



SUMMARY
1234 Main St. Merrimack NH 03054
Buyer Name
07/12/2019 9:00AM

Chris Caisse
InterNACHI Certified Professional
Inspector
Platinum Home Inspections
603-897-5495



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YOUR REPORT:

Thank you for choosing Platinum Home Inspections (PHI) to inspect your new home! Please carefully read your entire Inspection Report. If you have any questions throughout the closing process don't hesitate to ask. **This report is based on an inspection of the visible portion of the structure at the time of the inspection with a focus on safety and function, not on current building or municipality codes.** Any and all evaluations or repairs made by PHI should be carried out prior to closing. We recommend that you and/or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property.

INSPECTION CATEGORIES

1) Minor, Maintenance & Informational Items - Primarily comprised of small cosmetic items and simple handyman or do-it-yourself maintenance items. These observations are more informational in nature and represent more of a future homeowner to-do list.

2) Recommendations/Needs Improvement - Most items typically fall into this category. These observations are typical defects but are not necessarily urgent or safety related. Some may require a qualified contractor to evaluate further and repair or replace but the cost is somewhat reasonable.

3) Observations/Concerns - This category is composed of immediate safety concerns or items that could represent a significant expense to repair or replace.

KEYS TO THE HOME INSPECTION

The home inspection was performed in accordance with the InterNACHI Standard of Practice and Code of Ethics. These standards are included in the report under each section summary. An earnest effort was made on your behalf to discover all visible defects, however, in the event of an oversight, maximum liability must be limited to three times the price of the home inspection. This inspection is an evaluation of the condition of the home. Any areas that are not safe, readily accessible and/or visible to the inspector will not be included in the home inspection report. The home inspection is not intended as a substitute for a Seller's Disclosure. This home inspection is not a compliance inspection or certification of any kind. It simply is an inspection of the condition of the home at the time of the inspection. This inspection does not cover items or conditions that may be only discovered by invasive methods. No removal of materials or dismantling of systems shall be performed under this inspection. This is not a technically exhaustive inspection.

The inspection report lists the systems and components inspected by Platinum Home Inspections, LLC. Items not found in this report are considered beyond the scope of the inspection and should not be considered inspected at this time. This report contains technical information that may not be readily understandable to the lay person. Therefore, a verbal consultation with the inspector is a mandatory part of this inspection. If you choose not to consult with the inspector, Platinum Home Inspections, LLC cannot be held liable for your understanding or misunderstanding of this report's contents. If you were not present during this inspection, please contact me at (603-897-5495) to arrange for your verbal consultation.

2.1.1 Coverings

DAMAGED RIDGE CAP SHINGLES

ABOVE PORCH

Cap shingles/ridge vent shingles are damaged/aging. Cap shingles are shingles that cover areas where the roof changes direction, like at roof peaks and hips. Recommend roofing professional evaluate and repair as needed.

Recommendation

Contact a qualified roofing professional.



Recommendation / Needed Improvement



2.2.1 Roof Drainage Systems

GUTTERS MISSING

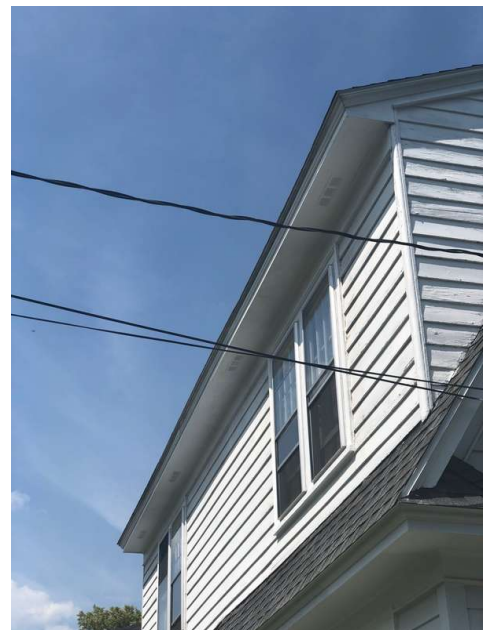
There are no gutters present on the structure. Gutters are recommended because they collect rain water from the roof and direct it away from the building.

Recommendation

Contact a qualified gutter contractor



Recommendation / Needed Improvement



3.1.1 Walkways, Patios & Driveways

ASPHALT DRIVEWAY - TYPICAL CRACKING



Minor / Maintenance / Informational

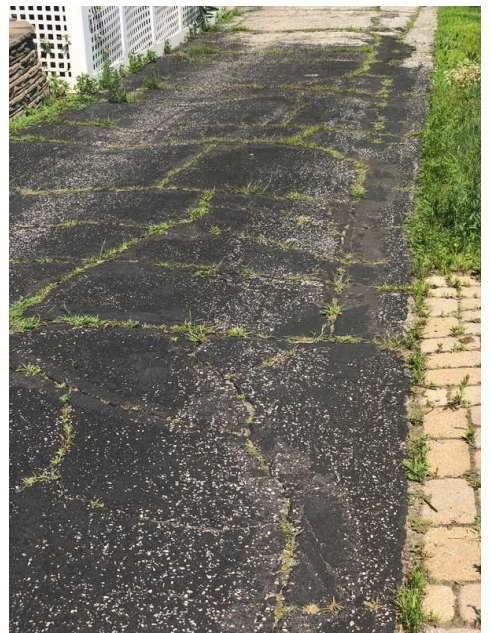
Asphalt driveway... this material has typical cracking which is normal for its age recommend seal coating as needed to prolong life expectancy.

Asphalt Seal Coating Information:

Seal Coating Information

Recommendation

Recommend monitoring.



3.1.2 Walkways, Patios & Driveways

DRIVEWAY CRACKING/SETTLEMENT - MAJOR

Recommendation / Needed Improvement

Major cracks and settling observed. Recommend qualified professional evaluate and repair as needed to prolong the life of the driveway.

Recommendation

Contact a qualified professional.



3.1.3 Walkways, Patios & Driveways

Minor / Maintenance / Informational

WALKWAY CRACKING - MINOR

Minor cosmetic cracks observed. Recommend monitor and/or patch/seal.

Recommendation

Recommend monitoring.



3.2.1 Decks, Balconies, Porches & Steps

IMPROPER DECK CONSTRUCTION PRACTICES

 Observation / Concern

Recommend qualified deck contractor evaluate. These construction practices may have been normal at time of original construction, but do not meet current safety standards. Issues of note are not joist or stair stringer hangers present, loosely nailed stairs, stair supports move freely, peeling paint, cracked/weathered boards that need replacing, loose guardrails, improper supports and more.

Recommendation

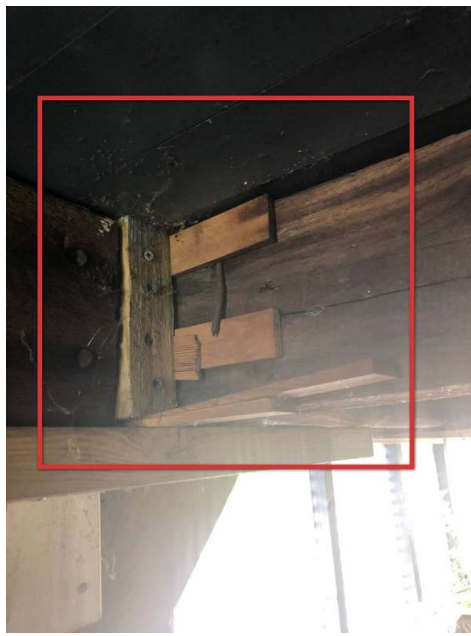
Contact a qualified deck contractor.



Rot



Improper Supports



3.2.2 Decks, Balconies, Porches & Steps

FRONT STOOP DAMAGE

 Recommendation / Needed Improvement

Entryway stoop concrete is damaged recommend licensed contractor to repair/replace

Recommendation

Contact a qualified concrete contractor.



4.2.1 Siding, Trim, Fascia, Soffit, Eaves

PEELING PAINT / DAMAGED SIDING

 Recommendation / Needed Improvement

Peeling paint along with damaged areas was observed on exterior surfaces, such as Siding, Trim, Fascia, Soffits, and Eave edges. Recommend qualified contractor to perform normal paint maintenance to prevent moisture damage to these areas.

Not all areas are photographed.

Recommendation

Contact a qualified painting contractor.



4.4.1 Floor
SETTLING/CRACKING

 Recommendation / Needed Improvement

Garage floor shows signs of settling in the soil beneath the slab.

Recommendation

Contact a qualified concrete contractor.



4.5.1 Walls, Ceiling & Firewalls

FOUNDATION CRACKING-MINOR

 Recommendation / Needed Improvement

Observed a crack(s) in the foundation wall of the garage. There were no signs of moisture intrusion at the time of inspection.

Recommendation

Recommend monitoring.



4.6.1 Garage Electrical

 Recommendation / Needed Improvement

OUTLETS OKAY, NO GFCI PROTECTION

At the time of the inspection, the Inspector observed no deficiencies in the condition of electrical receptacles in the garage, but receptacles in the garage had no ground fault circuit interrupter (GFCI) protection. Although this condition may have been commonly considered safe or acceptable at the time the home was originally constructed, as general knowledge of safe building practices has improved with the passage of time, building standards have changed to reflect current understanding. Consider having GFCI protection installed as a safety precaution. This can be achieved by: 1. Replacing the current standard receptacles with GFCI outlets 2. In the garage circuit, replacing the receptacle nearest the main electrical service panel with a GFCI outlet. 3. Replacing the breakers currently protecting garage electrical circuits with GFCI breakers.

Recommendation

Contact a qualified professional.



5.1.1 Siding, Flashing & Trim

PEELING/WEATHERED PAINT & ROTTING/DAMAGE

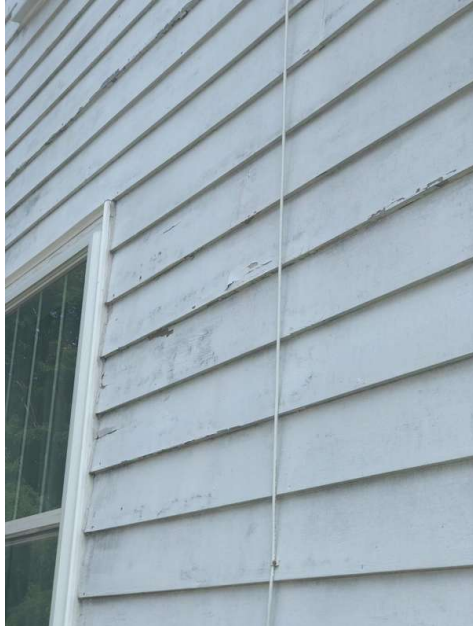
 Recommendation / Needed Improvement

Peeling paint along with areas of minor rotting and damage was observed on exterior surfaces, such as Siding, Trim, Fascia, Soffits, and Eave edges. Recommend qualified contractor to perform normal paint maintenance to prevent moisture damage to these areas.

Not all areas are photographed.

Recommendation

Contact a qualified painting contractor.





5.2.1 Exterior Windows

PEELING PAINT

 Recommendation / Needed Improvement

Exterior windows have painted components that are peeling, recommend qualified contractor to perform normal paint maintenance as needed to prevent potential damage.

Recommendation

Contact a qualified painting contractor.



5.4.1 Basement windows

➔ Recommendation / Needed Improvement

PEELING PAINT

Exterior windows have painted components that are peeling, recommend qualified contractor to perform normal paint maintenance as needed to prevent potential damage.

Not all areas are photographed.

Recommendation

Contact a qualified painting contractor.



5.5.1 Exterior foundation

➔ Recommendation / Needed Improvement

MINOR DAMAGE

FRONT RIGHT SIDE

Concrete foundation block has minor damage recommend licensed foundation contractor to repair

Recommendation

Contact a foundation contractor.



5.5.2 Exterior foundation

PARGING

Recommendation / Needed Improvement

Evidence of Parging was observed. Recommend monitoring for changes in condition.

A **parge coat** is a thin coat of a **cementitious** or polymeric **mortar** applied to concrete or masonry for refinement of the surface.

Parging is usually applied with a trowel and pressed into the existing surface. The intent is to create a contiguous surface by filling surface air voids.

Parging is a low-cost alternative to **repointing**, providing structural cohesiveness to masonry walls whose mortar has begun to fail.

Recommendation
Recommend monitoring.



6.2.1 Foundation

PARGING APPLIED

Recommendation / Needed Improvement

Parging has been applied to interior foundation surface. This is a common repair that shows evidence of moisture intrusion. Recommend licensed foundation contractor to further evaluate and repair as needed to prevent moisture damage.

Recommendation
Recommend monitoring.



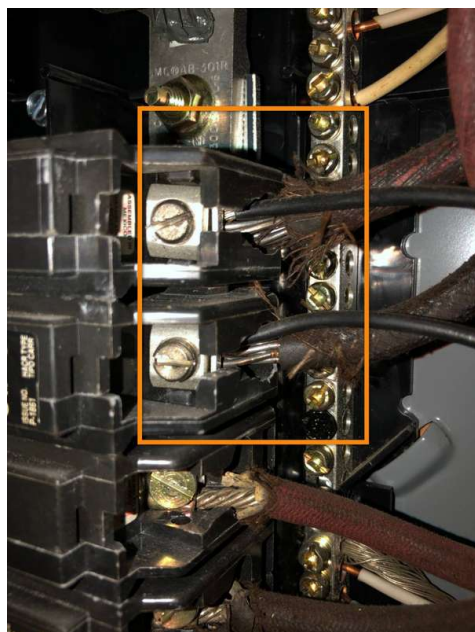
7.1.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device

Recommendation / Needed Improvement

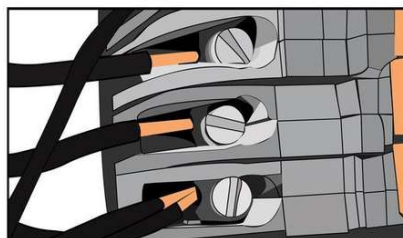
DOUBLE TAPS

In the service panel, two wires were connected to a circuit breaker designed for only one wire. This is known as a "double-tap" and is a defective condition that should be corrected by a qualified electrical contractor.

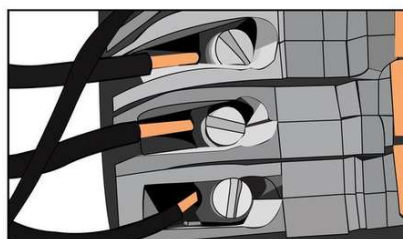
Recommendation
Contact a qualified electrical contractor.



Double-Tapped Breakers



Don't



Do

© InterNACHI

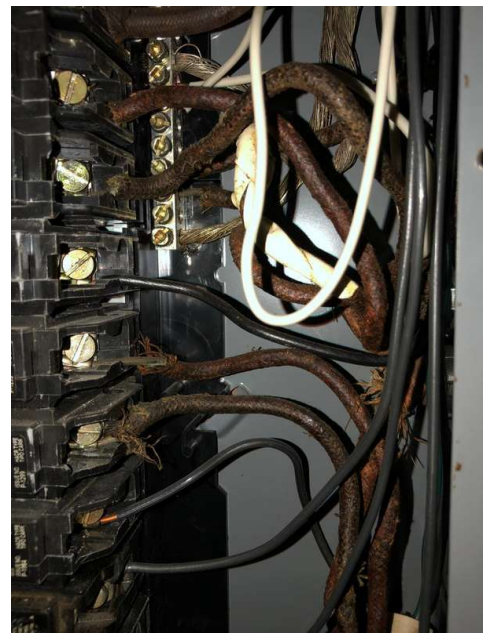
7.2.1 Branch Wiring Circuits, Breakers & Fuses

Observation / Concern

CLOTH COVERED WIRING

There is visible cloth wiring in the main panel being used as branch wiring. There is a rubber coating below the cloth on the wiring, the rubber coating deteriorates and cracks as the wires age. This can lead to electrical shorts. Recommend to have any cloth wiring replaced with modern wires.

Recommendation
Contact a qualified electrical contractor.



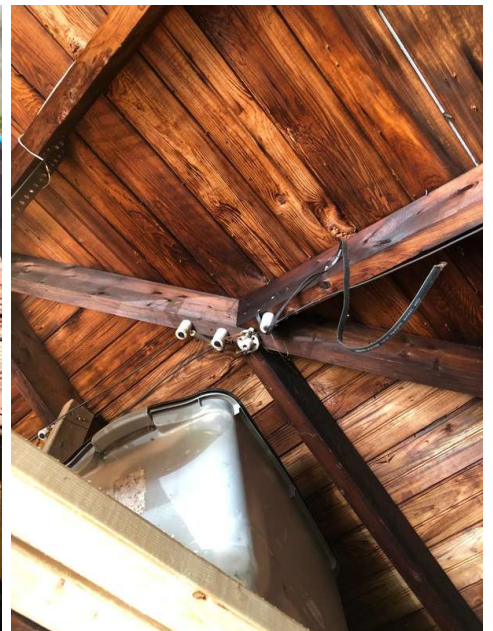
7.2.2 Branch Wiring Circuits, Breakers & Fuses

KNOB AND TUBE WIRING

This home and garage was originally wired using Knob and Tube wiring. This older wiring can become a safety hazard and is recommended to be replaced or repaired to prevent possible injury. Recommend licensed electrician evaluate further and removed as needed.

Recommendation
Contact a qualified electrical contractor.

 Observation / Concern





7.2.3 Branch Wiring
Circuits, Breakers &
Fuses

Recommendation / Needed Improvement

ABANDONED WIRING - EVALUATE

BASEMENT

Miscellaneous abandoned wiring visible in the basement should be evaluated by a qualified electrical contractor to determine whether any wiring is still energized. Improperly terminated, energized wiring is a shock/electrocution hazard.

Recommendation

Contact a qualified electrical contractor.



Near panel

7.3.1 Electrical Fixtures, Switches and Receptacles

INCANDESCENT LIGHT IN CLOSET

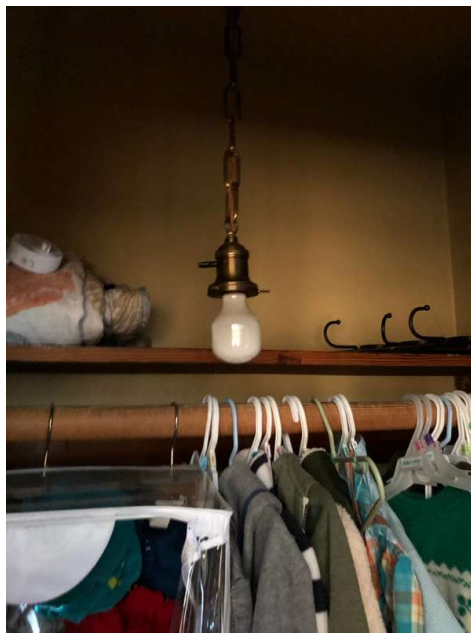
Recommendation / Needed Improvement

BEDROOM CLOSETS

Exposed incandescent light bulbs are no longer permitted inside a closet space. Closet light should only be recessed light or surface mount fixture. Recommend licensed electrician evaluate and repair as needed. Not all closets are photographed.

Recommendation

Contact a qualified electrical contractor.



7.3.2 Electrical Fixtures, Switches and Receptacles

OPEN GROUND

2ND FLOOR & BASEMENT

 Observation / Concern

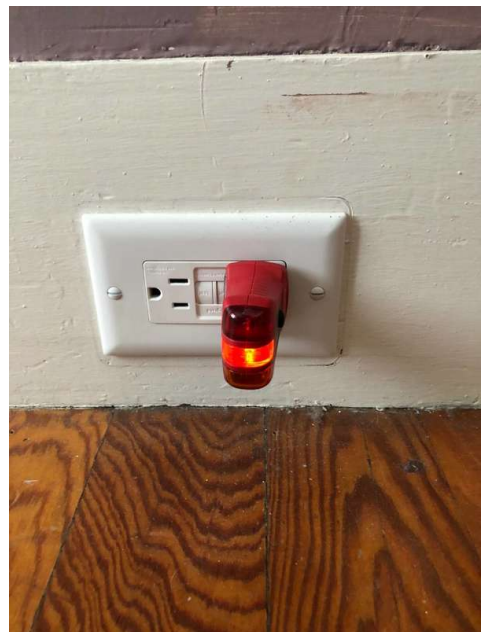
One or more receptacles are ungrounded. An open ground means that a missing grounding conductor or unconnected grounding conductor at the receptacle, or one is missing at an upstream receptacle. To eliminate safety hazards, all 3 prong outlets should be grounded. Where grounding is not possible (no ground wire present), a 2 prong receptacle or GFCI protected receptacle can be installed. Many of the receptacles in these areas have GFCI receptacles in place.

Note: GFCI protection of an ungrounded 3 prong outlet will not protect electronics. A physical ground system is required to protect electronics or allow surge protectors to function properly. Have a licensed electrician evaluate further and repair as necessary for safest operation.

Not all areas are photographed.

Recommendation

Contact a qualified electrical contractor.





8.1.1 Heating Equipment

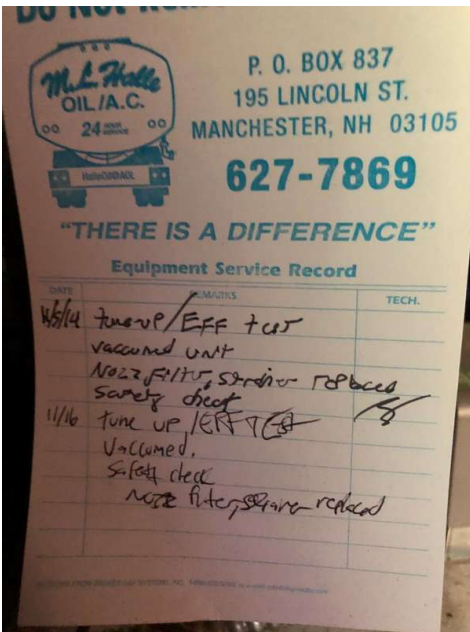
NEEDS SERVICING/CLEANING (BOILER)

Recommendation / Needed Improvement

Boiler should be cleaned and serviced annually. There was no current service tag visible during the time of inspection. Recommend asking the seller about verification/proof of a recent cleaning/servicing otherwise have a qualified HVAC contractor clean, service and certify boiler. Last service tag onsite is from 2016.

Recommendation

Contact a qualified HVAC professional.

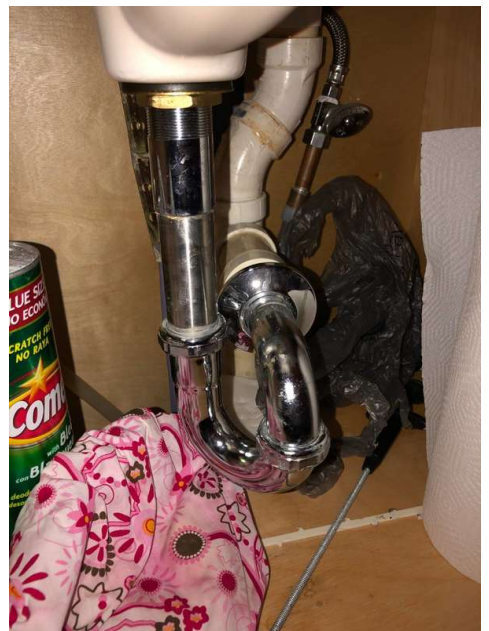


CHROME PLATED BRASS DRAIN PIPE-CORROSION

The bathroom drain pipe is made of chrome plated brass. These pipes are prone to corrosion and leaking. Minor signs of corrosion is present and recommend be replaced by a licensed plumber.

Recommendation

Contact a qualified plumbing contractor.



ABANDONED FUEL OIL TANK PRESENT

A fuel oil tank is presently installed. Tank does not appear to be in active use, as another fuel source is providing fuel to home. Recommend qualified contractor to remove fuel tank, as fuel oil vapors may be a "Safety Hazard"

Recommendation

Contact a qualified professional.



BATHROOM ELECTRICAL RECEPTACLES NOT TO CURRENT STANDARDS

2ND FLOOR BATHROOM

Bathroom electrical receptacles do not meet current safety standards. Recommend licensed electrician to repair to current standards to prevent possible injury.

Recommendation

Contact a qualified electrical contractor.



11.2.1 Interior Windows

CRACKED GLASS

BEDROOM

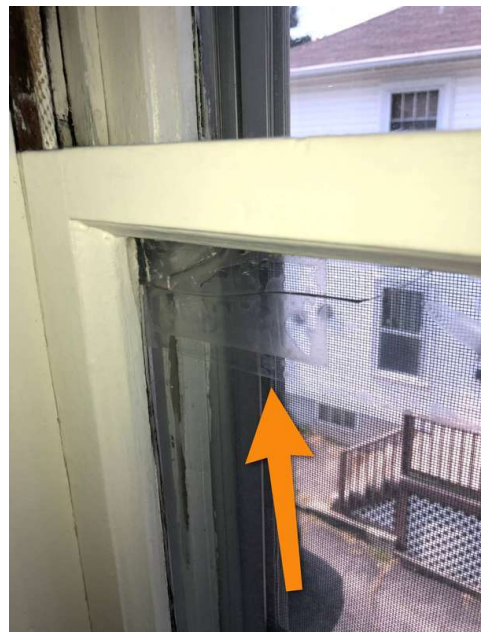
Window has cracked/broken glass, recommend replacement.

Recommendation

Contact a qualified window repair/installation contractor.



Recommendation / Needed Improvement



11.2.2 Interior Windows

MISSING HARDWARE

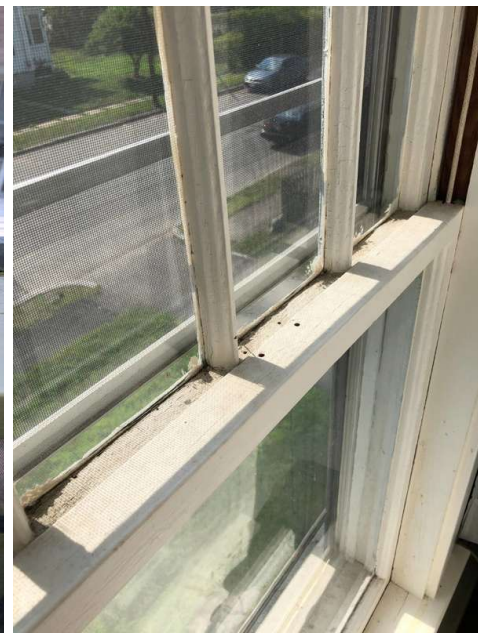
Missing window hardware on bedroom wood windows.

Recommendation

Contact a qualified professional.



Recommendation / Needed Improvement



11.5.1 Walls and Ceilings

MINOR DAMAGE

BASEMENT

Minor damage or deterioration to ceiling in basement was visible at the time of the inspection.

Recommendation
Contact a qualified professional.



Recommendation / Needed Improvement



11.5.2 Walls and Ceilings

POOR PATCHING

Sub-standard drywall / plaster patching observed at time of inspection. Recommend re-patching.

Recommendation
Contact a qualified drywall contractor.



Recommendation / Needed Improvement



2nd Floor



1st Floor

11.7.1 Smoke and CO Detectors

SMOKE/CO DETECTORS ARE NOT INSTALLED PER CURRENT SAFETY STANDARDS

 Observation / Concern

Smoke Detectors are required to be installed in the following locations per current safety standards:

- 1 Per Bedroom
- 1 Per level of home
- Must be sealed Battery type (1JAN2017)

CO Detectors are required to be installed in the following locations per current safety standards:

- 1 Within 15' of sleeping areas
- 1 Per level of home
- Must be sealed Battery type (1JAN2017)

Recommendation

Contact a qualified professional.

12.2.1 Electrical Components

 Recommendation / Needed Improvement

OLDER 3-PRONG OUTLET

The laundry area had an older-style 3-prong 240 volt dryer receptacle. Newer dryers come equipped with 4-prong plugs. To accommodate a newer dryer, either the electrical receptacle or dryer cord will need to be replaced.

Recommendation

Contact a qualified professional.



15.2.1 Ventilation

SOFFIT VENTS BLOCKED



Recommendation / Needed Improvement

One or more soffit vents were blocked by insulation. This can reduce air flow through the roof structure or attic and result in reduced service life for the roof surface materials because of high temperatures. Moisture from condensation is also likely to accumulate in the roof structure and/or attic and can be a conducive condition for wood-destroying organisms. Recommend that a qualified person repair as necessary so air flows freely through all vents. For example, by moving or removing insulation and installing attic baffles.

Recommendation

Contact a qualified insulation contractor.



15.5.1 Chimney in Attic

PRIOR MOISTURE STAINS



Recommendation / Needed Improvement

Observed moisture stains on the roof structure surrounding the chimney chase. The areas were dry with no active moisture at the time of inspection. These may have been caused from prior moisture intrusion before the current roof and chimney flashing that are in place where installed. Recommend monitoring for any future issues and repair as needed.

Recommendation

Recommend monitoring.

