



SUMMARY

1234 Main St. Vancouver WA 98663

Buyer Name
03/31/2019 9:00AM

Will Graff



WA#1877 | SPI#94289 | OR#2099 | CCB#21...

Northbank Home Inspection

360.241.3289

will@northbankhomeinspection.com

2.2.1 Roof Drainage Systems

LOCALIZED WEAR

LOWER ROOF

One or more gutters or downspouts discharge onto roof coverings. This can cause localized wear to occur and diminish the lifespan of roofing materials in those areas. Recommend a qualified contractor connect downspouts to gutter directly to help extend the life of the roof coverings.

Recommendation

Contact a qualified roofing professional.



Maintenance/Monitor Item



2.2.2 Roof Drainage Systems

UNDERGROUND STORM DRAINS

The roof drainage systems are connected to drains underground and I cannot verify if the discharge is an appropriate distance away from the foundation or if the drain lines are compromised. The minimum distance water should be diverted away from the foundation is 6 feet. Recommend monitoring.

Recommendation

Contact a qualified general contractor.



Maintenance/Monitor Item



3.1.1 Siding, Flashing & Trim

GROUND CLEARANCE

BACK, LEFT SIDE

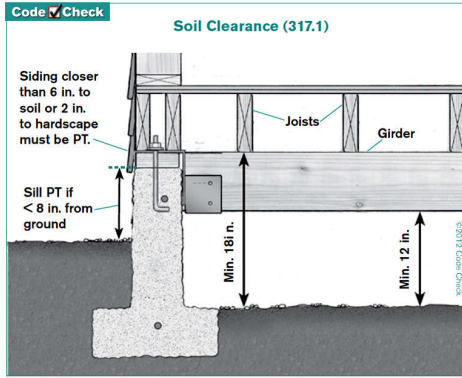
Inadequate clearance between siding and ground. Best practices recommend a minimum ground clearance between bottom of siding and the ground of 6"-8"; for hardscape (i.e. concrete), minimum clearance is 2". Siding close or in contact with the ground or soil can be a concern because it can provide direct access for wood destroying insects and moisture. Recommend a qualified siding contractor or landscaper repair. (re-grade soil near siding).

Recommendation

Contact a qualified siding specialist.



Maintenance/Monitor Item



3.1.2 Siding, Flashing & Trim

MISSING FLASHING

FIXTURES

 Maintenance/Monitor Item

Flashing is not installed where its needed. This can allow water to damage the siding, windows, fixtures, or other components, and lead to multiple issues, including rot of wooden components. Appropriate flashings can help extend the life of building components. Recommend a qualified contractor install flashing where needed.

Recommendation
Contact a qualified siding specialist.



3.1.3 Siding, Flashing & Trim

MISSING TRIM

BACK SLIDING DOOR

 Maintenance/Monitor Item

Trim is missing in one or more areas of the home, exposing the sheathing. Recommend a qualified contractor install trim in appropriate areas.

Recommendation
Contact your builder.



3.1.4 Siding, Flashing & Trim

WINDOW FLASHING

TRIMMED WINDOWS

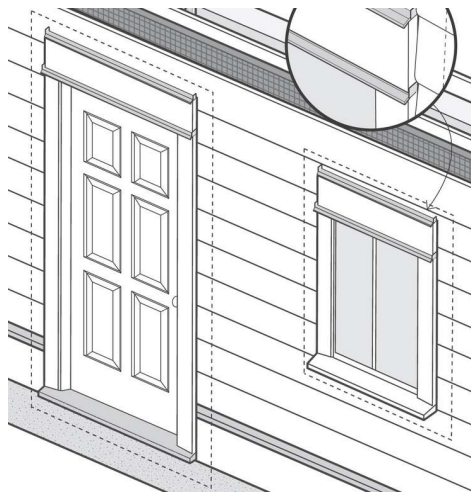
Windows in one or more areas are missing flashing. This can lead to water intrusion and damage if exterior seals fail. Windows should have flashing installed above them to help shed water. This is a modern building standard. Recommend monitoring and maintaining sealant or installation of window flashing by a qualified contractor if needed.

Recommendation

Contact a qualified siding specialist.



Maintenance/Monitor Item



Window flashing detail

3.1.5 Siding, Flashing & Trim

SIDING PENETRATION NOT SEALED

LEFT SIDE - WATER HEATER CONDENSATE DRAIN

Penetrations in the siding are not sealed or flashed properly in one or more areas. This can lead to water intrusion, which can potentially cause damage, including rot, of siding and framing components. Recommend a qualified contractor repair with appropriate sealant and/or flashing.

Recommendation

Contact a qualified siding specialist.



Maintenance/Monitor Item



3.1.6 Siding, Flashing & Trim

TRIM GROUND CLEARANCE

SIDE GARAGE DOOR, BACK PATIO

 Maintenance/Monitor Item

Trim in one or more areas does not have enough clearance from the ground. Trim should be a minimum of 2 inches above hardscape, ie concrete, or 6-8 inches above soil to prevent water wicking up into the trim and causing damaged. Recommend a qualified contractor repair.

Recommendation
Contact a qualified handyman.



3.1.7 Siding, Flashing & Trim

MASONRY MISSING SEALANT

FRONT MASONRY

 Maintenance/Monitor Item

Masonry cladding is missing edge sealant. This can allow moisture intrusion behind the masonry, which can eventually lead to damage, including wood rot. Recommend a qualified contractor repair.


Recommendation
Contact a qualified masonry professional.



3.2.1 Exterior Doors

**SLIDING GLASS DOOR-
DIFFICULT LATCH**

SLIDING DOOR

 Maintenance/Monitor Item

The locking mechanism on the sliding screen door is difficult to latch. This can be a security issue. Recommend a qualified contractor repair.

Recommendation
Contact a qualified handyman.



3.4.1 Decks, Balconies, Porches & Steps

POST INSTALLATION



Maintenance/Monitor Item

FRONT PORCH

A post is installed in a substandard manner - the post is twisted and not square. This can sometimes indicate stress of the post from the load its bearing. Additionally, the double post design of the front patio is also atypical. Recommend asking builder about design and function of the posts, and to correct if necessary. It may be prudent to review original planned drawings to determine if deviations were made and for what purpose.

Recommendation

Contact your builder.



3.5.1 Eaves, Soffits & Fascia

FASCIA/RAFTER TAIL(S) NOT PAINTED



Maintenance/Monitor Item

BACK ROOF

Portions of the fascia and/or rafter tails are not painted. Unpainted exterior wood should be painted to help protect it from moisture. Recommend a qualified contractor paint appropriate areas.

Recommendation

Contact a qualified painting contractor.





3.7.1 Fence

NON-TREATED WOOD

FENCE

The exterior fence is constructed with non-treated materials. Untreated components can deteriorate quickly in wet environments and lead to premature fence failure. Recommend maintaining stain of installed members regularly or replacing untreated members with treated wood.

Recommendation
Recommend monitoring.



4.2.1 Basements & Crawlspaces

STANDING WATER

CRAWLSPACE MULTIPLE LOCATIONS

Standing water was observed in the crawlspace. The source of the moisture is not clear, but appears to be ground water. Moisture could be caused by issues including, but not limited to, a high water table, poor site drainage, damage to the irrigation system, or plumbing issues. If left as is, this can lead to a number of issues including mold growth and conducive conditions for wood-destroying organisms such as, carpenter ants and fungi. Recommend a qualified contractor evaluate to find source and install an effective water removal system, such as a sump pump or French drain system.

Recommendation
Contact a qualified general contractor.





5.1.1 Heating Equipment

HVAC SYSTEM SERVICE (NEW CONSTRUCTION)

HVAC SYSTEM



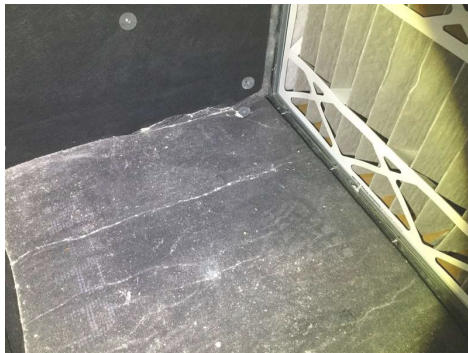
Maintenance/Monitor Item

The furnace and duct system need servicing. During construction, if the HVAC system is not properly sealed off, construction debris can enter the duct system. This can impact energy efficiency and negatively impact air quality. Recommend builder service HVAC system.

[Here is a resource](#) on the importance of furnace maintenance.

Recommendation

Contact a qualified HVAC professional.



5.1.2 Heating Equipment

IMPROPER INSTALL - SECONDARY CONDENSATE LINE

RIGHT SIDE EXTERIOR

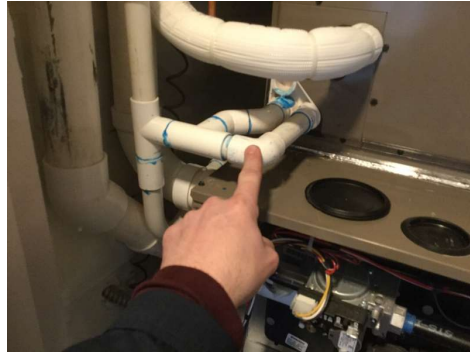


Maintenance/Monitor Item

A secondary condensation drain is installed inappropriately - this drain discharges to the exterior next to the primary drain. This drain is a backup drain intended to catch condensation if the primary is clogged. The secondary drain should be routed to a conspicuous area where it can be easily noticed and accessed. If water is coming out of this drain the primary drain has failed and repairs to the system are likely needed. Recommend a qualified contractor properly install a secondary drain.

Recommendation

Contact a qualified HVAC professional.



6.2.1 Drain, Waste, & Vent Systems

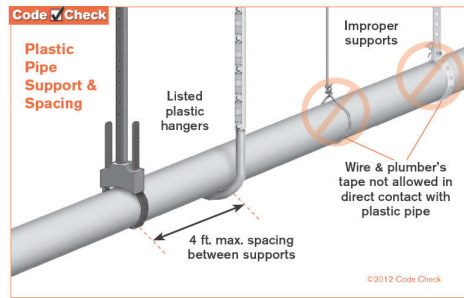
DRAINS HUNG W/ METAL STRAPPING

CRAWLSPACE

 Maintenance/Monitor Item

The ABS (plastic) drain lines are hung with metal straps. Metal straps can damage the ABS piping over long periods of time. Recommend a qualified maintenance person re-hang pipes with plastic material.

Recommendation
Contact a qualified handyman.



6.4.1 Hot Water Systems, Controls, Flues & Vents

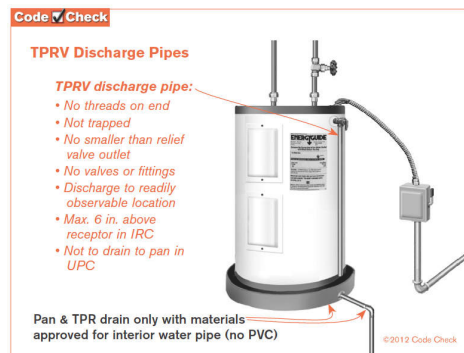
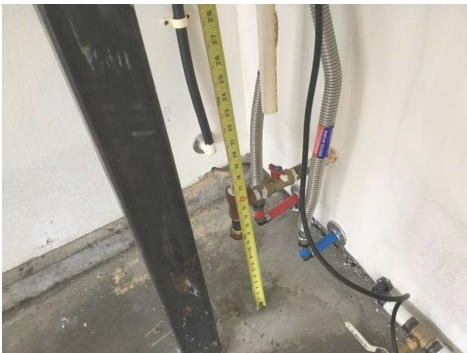
TPR DISCHARGE INADEQUATE

WATER HEATER

 General Repair Item

The temperature pressure relief (TPR) valve pipe does not extend within 6 inches of the ground. If tripped due to high pressure, the steam released could scald someone nearby. Recommend a qualified professional extend the TPR valve pipe to prevent injury.

Recommendation
Contact a qualified plumbing contractor.



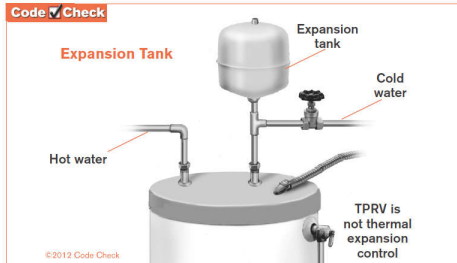
NO EXPANSION TANK

WATER HEATER

An expansion tank is not installed on the water heater. Expansion tanks allow for the thermal expansion of water in the plumbing system -- basically water expands when heated. Without an expansion tank, thermal expansion can put stress on plumbing connections and fixtures and eventually lead to premature failure. These tanks are standard in new installations. Recommend a qualified plumber evaluate and install.

Recommendation

Contact a qualified plumbing contractor.



WATER HEATER GAS SUPPLY NOT CONNECTED

WATER HEATER

The gas water heater gas line is not connected. Gas is the energy source for this system; it will not function without it. Recommend a qualified plumbing contractor connect gas line to the water heater.

Recommendation

Contact a qualified plumbing contractor.



SHUT-OFF WRENCH

GAS METER

A gas valve shut-off wrench was not found in a reasonable range from the main gas shut-off. This is not required, but is helpful in the event of an emergency involving the natural gas systems of the home. Recommend installation of a gas valve shut-off wrench near the main gas valve.

[Emergency Gas and Water Shutoff 4-in-1 Tool on Amazon.](#)

Recommendation

Recommended DIY Project



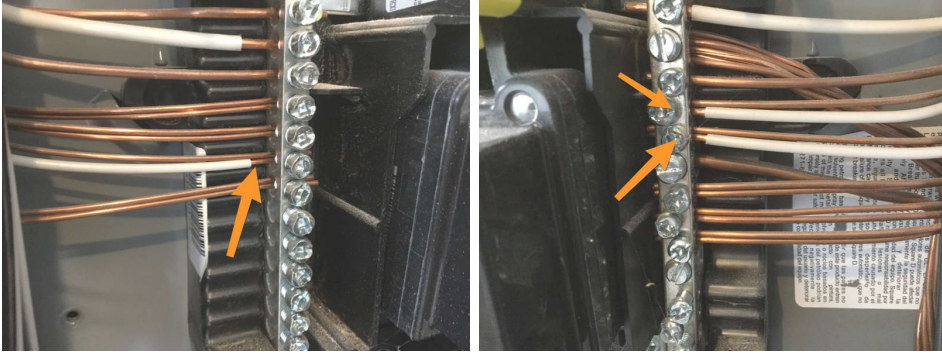
BUS BAR - SHARED TERMINALS

ELECTRICAL PANEL

One or more neutral conductors are sharing terminals with grounding conductors. This can be a safety hazard as it can negate grounding of those power sources. Recommend a qualified electrical contractor separate conductors appropriately.

Recommendation

Contact a qualified electrical contractor.



7.4.1 Lighting Fixtures, Switches & Receptacles

POOR INSTALLATION

 Maintenance/Monitor Item

BACK PATIO

Receptacles, fixtures, or switches are installed poorly in one or more areas. Recommend reinstallation by a qualified contractor.

Recommendation

Contact a qualified handyman.



7.7.1 Carbon Monoxide Detectors

INAPPROPRIATE LOCATION

 Maintenance/Monitor Item

LIVING ROOM

Carbon monoxide detector effectiveness may be compromised due to location -- detector should be 5 feet from the ground -- where CO floats -- to properly function. CO detectors are required in common areas outside of each sleeping room on every floor and living space. If this unit is a dual smoke/CO detector, consider installing a stand-alone CO detector in an appropriate location. Recommend relocating according to manufacturer's instructions.

Recommendation
Recommended DIY Project



8.1.1 Attic Insulation

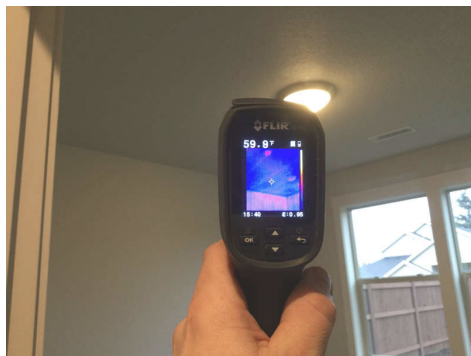
INSUFFICIENT INSULATION

OFFICE, LIVING ROOM, BACK LEFT BEDROOM

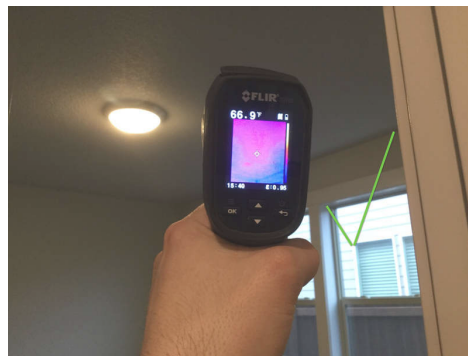
General Repair Item

Attic insulation is insufficient or missing in one or more areas. Dark blue areas of the thermal images indicate measured cold temperatures, which is typically where insulation is insufficient or missing. This can lead to energy loss and affect the comfort of the home. Recommend a qualified insulation contractor evaluate and remedy as needed.

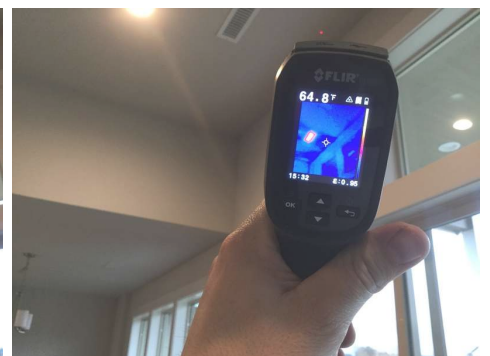
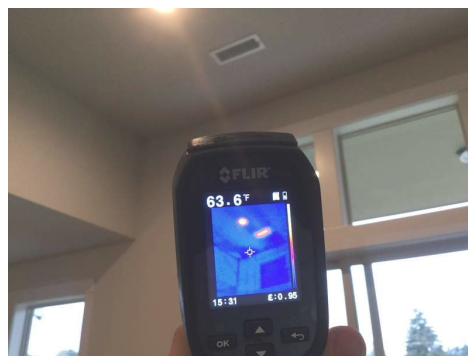
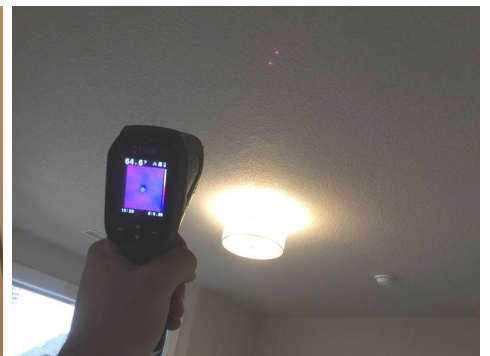
Recommendation
Contact a qualified insulation contractor.



Back left bedroom - Thermal image measured cold temperatures indicating ceiling insulation is missing or inadequate



Thermal image of room with insulation





8.3.1 Exhaust Systems

DUCTS LOOSE OR DISCONNECTED

General Repair Item

RANGE EXHAUST

Ductwork is loose or disconnected. This can promote moisture in the areas through which the ducting runs and create an environment conducive to mold, wood-destroying insects, and fungi. Recommend a qualified HVAC professional repair duct and terminate it to the exterior.

Recommendation

Contact a qualified HVAC professional.



8.3.2 Exhaust Systems

DRYER VENT HEIGHT

Immediate Attention / Safety Item

LEFT SIDE

Dryer vent does not terminate to an appropriate height. This can be a safety issue because it could become blocked more easily by obstructions, such as tree debris, and become fire hazard. Recommend a qualified contractor evaluate and reinstall exhaust at an appropriate height, at least 12 inches above grade.

Recommendation

Contact a qualified HVAC professional.



9.1.1 Doors

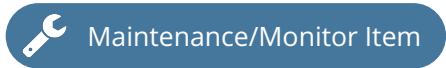
DOOR STICKS

POCKET DOOR MASTER BATHROOM

One or more doors stick and are difficult to use. Recommend a qualified contractor repair.

Recommendation

Contact a qualified handyman.



9.3.1 Floors

MISSING TRANSITION

MULTIPLE LOCATIONS

A flooring transition is missing in one or more areas. Transition pieces help protect flooring between different types of flooring. Recommend a qualified contractor install a transition piece.

Recommendation

Contact a qualified flooring contractor



9.4.1 Walls

MINOR DAMAGE

BATHROOM

General damage and disrepair of the walls was observed in one or more areas. Recommend a drywall contractor repair as needed.

Recommendation

Contact a qualified drywall contractor.



9.5.1 Ceilings

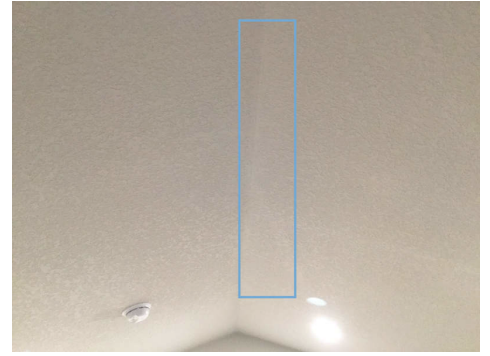
DAMAGE - CRACKING

2ND FLOOR

Ceiling cracking was observed. Some drywall cracking is part of normal settling. Moisture or other damage can also lead to cracking or ceiling blemishes. Recommend a qualified drywall contractor repair.



Recommendation
Contact a qualified drywall contractor.

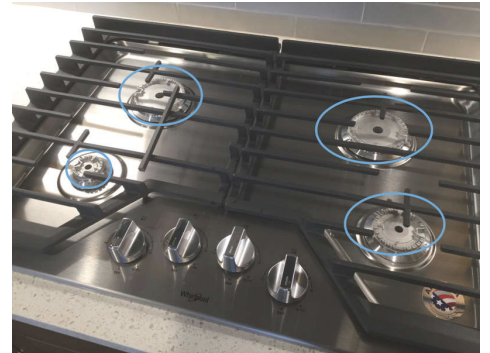


10.2.1 Range/Oven/Cooktop
MISSING BURNER PLATES
COOKTOP

 Maintenance/Monitor Item

The cooktop is missing burner plates that help to evenly distribute flame. This appliance did not appear to be fully installed at the time of inspection. Recommend ensuring appliance is properly installed and functional prior to closing.

Recommendation
Contact a qualified appliance repair professional.



10.4.1 Garbage Disposal
DISPOSAL MALFUNCTION
KITCHEN

 Immediate Attention / Safety Item

The garbage disposal malfunctioned during testing and began to smoke. This is a fire hazard. A qualified contractor should evaluate this installation and repair or replace unit.

Recommendation
Contact a qualified appliance repair professional.



11.3.1 Walls & Firewalls
FIREWALL COMPROMISED
GARAGE

 General Repair Item

The firewall is compromised in one or more areas. This can allow a garage fire to spread more easily to the interior. Combustibles are more likely to be stored in the garage, and therefore, fires are more likely to start there. No gaps should exist and all firewall materials should be made of fire-resistant material. Gaps should be sealed with a fire-resistant sealant or other appropriate material. Recommend repair of compromised areas by a qualified contractor.

Recommendation
Contact a qualified professional.



11.6.1 Occupant Door (From garage to inside of home)

General Repair Item

NOT SELF-CLOSING

GARAGE - STORAGE BENEATH STAIRS

A door from the garage to the interior of the home has inadequate self-closing hinges or may need adjustment. Self-closing doors between the garage and home help to prevent the spread of a fire to the living space in the event of a garage fire. Combustible materials are more likely to be stored in the garage, and therefore, fires are more likely to begin there. Additionally, self-closing doors can help reduce the chance of vehicle- and gas appliance-created carbon monoxide from entering the home. Recommend a qualified contractor properly install or adjust self-closing hinges.

[DIY Resource Link.](#)

Recommendation

Contact a handyman or DIY project

