



**SUMMARY**  
 1234 Main St. Gulf Breeze FL 32563  
 Buyer Name  
 02/05/2019 9:00AM

Joshua Gregory  
 InterNACHI Certified Home Inspector  
 ProSite Property Inspections  
 740-331-9606



prositepropertyinspections@gmail.com

It is recommended that any noted deficiencies be evaluated and repaired by a certified contractor of trade.

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1.1.1 Structure Details

**NO CARBON MONOXIDE ALARMS**

 Safety/Immediate Attention

INTERIOR AREAS

This property has one or more fuel burning appliances, and no carbon monoxide alarms were visible. This is a safety hazard. Recommend installing one or more carbon monoxide alarms as necessary and as per the manufacturer's instructions.

Recommendation  
 Contact a qualified professional.



1.1.2 Structure Details

**GAS UTILITY LEAK**

 Safety/Immediate Attention

BACK EXTERIOR

Based on gas odors, gas appeared to be leaking at the one or more local shut-off valves or supply piping located at the back exterior. This is an explosion and fire hazard. A qualified contractor and/or the gas utility company should evaluate and repair immediately.

Recommendation  
 Contact a qualified plumbing contractor.



2.1.1 General

**EXPOSED NAIL HEADS**

 Deficiencies

ROOF

Exposed nail heads observed. This a potential pathway for moisture intrusion. Although there was no evidence of a leak, we recommend sealing these areas and annually in the future by a licensed roofing contractor.

Recommendation  
 Contact a qualified roofing professional.



### 2.1.2 General

## VEGETATION IN CLOSE CONTACT OR OVERHANGS

 Deficiencies

### ROOF

Vegetation such as trees, shrubs, and/or vines overhung the roof surface or were in close contact with the roof edge. Organic debris such as leaves or needles are likely to accumulate in gutters and on the roof surface. Gutters can overflow and cause water to come in contact with the building exterior or water can accumulate around the foundation. This is a conducive condition for wood-destroying organisms. Vegetation in contact with the roof can damage the roof surface and/or the roof drainage system. Recommend pruning vegetation so as to not be in close contact with the roof and to not overhang the roof surface. If vegetation is too tall then it should be pruned at least 10 feet above the roof surface.

#### Recommendation

Contact a qualified tree service company.



### 2.1.3 General

## SATELLITE DISH

### ROOF

Satellite dish was mounted on the roof should be inspected at the least annually, leaks can occur around mounting brackets and may need sealant applied to prevent leaks by a licensed roofing contractor.

#### Recommendation

Contact a qualified roofing professional.



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### 2.1.4 General

## MOSS GROWTH

### ROOF

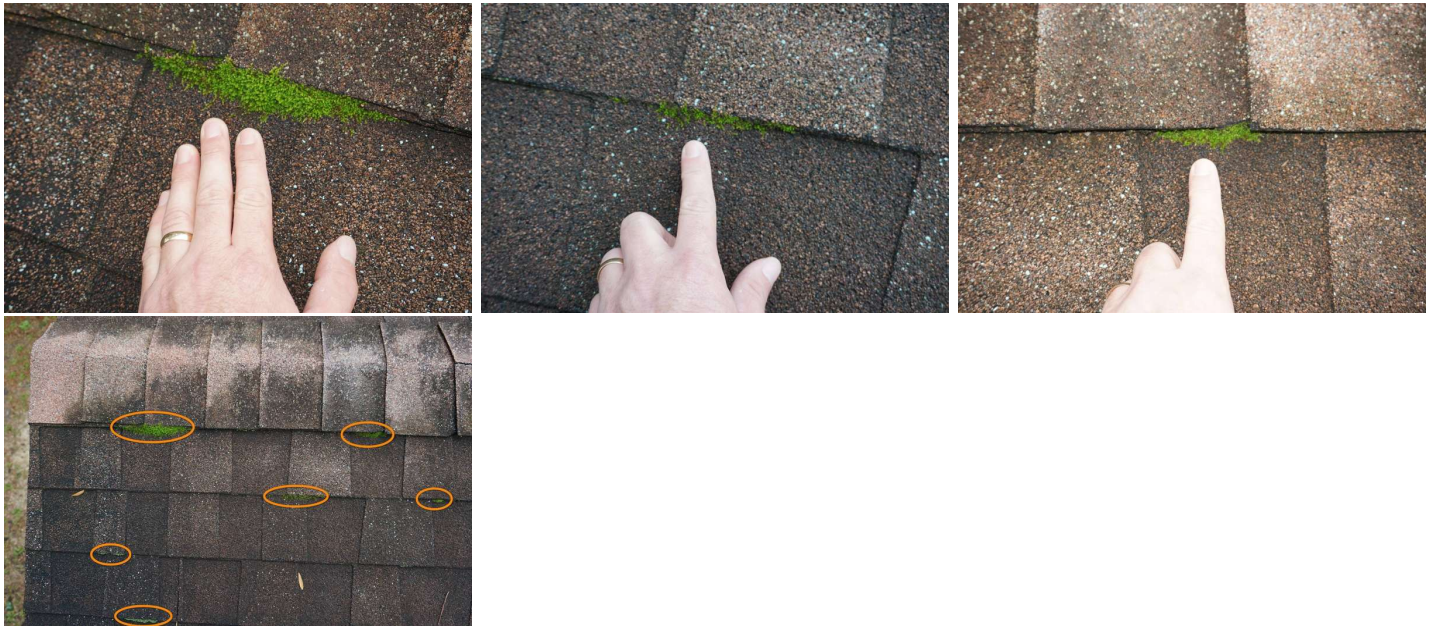
Moss was growing on the roof. As a result, roofing material can lift or be damaged. Leaks can result and/or the roof surface can fail prematurely. Efforts should be made to kill the moss during its growing season (wet months). Typically, zinc or phosphate-based chemicals are used for this and must be applied periodically. Recommend further evaluation and removing moss by a licensed roofing contractor. Roof should also be evaluated by a licensed roofing contractor once moss is removed.

#### Recommendation

Contact a qualified roofing professional.



Deficiencies



## 2.2.1 Chimney

### REPOINT MORTAR

ROOF



Roofing sealant was observed at the chimney's mortar joint in one or more areas. This is not standard practice for repairing masonry mortar joints. The masonry chimney's mortar is may be deteriorated and should be further evaluated for deterioration. Recommend having a qualified chimney service contractor or masonry contractor evaluate and repair as necessary. This will likely require re-pointing the mortar.

#### Recommendation

Contact a qualified chimney contractor.



## 2.2.2 Chimney

### CHIMNEY FLASHING - SUBSTANDARD

ROOF



Chimney flashing was not professionally installed. Leaks can occur as a result. This is conducive for wood destroying organisms. Moisture stains were evident at the roof structure around the chimney area in the attic space. The inspector was not able to traverse into this area to test for moisture due to low height. Excessive roofing sealant was observed at the chimney flashing which may also indicate problems with past moisture intrusion in this area. Roof decking and roof structure must be evaluated during repairs/replacement. Recommend evaluation and replacement of chimney flashing by a licensed roofing contractor.

#### Recommendation

Contact a qualified roofing professional.



### 2.3.1 Gutters/drains

## CLOGGED GUTTERS/DOWNSPOUTS

### ROOF



Significant amounts of debris have accumulated in one or more gutters or downspouts. Gutters can overflow and cause water to come in contact with the building exterior, or water can accumulate around the foundation. This is a conducive condition for wood-destroying organisms. Recommend cleaning gutters and downspouts now and as necessary in the future.

#### Recommendation

Contact a handyman or DIY project





#### 2.4.1 Flashing/Vents

### RUSTY APPURTENANCES

#### ROOF



Roof-top appurtenance such as vents were significantly corroded. Metal may deteriorate to the point of needing replacement. Leaks can occur around such items if flashing or sealant doesn't form a waterproof seal with the corroded metal. This can be a conducive condition for wood-destroying organisms. Recommend that a licensed roofing contractor repair as necessary. For example, by cleaning rust and repainting with a rust-inhibiting paint.

#### Recommendation

Contact a qualified roofing professional.



2.4.2 Flashing/Vents

**SUBSTANDARD LEAD FLASHING**

Deficiencies

ROOF

Lead flashing at one or more plumbing vent pipes was improperly installed. For example, shorter than the vent pipe or not bent over the edge of the vent pipe. Properly installed, the flashing should extend up and over the top edge of the pipe, and be bent down into the pipe. Otherwise, rain water can flow between the pipe and the flashing, resulting in leaks. This is a conducive condition for wood-destroying organisms. Recommend that a licensed roofing contractor repair per standard building practices.

Recommendation

Contact a qualified roofing professional.



3.2.1 Driveway, Walkway, Patio

**SCREEN ENCLOSURE-SCREENS TORN**

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BACK PATIO

One or more screens were damaged or torn or missing in the screen patio. A certified contractor should make the necessary repairs.

Recommendation

Contact a qualified handyman.



3.2.2 Driveway, Walkway, Patio

**CARPORT RAKE TRIM - LOOSE**

Deficiencies

FRONT EXTERIOR

Carport rake trim located on the north side was loose. Recommend evaluation and repairs by a qualified professional.

Recommendation

Contact a qualified professional.



### 3.3.1 Exterior issues

## VEGETATION IN CONTACT WITH STRUCTURE

### BACK EXTERIOR

Vegetation observed within close contact of the house. This can create a pathway for insects and/or wood destroying organisms into the home interior. Recommend trimming vegetation by a qualified landscape professional.

#### Recommendation

Contact a qualified landscaping contractor



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### 3.4.1 Electrical

## CEILING FAN INOPERABLE

### BACK PATIO

Ceiling fan was inoperable. Recommend asking the property owner(s) about this, and if necessary, having a licensed electrical contractor evaluate and repair as necessary.

#### Recommendation

Contact a qualified electrical contractor.



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### 3.7.1 Gutters and Flashing

## GUTTER END CAP MISSING

### FRONT EXTERIOR

Gutter end cap located at the front exterior north corner was missing. Rainwater may come in contact with the building exterior or accumulate around the foundation as a result. This can be a conducive condition for wood-destroying organisms. Recommend that a qualified person install or repair end caps where missing.

#### Recommendation

Contact a qualified professional.



### 3.7.2 Gutters and Flashing

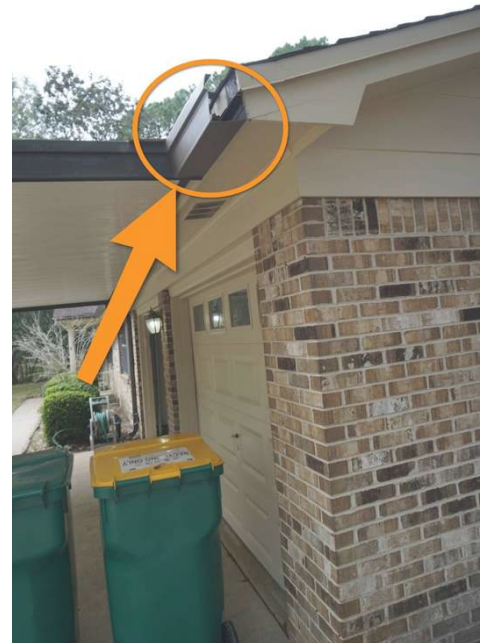
## NO DOWNSPOUT

### FRONT EXTERIOR

There is no downspout installed at the front exterior north corner gutter system. This can cause water to accumulate around the homes foundation and cause soil a erosion. Also standing water could occur as well as low spots around the home. Downspouts should be installed as needed.

#### Recommendation

Contact a qualified professional.



### 5.1.1 Water Heater

## TPR >4 ELBOWS

### LAUNDRY ROOM

The temperature/pressure relief valve drain line has more than 4 elbows in it. This is a potential safety hazard due to the risk of explosion. Typically these valves are limited to 4 elbows or less in the drain line so venting is not restricted. A qualified plumber should evaluate and repair as necessary so the drain line complies with the temperature-pressure relief valve manufacturer's installation instructions.



Recommendation  
Contact a qualified plumbing contractor.



5.1.2 Water Heater  
**DISCHARGE LINE SERVES  
MULTIPLE VALVES**

LAUNDRY ROOM

This water heater discharge pipe served multiple temperature/pressure relief (TPR) valves. This condition is a potential safety hazard. Recommend further evaluation and repairs by a licensed plumbing contractor.

Recommendation  
Contact a qualified plumbing contractor.

 Safety/Immediate Attention



7.1.1 General  
**SERVICE A/C SYSTEM**

The last service date of this system appears to be more than one year ago, or the inspector was unable to determine the last service date. The client(s) should ask the property owner(s) when it was last serviced. If unable to determine the last service date, or if this system was serviced more than one year ago, a licensed heating and cooling contractor should inspect, clean, and service this system, and make repairs if necessary. This servicing should be performed annually in the future.

Recommendation  
Contact a qualified HVAC professional.

 Maintenance/Monitor



#### 8.4.1 Electrical

### **GFCI UPGRADE RECOMMENDED**



#### KITCHEN

Ground Fault Circuit Interrupter (GFCI) protection of home electrical outlets were not present in the home at the time of inspection. Although GFCI protection may not have been required at the time the home was built, for safety reasons, consider upgrading the electrical system to include GFCI protection at the following locations:

- Bathrooms
- Outside
- Garages
- Crawlspace (at or below grade)
- Unfinished basements
- Kitchens
- Laundry rooms
- Within 6 feet of all plumbing fixtures
- Boathouses

GFCI protection is available as GFCI circuit breakers or as GFCI outlets. Both devices are designed to trip to prevent electrical shock or electrocution.

Consider having GFCI protection installed as a safety precaution. This can be achieved by:

1. Replacing the current standard outlets with GFCI outlets
2. Replacing the outlet in the garage circuit which is nearest the main electrical service panel with a GFCI outlet.
3. Replacing a non-GFCI breaker currently protecting an electrical circuit with a GFCI-type breaker.

#### Recommendation

Contact a qualified electrical contractor.



8.4.2 Electrical

**OPEN GROUND**

KITCHEN

Modern 3-slot electric receptacle in the kitchen was found with an open ground. This is a shock hazard when appliances that require a ground are used with these receptacles. Examples of such appliances include computers and related hardware, refrigerators, freezers, portable air conditioners, clothes washers, aquarium pumps, and electrically operated gardening tools. Recommend that a licensed electrical contractor repair as necessary so all receptacles are grounded per standard building practices.

Recommendation

Contact a qualified electrical contractor.



8.4.3 Electrical

**CEILING FAN INOPERABLE**

KITCHEN

One or more ceiling fans appear to be inoperable. Recommend asking the property owner(s) about this, and if necessary, having a qualified electrician evaluate and repair as necessary.

Recommendation

Contact a qualified electrical contractor.



9.2.1 Electrical

**OPEN GROUND**

LIVING ROOM, DINING ROOM, MASTER BEDROOM

Modern, 3-slot electric receptacles were found with an open ground located in the living room, dining room and master bedroom. This is a shock hazard when appliances that require a ground are used with these receptacles. Examples of such appliances include computers and related hardware, refrigerators, freezers, portable air conditioners, clothes washers, aquarium pumps, and electrically operated gardening tools. Recommend that a licensed electrical contractor repair as necessary so all receptacles are grounded per standard building practices.

Recommendation

Contact a qualified electrical contractor.



9.3.1 Smoke and CO alarms

**SMOKE ALARMS MISSING**

INTERIOR AREAS



Smoke alarms were missing at all interior areas. This is a safety hazard. Smoke alarms should be installed as necessary so a functioning alarm exists in each hallway leading to bedrooms, in each bedroom, on each level and in any attached garage.

Recommendation

Contact a qualified electrical contractor.



#### 9.4.1 Windows and Door

### DOOR-BINDS IN JAMB

NORTHWEST GUEST BEDROOM

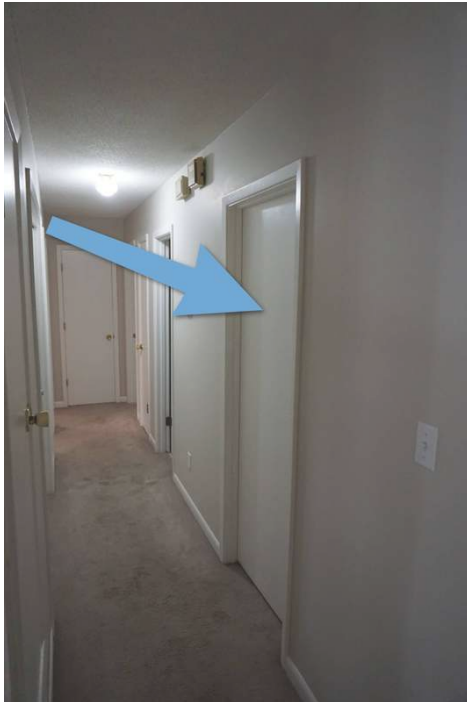
Interior door binds in jamb and cannot be closed and latched, or are difficult to open and close. A qualified contractor should evaluate and repair as necessary. For example, adjusting jamba or trimming doors.

Recommendation

Contact a qualified door repair/installation contractor.



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#### 10.4.1 Electrical

### GFCI MISSING

GUEST BATHROOM, MASTER BATHROOM



Safety/Immediate Attention

One or more electric receptacles at the bathroom(s) had no visible ground fault circuit interrupter (GFCI) protection, or the inspector was unable to determine if GFCI protection was present. If not GFCI-protected, receptacles in wet areas pose a shock hazard. Recommend that a licensed electrical contractor evaluate and install GFCI protection if necessary and per standard building practices. General guidelines for GFCI-protected receptacles include the following locations:

Outdoors (since 1973)

Bathrooms (since 1975)

Garages (since 1978)

Kitchens (since 1987)

Crawl spaces and unfinished basements (since 1990)

Wet bar sinks (since 1993)

Laundry and utility sinks (since 2005)

Recommendation

Contact a qualified electrical contractor.



### 10.8.1 Sink/countertop

## **SINK DRAIN FLEX PIPE**

MASTER BATHROOM

Sink drain for the master bathroom used flexible drain pipe. This type of drain pipe is more likely to clog than smooth wall pipe. Recommend having a licensed plumbing contractor replace this pipe with standard plumbing components (smooth wall pipe) to prevent clogged drains.

Recommendation

Contact a qualified plumbing contractor.





#### 10.9.1 Toilets

### TOILET - LOOSE

#### MASTER BATHROOM

Toilets was loose. Plumbing leaks can occur as a result. A licensed plumbing contractor should remove the toilet(s) for further evaluation and repairs if necessary. A new wax ring should be installed and toilet(s) should be securely anchored to the floor to prevent movement and leaking.

#### Recommendation

Contact a qualified plumbing contractor.



#### 12.2.1 Attic Hatch

### ACCESS COVER DAMAGE

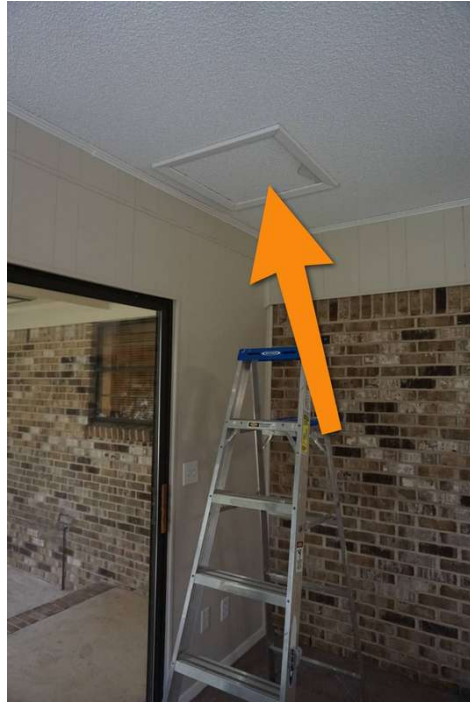
#### SUNROOM

The drywall access cover was damaged. The exit to cover should be replaced as a repair is not adequate. Recommend replacement by a qualified professional.

#### Recommendation

Contact a qualified professional.





#### 12.2.2 Attic Hatch

### **NO INSULATION OVER SUNROOM**

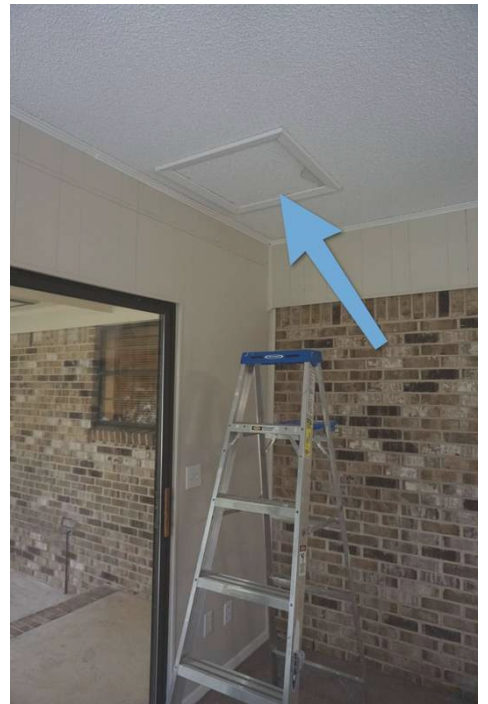
No insulation was installed over the attic access hatch. Recommend installing insulation above hatch for better energy efficiency by a qualified professional.

#### Recommendation

Contact a qualified insulation contractor.



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#### 12.4.1 Insulation

### **UNEVEN**

#### ATTIC

The ceiling insulation in one or more areas in the attic space was compacted or uneven. Heating and cooling costs may be higher due to reduced energy efficiency. Recommend that a qualified professional repair, replace or install insulation as necessary and per standard building practices (typically R-30).

#### Recommendation

Contact a qualified insulation contractor.



Deficiencies





### 13.3.1 Electrical

## GFCI UPGRADE RECOMMENDED



### GARAGE

Ground Fault Circuit Interrupter (GFCI) protection of home electrical outlets were not present in the home at the time of inspection. Although GFCI protection may not have been required at the time the home was built, for safety reasons, consider upgrading the electrical system to include GFCI protection at the following locations:

- Bathrooms
- Outside
- Garages
- Crawlspace (at or below grade)
- Unfinished basements
- Kitchens
- Laundry rooms
- Within 6 feet of all plumbing fixtures
- Boathouses

GFCI protection is available as GFCI circuit breakers or as GFCI outlets. Both devices are designed to trip to prevent electrical shock or electrocution.

Consider having GFCI protection installed as a safety precaution.

This can be achieved by:

1. Replacing the current standard outlets with GFCI outlets
2. Replacing the outlet in the garage circuit which is nearest the main electrical service panel with a GFCI outlet.
3. Replacing a non-GFCI breaker currently protecting an electrical circuit with a GFCI-type breaker.

Recommendation

Contact a qualified electrical contractor.



### 14.2.1 Dishwasher

## DISHWASHER NO HIGH LOOP



The dishwasher drain line is not configured with a "high loop" or "air gap". A high loop is created by routing the drain line up to the bottom surface of the counter top above, and securely fastening it to that surface. It is meant to prevent water from siphoning out of the dishwasher, and to prevent water from the sink drain or food disposal from entering the dishwasher. Some dishwashers have a built-in high loop where one is not required to be configured in the drain line. The clients should try to determine if a high loop is required for this brand and model of dishwasher (review installation instructions, etc.). If one is required, or it cannot be determined if one is not required, then a qualified contractor should install a high loop as per standard building practices.

Also, no "air gap" is installed. Air gaps are another device meant to prevent water from the sink drain or food disposal from entering the dishwasher. These are required in some municipalities for new construction and when remodeling. The client(s) should consult with a qualified contractor to determine if an air gap should be installed.

Recommendation

Contact a qualified appliance repair professional.

