



2.1.1 Coverings

ORGANIC GROWTH - MOSS LICHENS



Roof shingles display organic growth, moss and lichen which can reduce roof life. Recommend a qualified roofing contractor evaluate and remedy with a roof cleaning or repair including metal roof strips. See link below:

Moss Removal

Recommendation

Contact a qualified roofing professional.

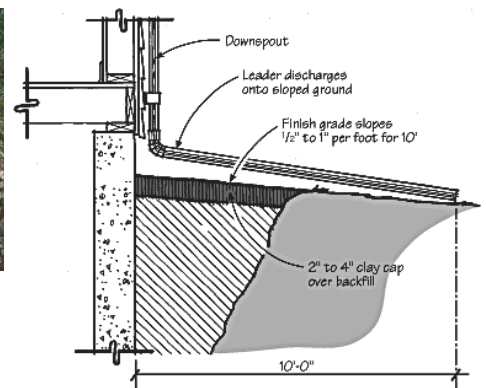


2.2.1 Roof Drainage Systems

DOWNSPOUTS DISCHARGE TOO CLOSE TO FOUNDATION



Recommend adding 6' downspout extensions to move roof water at least 6' away from foundation. This will aid in keeping water/moisture out of basement.



Proper Downspout Extensions

2.2.2 Roof Drainage Systems

DOWNSPOUTS DISCHARGE INTO IN-GROUND RECEPTORS



Monitor in-ground receptors as signs they are not taking water is present. Discharge on ground is better than backup.



2.2.3 Roof Drainage Systems
GUTTERS OVERFLOWING
FRONT LEFT

 Recommendation

Ensure gutters are clean and operational. Overflowing gutters cause damage to structure from splash-up and invite wood boring insects.



3.1.1 Siding, Flashing & Trim
DETERIORATED WOOD TRIM AND PRIOR REPAIRS

 Recommendation

Some deteriorated wood trim and/or siding noted. Keep all wood trim well painted. Recommend replacing all damaged wood trim with PVC type materials. Replace any heavily damaged siding.

Recommendation
Contact a qualified general contractor.



3.2.1 Exterior Doors and Windows

WATER DAMAGE TO WINDOW/DOOR TRIM/FRAME/SASHES



Water damage to door/frame/sashes noted. Recommend having contractor evaluate and repair or replace as needed. Damaged jambs/frames/sashes may require replacement.



3.2.2 Exterior Doors and Windows

WINDOW WELLS - MISSING



Window wells not present. Recommend installing window wells to protect basement windows and allow for proper grading.

Recommendation

Contact a qualified general contractor.



3.4.1 Decks, Balconies, Porches & Steps

PRIOR REPAIRS

Have contractor wash off mortar residue.

Recommendation

Contact a qualified professional.



Recommendation



3.5.1 Vegetation, Grading, Drainage & Retaining Walls

NEGATIVE GRADING

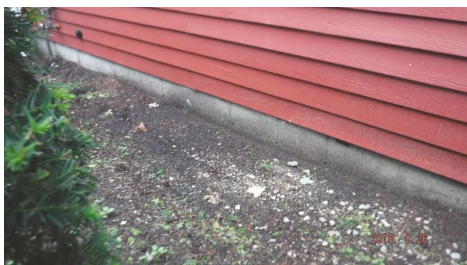
VARIOUS

Grading is sloping towards the home in some areas. This could lead to water intrusion and foundation issues. Recommend qualified landscaper or foundation contractor regrade so water flows away from home.

[Here is a helpful article](#) discussing negative grading.

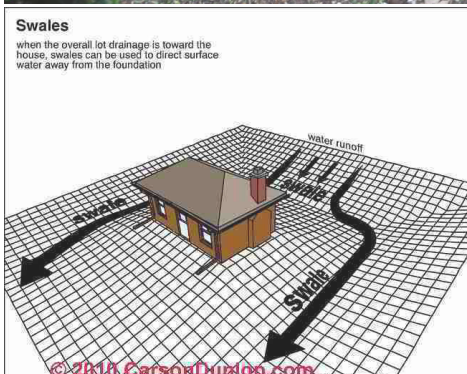


Recommendation



Swailes

when the overall lot drainage is toward the house, swailes can be used to direct surface water away from the foundation



4.2.1 Flame and Fume Retarding

VOIDS NOTED

LAUNDRY ROOM



Safety Concern/Immediate Attention

Ensure all walls attached to living spaces are fully covered with wall board and fire-tape to minimize/slow fume and flame spread to living space.



5.1.1 Foundation

FOUNDATION - MINOR CRACKS

 Recommendation

Minor shrinkage cracks noted at the foundation. This is common defect that occurs as concrete cures and shrinks. Recommend filling with hydraulic cement and monitor for any future movementd.

Recommendation

Contact a handyman or DIY project

5.2.1 Basement

ACTIVE WATER SEEPAGE

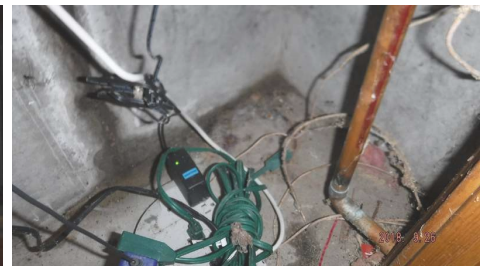
 Recommendation

BASEMENT FRONT LEFT

Ensure gutters and downspouts are working properly to bring roof water to the ground and move at least 6' away from foundation. Regrade exterior to create positive slope away from foundation for 6 plus feet.

Recommendation

Contact a qualified professional.



5.2.2 Basement

MOLD-LIKE GROWTH

 Safety Concern/Immediate Attention

Extensive mold-like growth noted throughout basement with recent unprofessional attempts at covering up several areas. Recommend having environmental specialist evaluate, remediate and provide all documentation. Abatement will most likely involve removal of walls and finishes in effected area. Risk of concealed damage.

Recommendation

Contact a qualified environmental contractor



6.2.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device

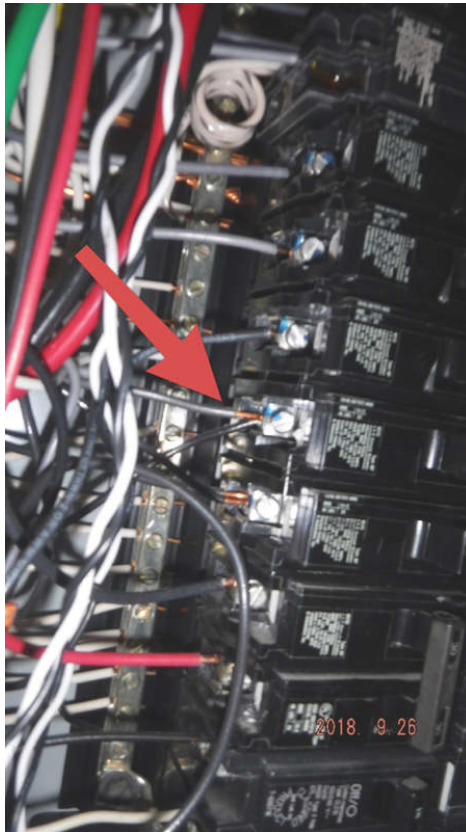
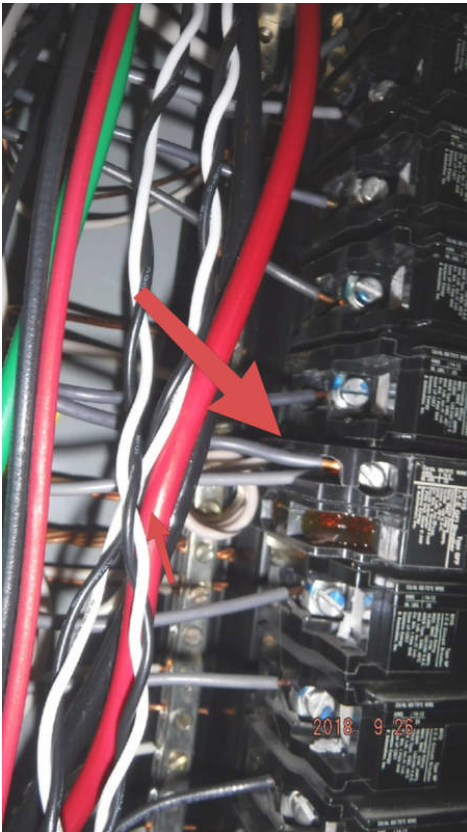
 Safety Concern/Immediate Attention

DOUBLE TAPPING

Double Tapping at Breakers noted. This breaker is not manufactured to accept multiple wires connected to one breaker. Have Lic Electrician remove all double tap conditions.

Recommendation

Contact a qualified electrical contractor.



6.2.2 Main & Subpanels, Service & Grounding, Main Overcurrent Device

 Recommendation

PANEL FULLY UTILIZED

Future electrical needs to require main panel replacement or additional sub panel. Have license electrician price panel replacement.

Recommendation

Contact a qualified electrical contractor.



6.4.1 Lighting Fixtures, Switches & Receptacles

COVER PLATES MISSING

One or more receptacles are missing a cover plate. This causes short and shock risk. Recommend installation of plates.



6.4.2 Lighting Fixtures, Switches & Receptacles

LIGHT FIXTURE BROKEN/DAMAGED/CORRODED

KITCHEN UNDERCABINET LUGHTS

Broken or damaged fixture. Have license electrician repair or replace.

Recommendation

Contact a qualified professional.



6.5.1 GFCI & AFCI

AFCI'S NOT PRESENT

AFCI's not present. Recommend upgrading circuit breakers to arc fault protected circuits.

[AFCI's](#)



Recommendation
Contact a qualified electrical contractor.

7.2.1 Water Supply, Distribution Systems & Fixtures

TOILET FLUSH LEAKING/NOT FUNCTIONING PROPERLY

Repair or replace.

Recommendation
Contact a qualified plumbing contractor.



Recommendation



7.5.1 Fuel Storage & Distribution Systems

OIL DRIPS ON FLOOR

Have oil delivery contractor evaluate fill pipes and reseal as necessary.

Recommendation
Contact a qualified professional.



Recommendation



8.1.1 Equipment - Hydronic

OIL BOILER - OUTDATED/MISSING SERVICE TAGS

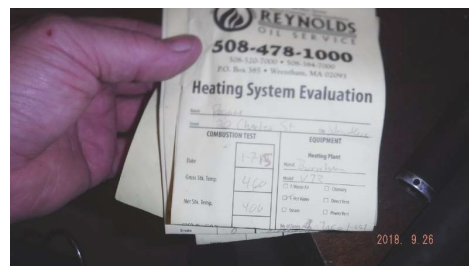
Oil Boiler with outdated /Missing service tags. Recommend having Oil Burner Technician service and evaluate boiler prior to use and annually thereafter.

[Beckett Servicing Information](#)

Recommendation
Contact a qualified heating and cooling contractor



Recommendation



8.1.2 Equipment - Hydronic

RUST AND CORROSION

Boiler has history of servicing yet boiler has excessive rust and corrosion at piping and components. Recommend having competent heating contractor fully evaluate and repair or replace any damage components.

Recommendation
Contact a qualified professional.



Recommendation



8.4.1 Vents, Flues & Chimneys
FLUE PIPE NOT SEALED PROPERLY
Recommendation
Contact a qualified heating and cooling contractor

 Safety Concern/Immediate Attention



10.4.1 Baths/Showers
FAUCET NOT FUNCTIONING/LEAKING/DAMAGED/LOOSE
2ND FLOOR BATHROOM
Have plumbing contractor repair or replace.
Recommendation
Contact a qualified plumbing contractor.

 Recommendation



10.6.1 Doors and Windows
WEATHERSTRIPPING MISSING/DAMAGED
REAR SUNROOM FRONT DOOR
Repair or replace to obtain tight seal at windows and doors.

 Recommendation



10.6.2 Doors and Windows

DOOR DAMAGE

Repair or replace.

Recommendation

Contact a qualified professional.

 Recommendation



10.7.1 Built-in appliances

**MICROWAVE NOT
FUNCTIONING/DAMAGED**

 Recommendation

Microwave appears to have power to Unit but not functioning. Have appliance repair person repair or replace.

Recommendation

Contact a qualified professional.



11.2.1 Insulation

INSULATION LESS THAN TODAY'S STANDARDS



Recommendation

Insulation depth was inadequate. Recommend a qualified insulation contractor install additional insulation. Contact MassSave for energy audit.

Recommendation

Contact a qualified insulation contractor.

11.4.1 Exhaust Systems

BATHROOM FAN DISCHARGING IN ATTIC



Recommendation

This can lead to high levels of moisture and associated mold growth. Have contractor properly terminate all exhaust fans at exterior of building.

Recommendation

Contact a qualified general contractor.



11.4.2 Exhaust Systems

NOISY FAN



Recommendation

Replace may be needed.

Recommendation

Contact a qualified electrical contractor.

