CRACKING-MINOR**

Observed typical cracking in the drywall of the garage.

Recommendation  
Contact a qualified professional.

 Recommendation / Improvement



Corner bead pulling away

#### 4.5.1 Occupant Door (From garage to inside of home)

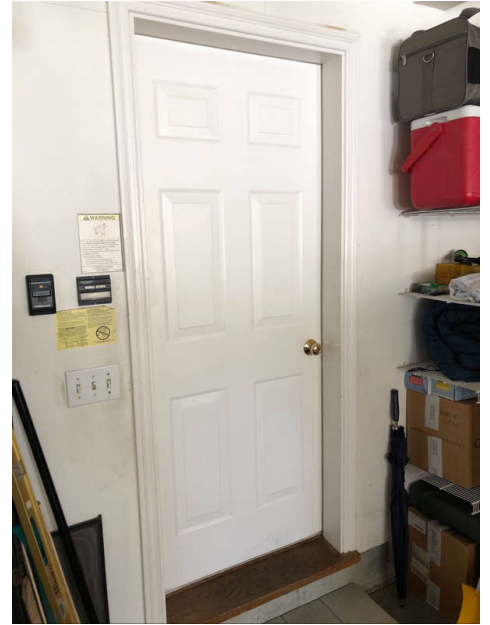
#### **NOT SELF-CLOSING**

Door from garage to home should have self-closing hinges to help prevent spread of a fire to living space. Recommend a qualified contractor install self-closing hinges.

[DIY Resource Link.](#)

Recommendation  
Contact a qualified door repair/installation contractor.

 Recommendation / Improvement



### 5.1.1 Siding, Flashing & Trim

#### **SIDING FLASHING & TRIM STATUS**



Siding, flashing and trim were observed to be fair condition at time of inspection. Normal maintenance may be necessary to prevent damage from occurring.

Recommendation  
Recommend monitoring.

### 5.1.2 Siding, Flashing & Trim

#### **WARPING/BUCKLING**



Clapboard siding had one area that is warping or buckling. As there is a vent directly to the right of the subject area this is most likely caused by excessive moisture venting to this area. There were no other signs of warping anywhere else on the exterior. Recommend a qualified siding contractor evaluate and repair.

Recommendation  
Contact a qualified siding specialist.



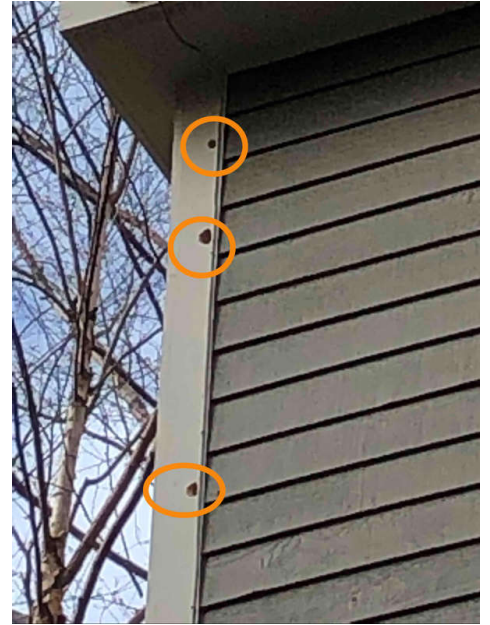
### 5.1.3 Siding, Flashing & Trim

#### **DAMAGE TRIM BOARD**



Observed a few holes in the right side trim. Recommend repairing to prevent moisture intrusion.

Recommendation  
Contact a qualified professional.



### 5.2.1 Exterior Windows

#### **PEELING PAINT**

 Maintenance Item

Exterior windows have painted components that are peeling, recommend qualified contractor to perform normal paint maintenance as needed to prevent potential damage.

Recommendation  
Contact a qualified painter.



### 5.5.1 Exterior foundation

#### **TYPICAL CRACKING**

 Recommendation / Improvement

Exterior foundation contains typical cracks due to shrinkage and normal freeze thaw cycle. Recommend patching as needed to prevent moisture intrusion.

Recommendation  
Contact a foundation contractor.



Left front, near elec meter

### 5.6.1 Exterior lighting and receptacles

#### **NO GFCI PROTECTION INSTALLED**



No GFCI protection present in all locations. Recommend licensed electrician upgrade by installing ground fault receptacles in all locations.

[Here is a link](#) to read about how GFCI receptacles keep you safe.

Recommendation

Contact a qualified electrical contractor.



Garage

### 6.2.1 Foundation

#### **FOUNDATION CRACKS - MINOR**



Minor cracking was noted at the foundation. This is common as concrete ages and shrinkage surface cracks are normal. Recommend monitoring for more serious shifting/displacement.

[Here is an informational article](#) on foundation cracks.

Recommendation

Contact a foundation contractor.



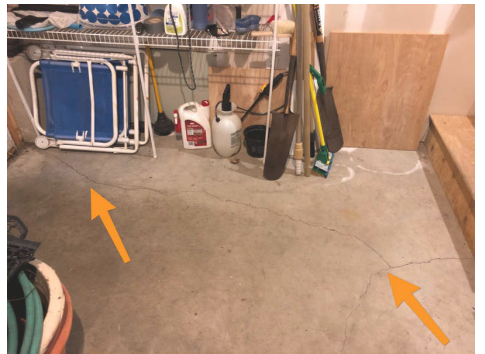
### 6.3.1 Floor & Ceiling Structure

#### **TYPICAL CRACKING**

Recommendation

Contact a qualified professional.

 Recommendation / Improvement



### 7.1.1 Heating Equipment

#### **NEEDS SERVICING/CLEANING (FURNACE)**

Furnaces should be cleaned and serviced annually. Recommend a qualified HVAC contractor clean, service and certify furnace.

[Here is a resource](#) on the importance of furnace maintenance.

Recommendation

Contact a qualified HVAC professional.

 Recommendation / Improvement

### 7.1.2 Heating Equipment

#### SEALED CHAMBER

 Maintenance Item

The furnace was a high-efficiency system and had a sealed combustion chamber which would require invasive measures which lie beyond the scope of the General Home Inspection to inspect. The Inspector recommends that an evaluation be performed by a qualified heating, ventilation and air-conditioning (HVAC) contractor.

#### Recommendation

Contact a qualified HVAC professional.



Unit B



Unit A

### 7.1.3 Heating Equipment

#### FILTER DIRTY

 Maintenance Item

The furnace filter is dirty and should to be replaced every 6 months.

#### Recommendation

Contact a qualified HVAC professional.



Unit B



Unit A



7.1.4 Heating Equipment

**MICROBIAL GROWTH IN CONDENSATE TUBE**

➔ Recommendation / Improvement

The condensation tube from the appeared to contain microbial growth. Some types of microbes can cause health problems in sensitive people. The Inspector recommends tube replacement by a qualified heating, ventilation and air-conditioning (HVAC) contractor.

Recommendation

Contact a qualified HVAC professional.



Unit B

7.2.1 Cooling Equipment

**VEGETATION TOO CLOSE**

➔ Recommendation / Improvement

Vegetation was too close to the compressor, which can limit heat dissipation and limit effectiveness. Recommend cutting back vegetation to avoid overheating compressor.

Recommendation

Contact a qualified landscaping contractor



7.2.2 Cooling Equipment

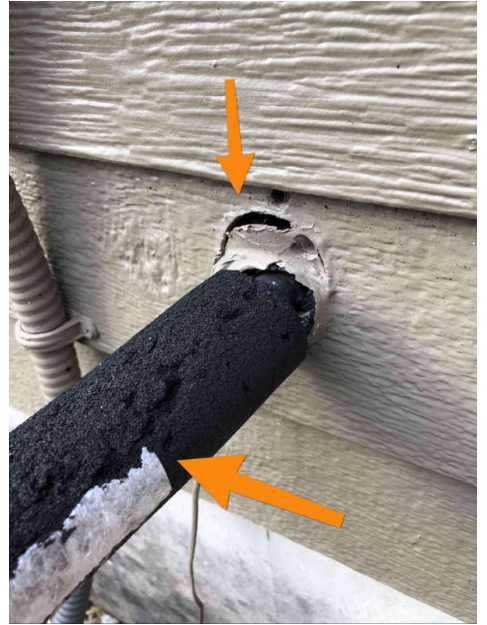
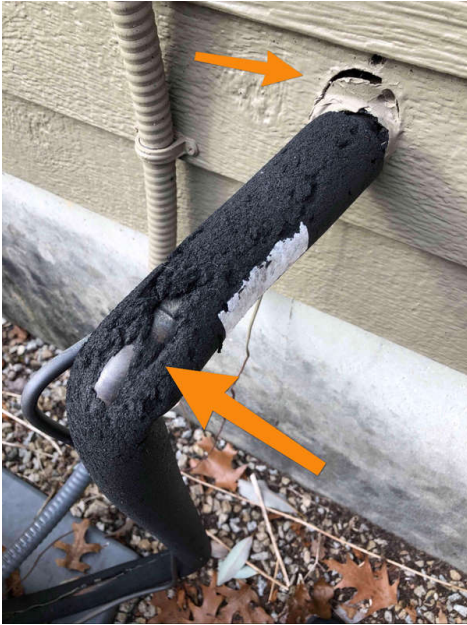
**DAMAGED / MISSING INSULATION**

➔ Recommendation / Improvement

Insulation on the A/C suction (large, insulated) line was damaged or missing at areas and should be replaced by a qualified HVAC contractor. Deteriorated penetrations should also be resealed.

Recommendation

Contact a qualified HVAC professional.



8.3.1 Electrical Fixtures,  
Switches and Receptacles

**CEILING FAN NOT  
OPERATIONAL**

Sunroom ceiling fan not operational recommend licensed contractor to further evaluate and repair as needed

Recommendation  
Contact a qualified professional.

 Recommendation / Improvement



Sunroom

10.4.1 Fixtures Installed

**WHIRLPOOL/JETTED TUB ACCESS PANEL**

Jetted tub does not have an access panel. Mechanical components are not visible do to this type of installation. Repairs of this area may be more costly without ready access to components.

Recommendation  
Contact a qualified professional.

 Recommendation / Improvement

11.3.1 Interior Floors

**CRACKED TILE**

Recommendation  
Contact a qualified professional.

 Recommendation / Improvement



Basement

### 11.5.1 Walls and Ceilings

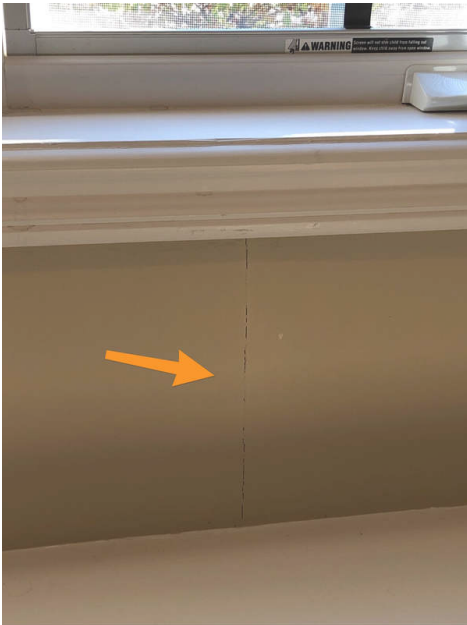
#### TYPICAL CRACKS OBSERVED

 Recommendation / Improvement

Typical cracks in drywall/plaster were observed. These cracks may develop due to normal aging of a home, minor settling, as well as moisture/temperature changes. Recommend repair as needed. No evidence of structural defect observed at time of inspection.

#### Recommendation

Contact a qualified drywall contractor.



Basement



Master Bedroom



### 13.1.1 Washer/Dryer

#### WASHER HOSES IMPROPER

 Maintenance Item

Current hoses are rubber. Recommend replacing with Stainless Steel Braided hoses as rubber can crack and burst.

Recommendation  
Contact a qualified professional.



15.3.1 Dishwasher  
**DISHWASHER NOT ATTACHED PROPERLY**

Dishwasher is not secured to cabinets or countertop above.

Recommendation  
Contact a qualified professional.

 Maintenance Item

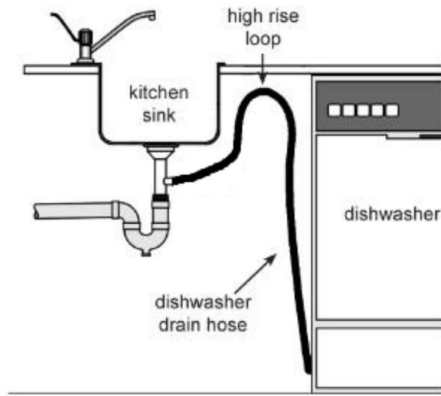


15.3.2 Dishwasher  
**HIGH LOOP NOT PRESENT**

The high loop is designed to prevent wastewater from contaminating the dishwasher. The drain for this DW runs straight along the bottom of the base cabinet then up into drain.

Recommendation  
Contact a qualified professional.

 Recommendation / Improvement



Proper High Loop

### 15.5.1 Central Vac

## CENTRAL VAC NOT INSPECTED



Since the inspection of the central vacuum is beyond the scope of this inspection, we recommend consulting the owner for more information and consulting a qualified professional for evaluation.

#### Recommendation

Contact a qualified professional.

### 16.1.1 Pull Down Ladder / Access Hatch

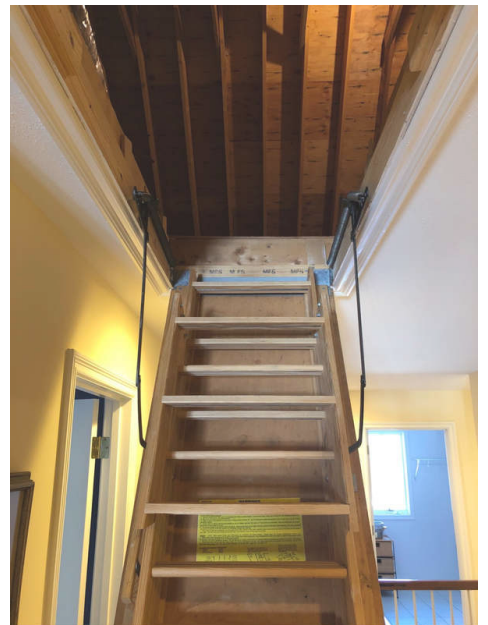
## INSULATE PULL DOWN ACCESS



Recommend insulating above the pull down attic access to prevent unwanted heat loss into the attic.

#### Recommendation

Contact a qualified professional.



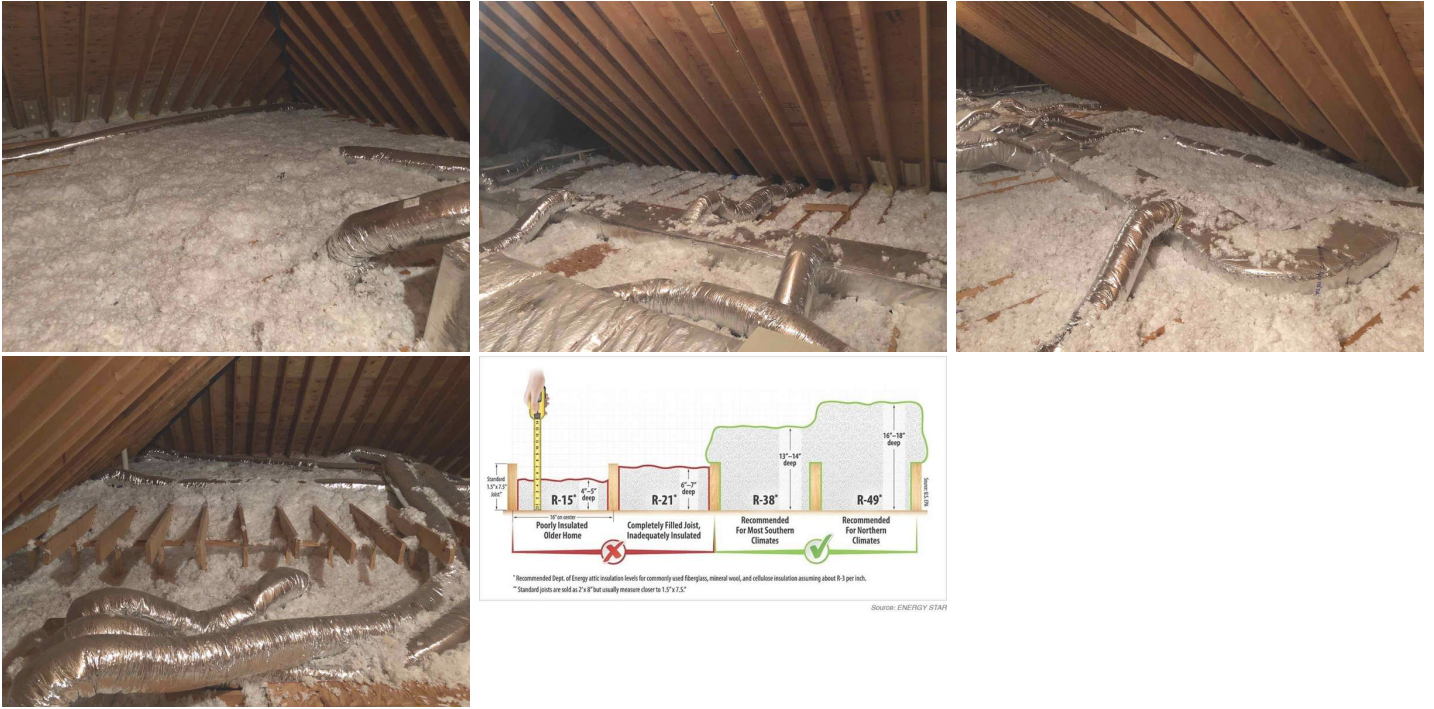
### 16.2.1 Attic Insulation

## INSUFFICIENT INSULATION



Insulation depth was inadequate. Recommend a qualified attic insulation contractor install additional insulation. An R rating of R-49 is the recommended insulation value for this climate region.

Recommendation  
Contact a qualified insulation contractor.



### 16.2.2 Attic Insulation

#### PEST

Recommendation / Improvement

Evidence of pest and / or rodent feces was observed in attic area, recommend licensed pest control contractor to evaluate and repair as needed.

Recommendation  
Contact a qualified pest control specialist.



### 16.3.1 Ventilation

#### EXHAUST DUCTS TO SOFFIT

Recommendation / Improvement

One or more exhaust fan ducts terminated at a soffit vent rather than at a dedicated hood or cap. Soffit vents are designed to allow cool air to be drawn into the attic, and to prevent excess moisture from accumulating in the attic. When such ducts are routed to terminate at soffit vents, the moist exhaust air may flow back into the attic and the soffit venting will be reduced. There were no signs of moisture in the attic at the time of inspection. Recommend that a qualified contractor repair per standard building practices. For example, by installing approved hoods or caps at the roof surface or exterior wall(s), and permanently securing exhaust ducts to them.

Recommendation

Contact a qualified professional.

