



SUMMARY
1234 Main St. Merrimack NH 03054
Buyer Name
05/15/2019 9:00AM

Chris Caisse
InterNACHI Certified...
Platinum Home Inspections
603-897-5495



chris@platinumhomeinspectionsnh.com

YOUR REPORT:

Thank you for choosing Platinum Home Inspections (PHI) to inspect your new home! Please carefully read your entire Inspection Report. If you have any questions throughout the closing process don't hesitate to ask. **This report is based on an inspection of the visible portion of the structure at the time of the inspection with a focus on safety and function, not on current building or municipality codes.** Any and all evaluations or repairs made by PHI should be carried out prior to closing. We recommend that you and/or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property.

INSPECTION CATEGORIES

- 1) Maintenance Items** - Primarily comprised of small cosmetic items and simple handyman or do-it-yourself maintenance items. These observations are more informational in nature and represent more of a future homeowner to-do list.
- 2) Recommendations** - Most items typically fall into this category. These observations are typical defects but are not necessarily urgent or safety related. Some may require a qualified contractor to evaluate further and repair or replace but the cost is somewhat reasonable.
- 3) Observations/Concerns** - This category is composed of immediate safety concerns or items that could represent a significant expense to repair or replace.

KEYS TO THE HOME INSPECTION

The home inspection was performed in accordance with the InterNACHI Standard of Practice and Code of Ethics. These standards are included in the report under each section summary. An earnest effort was made on your behalf to discover all visible defects, however, in the event of an oversight, maximum liability must be limited to three times the price of the home inspection. This inspection is an evaluation of the condition of the home. Any areas that are not safe, readily accessible and/or visible to the inspector will not be included in the home inspection report. The home inspection is not intended as a substitute for a Seller's Disclosure. This home inspection is not a compliance inspection or certification of any kind. It simply is an inspection of the condition of the home at the time of the inspection. This inspection does not cover items or conditions that may be only discovered by invasive methods. No removal of materials or dismantling of systems shall be performed under this inspection. This is not a technically exhaustive inspection. The inspection report lists the systems and components inspected by Platinum Home Inspections, LLC. Items not found in

this report are considered beyond the scope of the inspection and should not be considered inspected at this time. This report contains technical information that may not be readily understandable to the lay person. Therefore, a verbal consultation with the inspector is a mandatory part of this inspection. If you choose not to consult with the inspector, Platinum Home Inspections, LLC cannot be held liable for your understanding or misunderstanding of this report's contents. If you were not present during this inspection, please contact me at (603-897-5495) to arrange for your verbal consultation.

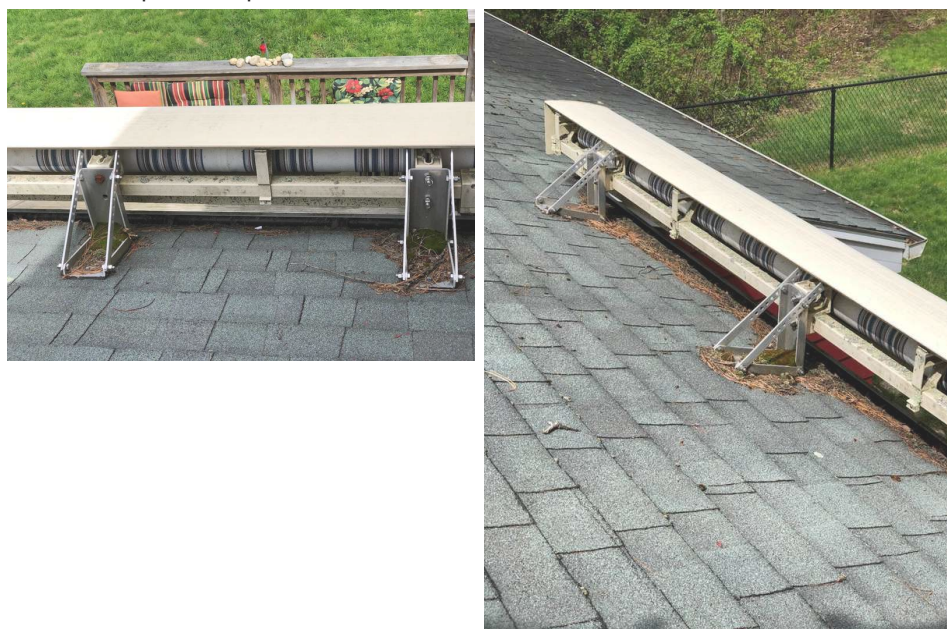
2.1.1 Coverings

TREE DEBRIS

 Maintenance Item

Roof coverings at the area where the awning is present have debris from the above trees. Recommend cleaning periodically to extend the life of the roof covering.

Recommendation
Contact a qualified professional.



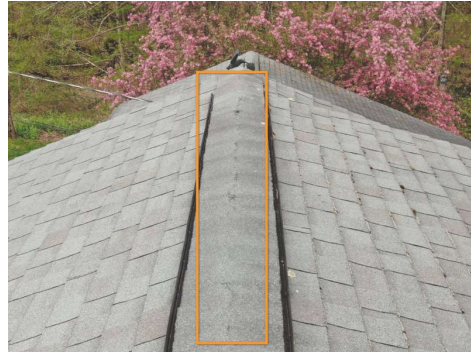
2.1.2 Coverings

DAMAGED RIDGE CAP SHINGLES

 Recommendation / Improvement

Cap shingles/ridge vent shingles are damaged/aging. Cap shingles are shingles that cover areas where the roof changes direction, like at roof peaks and hips. Recommend roofing professional evaluate and repair as needed.

Recommendation
Contact a qualified roofing professional.



Cracking at ridge vent



Shingle worn through

Need sealant over roof penetrations.



Cracking present and sealant is needed over penetrations.

2.2.1 Roof Drainage Systems

DEBRIS



Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow.

[Here is a DIY resource](#) for cleaning your gutters.

Recommendation

Contact a qualified handyman.



2.2.2 Roof Drainage Systems

DOWNSPOUTS DRAIN NEAR HOUSE

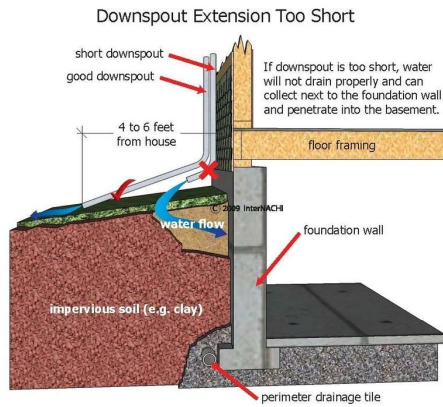


One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor adjust downspout extensions to drain at least 6 feet from the foundation.

[Here is a helpful DIY link](#) and video on draining water flow away from your house.

Recommendation

Contact a handyman or DIY project



2.3.1 Flashings

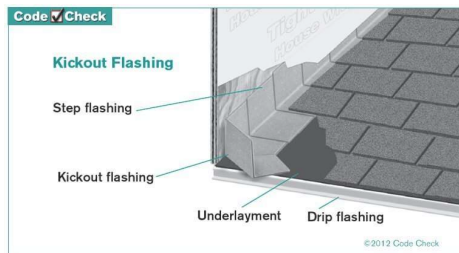
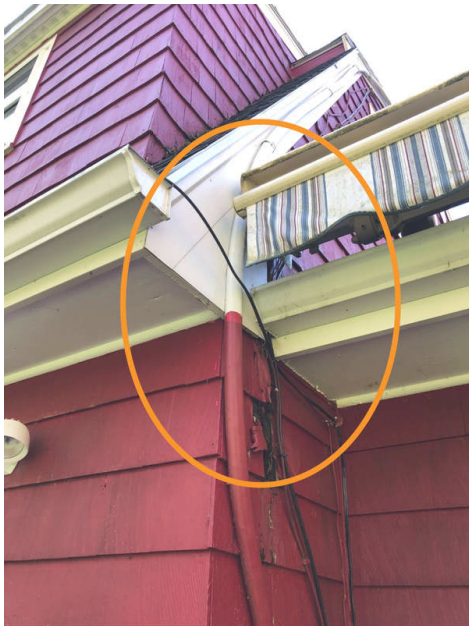
MISSING KICK-OUT FLASHING

Recommendation / Improvement

Kick-out flashing was missing where walls extended past roof edges.

Recommendation

Contact a qualified roofing professional.



2.4.1 Eaves, Soffits & Fascia

SOFFIT - ROTTED

Recommendation / Improvement

One or more sections of the fascia are rotted. Recommend qualified roofer evaluate & repair.

Recommendation

Contact a qualified roofing professional.



Back

2.5.1 Skylights, Chimneys & Other Roof Penetrations

CHIMNEY CAP MISSING

➔ Recommendation / Improvement

Chimney cap was not observed or improper. This is important to protect from moisture intrusion and protect the chimney. Recommend a qualified roofer or chimney expert install.

Recommendation

Contact a qualified chimney contractor.



Example photo represents a proper chimney cap, recommend installing to prevent moisture/pest intrusion.

2.5.2 Skylights, Chimneys & Other Roof Penetrations

CRACKED/DAMAGED CHIMNEY CROWN

➔ Recommendation / Improvement

Observed the crown of the chimney to have cracks and should be repaired by a qualified contractor to prevent moisture instruction into the chimney liner and chase.

Recommendation

Contact a qualified chimney contractor.



3.2.1 Walkways, Patios & Driveways

ASPHALT DRIVEWAY - TYPICAL CRACKING



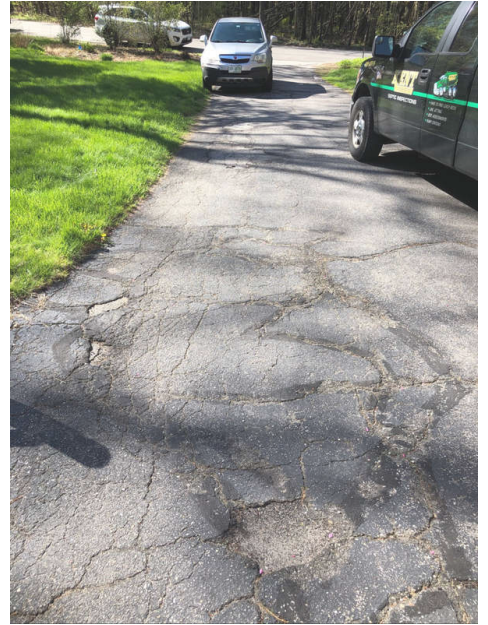
Asphalt driveway... this material has typical cracking which is normal for its age recommend seal coating as needed to prolong life expectancy.

Asphalt Seal Coating Information:

[Seal Coating Information](#)

Recommendation

Contact a qualified professional.



3.2.2 Walkways, Patios & Driveways

WALKWAY TRIP HAZARD



Trip hazards observed. Patch or repair recommended.

Recommendation

Contact a qualified concrete contractor.



3.3.1 Decks, Balconies, Porches & Steps

DECK - WATER SEALANT REQUIRED

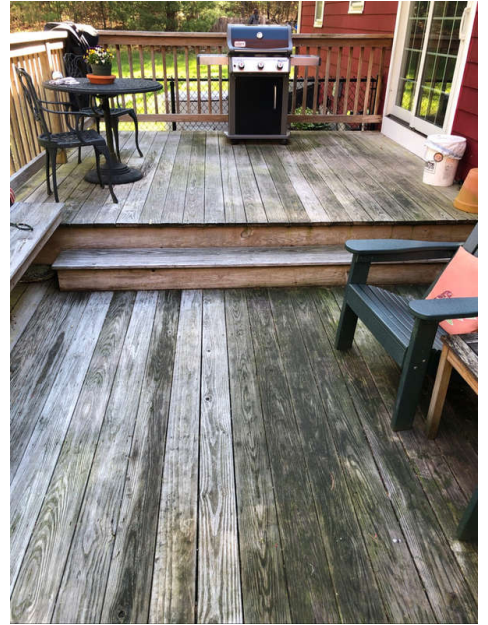


Deck is showing signs of weathering and/or water damage. Recommend water sealant/weatherproofing be applied.

[Here is a helpful article](#) on staining & sealing your deck.

Recommendation

Recommended DIY Project



4.2.1 Floor **CRACKING**

 Maintenance Item

Typical cracking/settlement observed in concrete. If trip hazards become present, recommend licensed contractor to repair to prevent injuries.

Recommendation
Recommend monitoring.



4.3.1 Walls, Ceiling & Firewalls **FIREWALL NOT TO STANDARDS (OLDER HOME)**

 Recommendation / Improvement

Garage wall/ceilings adjoining living space were not drywalled with type X fire-rated drywall as is required by generally-accepted current standards. The home was older and type X fire-rated drywall may not have been required when the home was originally built. Homes are not required to be upgraded to meet newly-enacted standards.

Recommendation
Contact a qualified drywall contractor.



4.4.1 Garage Electrical **OPEN GROUND**

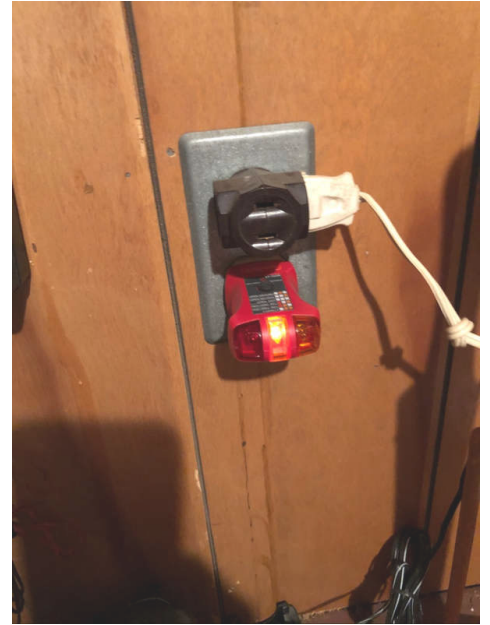
 Observation/Concerns

One or more receptacles are ungrounded. To eliminate safety hazards. All 3 prong outlets should be grounded. Where grounding is not possible (no ground wire present), a 2 prong receptacle or GFCI protected receptacle can be installed.

Note: GFCI protection of an ungrounded 3 prong outlet will not protect electronics. A physical ground system is required to protect electronics or allow surge protectors to function properly. Have a licensed electrician evaluate further and repair as necessary for safest operation.

Recommendation

Contact a qualified electrical contractor.



5.1.1 Siding, Flashing & Trim

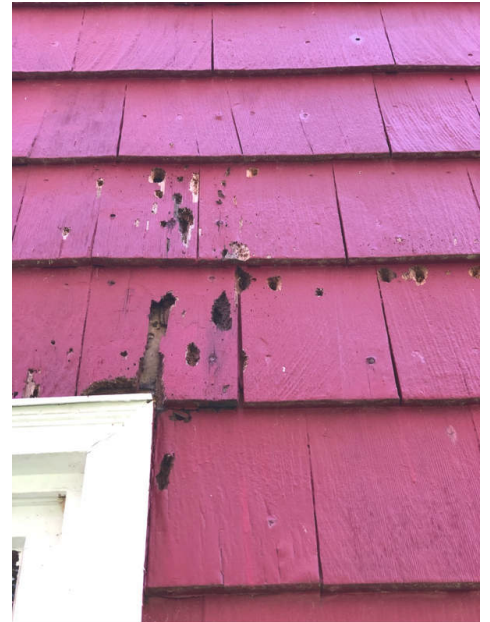
MINOR DAMAGE

Recommendation / Improvement

Siding has some typical minor damage. Recommend repair/replace as needed.

Recommendation

Contact a qualified siding specialist.



Carpenter Bees

5.1.2 Siding, Flashing & Trim

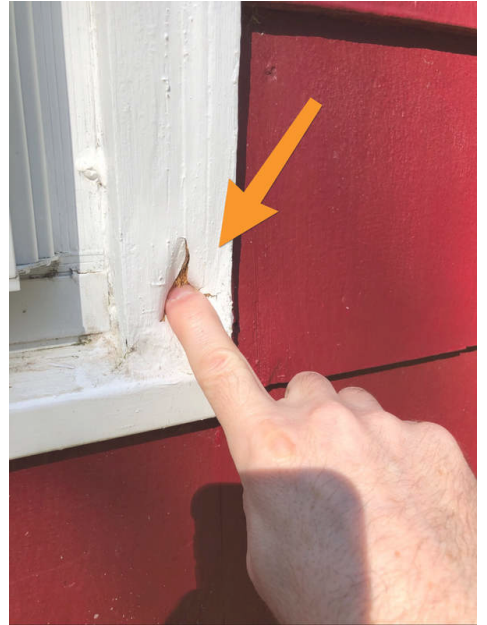
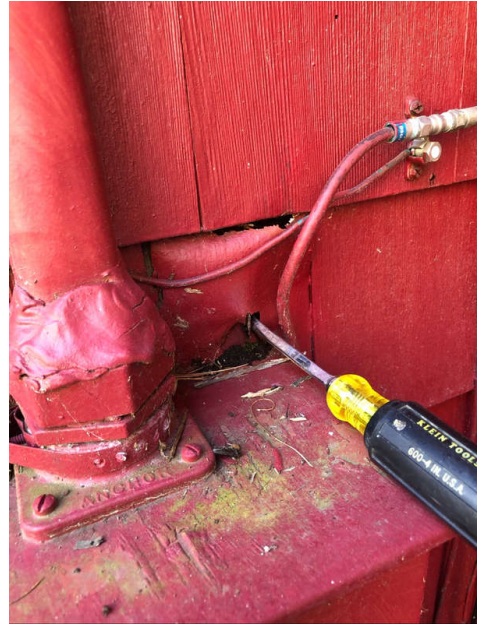
ROTTED SIDING & TRIM BOARDS

Recommendation / Improvement

Evidence of wood rot/damage on siding and trim boards throughout various areas of the structure such as but not limited too; all window trim on the right side, above and below the electrical meter as well as along areas where the roof covering meet the siding. Recommend licensed contractor to repair/replace as needed.

Recommendation

Contact a qualified carpenter.



Right Side

Right side

5.5.1 Exterior foundation **TYPICAL CRACKING**

 Recommendation / Improvement

Exterior foundation contains typical cracks due to shrinkage and normal freeze thaw cycle. Recommend patching as needed to prevent moisture intrusion.

Recommendation
Recommend monitoring.



Left side

5.6.1 Exterior lighting and receptacles

NO GFCI PROTECTION INSTALLED

No GFCI protection present in all locations. Recommend licensed electrician upgrade by installing ground fault receptacles in all locations.

[Here is a link](#) to read about how GFCI receptacles keep you safe.

Recommendation

Contact a qualified electrical contractor.



Observation/Concerns



Deck

5.9.1 Exterior Wall Penetrations

SEAL PENETRATIONS

Exterior wall penetrations left gaps that needed to be sealed with an appropriate sealant to prevent moisture and insect entry. All work should be performed by a qualified contractor.

Recommendation

Contact a qualified professional.



Recommendation / Improvement



7.1.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device

 Maintenance Item

MISSING SCREWS

One or more screws that attach the cover or dead front to panel(s) were missing or not installed. Recommend installing screws where missing so the cover or dead front is secure. Only screws with blunt tips approved for this purpose should be installed, so wiring inside the panel is not damaged. Because energized wires may be located directly behind screw holes, the client should consider replacing missing screws.

Recommendation
Recommended DIY Project



7.2.1 Branch Wiring Circuits, Breakers & Fuses

CLOTH COVERED WIRING

 Observation/Concerns

There is visible cloth wiring in the main panel being used as branch wiring. There is a rubber coating below the cloth on the wiring, the rubber coating deteriorates and cracks as the wires age. This can lead to electrical shorts. Recommend to have any cloth wiring replaced with modern wires.

Recommendation
Contact a qualified electrical contractor.



7.3.1 Electrical Fixtures, Switches and Receptacles

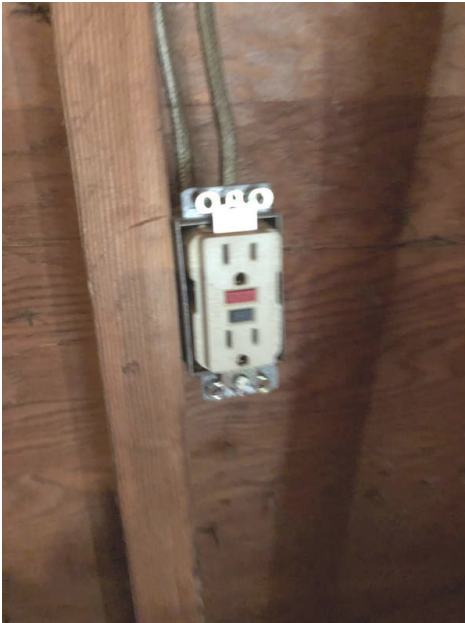
COVER PLATES MISSING

 Recommendation / Improvement

One or more receptacles are missing a cover plate. This causes short and shock risk. Recommend installation of plates.

Recommendation

Contact a qualified electrical contractor.



Garage



Garage

9.4.1 Drain, Waste, & Vent Systems (DWV)

 Recommendation / Improvement

S TRAP PRESENT

There is an S Trap present at the bathroom sink drain. S traps will cause siphoning and loss of trap seals. Trap seals must be maintained to prevent sewer gases from entering the dwelling. Recommend licensed plumber install a P-trap with air admittance valve

Recommendation
Contact a qualified plumbing contractor.



Kitchen

10.4.1 Fixtures, Toilets, Tubs & Showers



Recommendation / Improvement

TOILET LOOSE

Toilet bowl connection is loose. Recommend licensed plumber to properly secure to prevent possible moisture damage.

Recommendation
Contact a qualified plumbing contractor.



2nd Floor Bathroom

10.4.2 Fixtures, Toilets, Tubs & Showers

IMPROPER CAULKING

Shower/Tub surround is improperly caulked, moisture stains were evident. Recommend contractor to repair to prevent moisture damage.

Recommendation
Contact a qualified professional.



Maintenance Item



10.4.3 Fixtures, Toilets, Tubs & Showers

 Recommendation / Improvement

LOOSE TUB SPOUT

2nd floor tub spout is loose and moves freely which can allow water intrusion. Recommend filling behind spout with expanding spray foam which will secure the spout in place.

Recommendation

Contact a qualified professional.



10.4.4 Fixtures, Toilets, Tubs & Showers

 Recommendation / Improvement

BATHTUB STOPPER - BROKEN

The bathtub stopper handle was broken/missing at the time of inspection.

Recommendation

Contact a qualified professional.



10.4.5 Fixtures, Toilets, Tubs & Showers

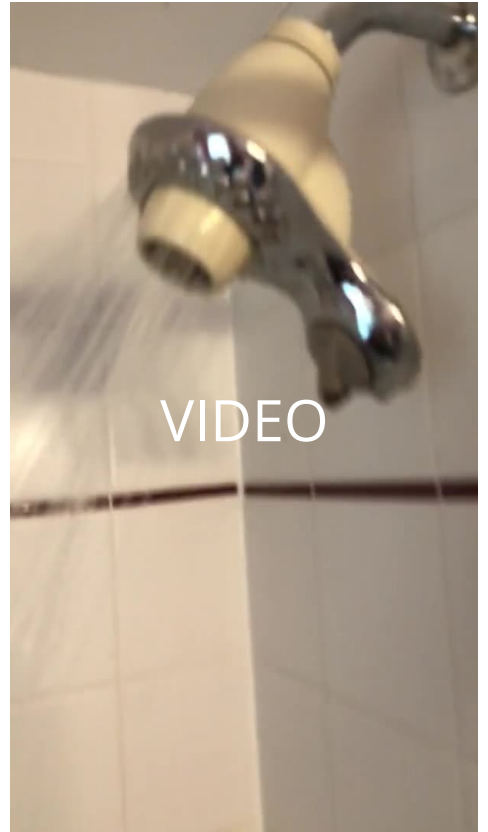
 Recommendation / Improvement

SHOWER - NOT FULL PRESSURE

2nd floor bathroom tub/shower did not have 100% of the water flow come out of the shower head when switched over from tub spout.

Recommendation

Contact a qualified plumbing contractor.



11.3.1 Interior Floors

 Recommendation / Improvement

CARPET STAINS

Carpet had areas of staining or discoloration. Recommend a thorough steam clean by a qualified carpet cleaning company

Recommendation

Contact a qualified cleaning service.



Basement

11.5.1 Walls and Ceilings **MOISTURE DAMAGE**

➔ Recommendation / Improvement

Stains on the walls visible at the time of the inspection appeared to be the result of moisture intrusion. The source of moisture may have been corrected. Recommend further examination by a qualified contractor to provide confirmation.

Recommendation
Contact a qualified professional.



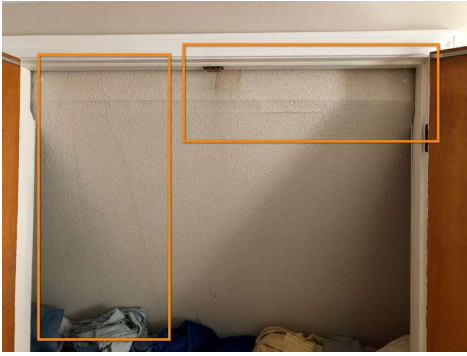
Front bedroom closet



Front Bedroom Closet. 10.4% is consider low on the moisture meter scale. Low: 1.5% - 16% Med: 17% - 19% High: 20% - 33%



Front bedroom closet. 8.6% is considered present but low.



11.5.2 Walls and Ceilings

POOR PATCHING

 Recommendation / Improvement

Sub-standard drywall patching observed at time of inspection. Recommend re-patching.

Recommendation

Contact a qualified drywall contractor.



Living Room



Living Room

11.7.1 Smoke and CO Detectors

SMOKE/CO DETECTORS ARE NOT INSTALLED PER CURRENT SAFETY STANDARDS

 Observation/Concerns

Smoke Detectors are required to be installed in the following locations per current safety standards:

- 1 Per Bedroom
- 1 Per level of home
- Must be sealed Battery type (1JAN2017)

CO Detectors are required to be installed in the following locations per current safety standards:

- 1 Within 15' of sleeping areas
- 1 Per level of home
- Must be sealed Battery type (1JAN2017)

Recommendation
Contact a qualified professional.

12.2.1 Electrical Components

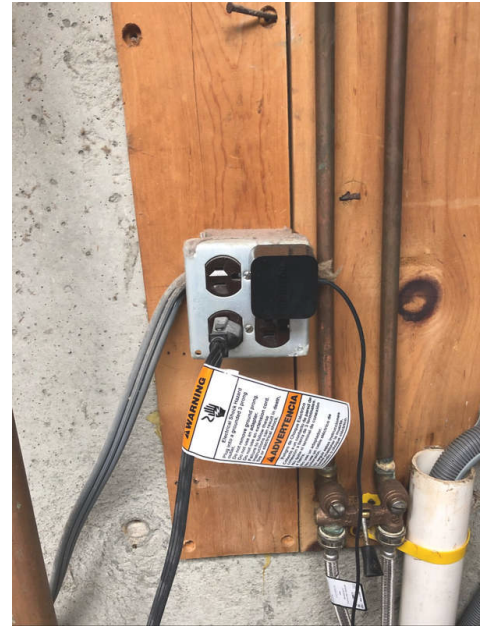
MOSTLY OK - NO GFCI PRESENT

Recommendation / Improvement

At the time of the inspection, the Inspector observed few deficiencies in the condition of electrical outlets in the laundry room. Notable exceptions will be listed in this report. Outlets had no Ground Fault Circuit Interrupter (GFCI) protection. For safety reasons, consider having GFCI protection installed for outlets within 6 feet of a plumbing fixture. This can be achieved by:

1. Replacing the current standard electrical receptacles with GFCI outlets;
2. Replacing the electrical receptacle nearest the overcurrent protection devices (breakers or fuses) protecting laundry room circuits with a GFCI receptacle; or
3. Replacing the breakers currently protecting the electrical circuits in the Laundry room with GFCI breakers.

Recommendation
Contact a qualified electrical contractor.



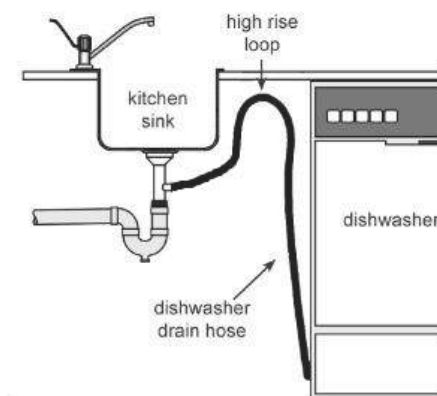
14.3.1 Dishwasher

HIGH LOOP NOT PRESENT

Recommendation / Improvement

A high loop prevents the dirty water that is being drained from being inadvertently pulled back into the dishwasher or even siphoned back into the water system. Recommend high loop be installed by plumbing contractor.

Recommendation
Contact a qualified plumbing contractor.



Example

15.1.1 Fireplaces, Stoves & Inserts

FIRE BOX (DIRTY)

Recommendation / Improvement

The firebox of the wood-burning fireplace(s) in the basement and living room needed cleaning at the time of the inspection.

Recommendation
Contact a qualified chimney sweep.



Basement



Living Room

15.1.2 Fireplaces, Stoves & Inserts

VISIBLE FLUE (NEEDS CLEANING)

Observation/Concerns

The exhaust flue of the wood-burning fireplace(s) and wood burning insert appeared to need cleaning. Dirty flues are potential fire hazards. The flue should be cleaned by a qualified contractor.

Recommendation
Contact a qualified chimney sweep.

