



## SUMMARY

1234 Main St. Naches WA 98937

Buyer Name  
01/24/2018 9:00AM

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### 2.1.1 Vegetation, Grading & Drainage

#### UNFAVORABLE CONDITION



Garden beds and planter boxes installed against exterior siding or foundation may pose a risk of moisture damage to structure and are generally not recommended. Recommend further evaluation and repair/remedy as needed.

#### Recommendation

Contact a qualified general contractor.



### 3.1.1 Siding, Flashing & Trim

#### PAINT PEELING

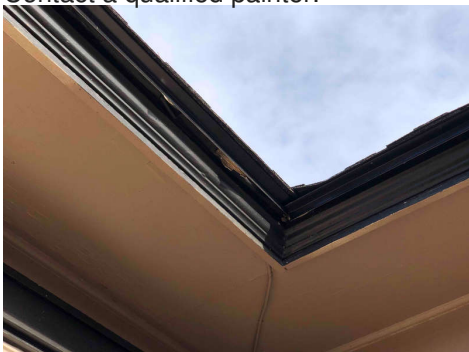
THROUGHOUT EXTERIOR

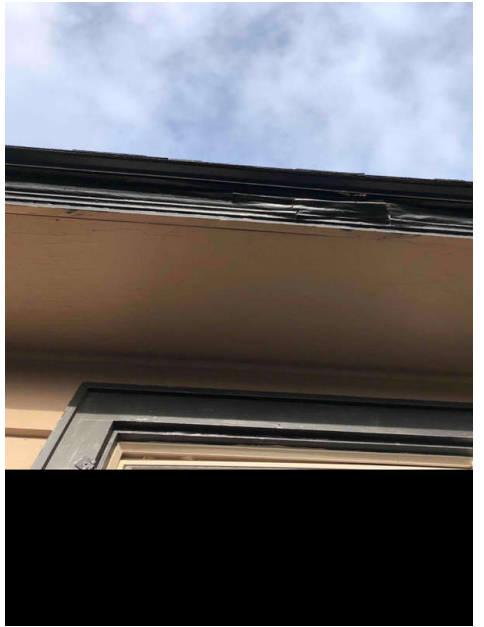


Peeling paint noted at exterior. Recommend maintaining paint/seal at all exterior wood siding, trim, posts, decks, etc. as needed to prevent possible compromise.

#### Recommendation

Contact a qualified painter.





### 3.2.1 Exterior Doors & Windows

#### **FAILED SEALS**

##### FRONT ENTRY

Condensation between window panes indicates a failed seal. Recommend qualified professional further evaluate and repair or replace as needed.

##### Recommendation

Contact a qualified window repair/installation contractor.



### 3.3.1 Decks, Balconies, Porches & Steps

#### **DETERIORATED TRIM**

##### PATIO COVER

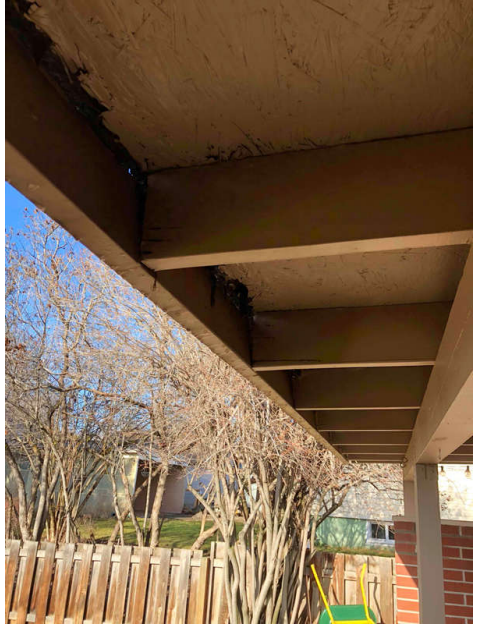
Moisture damage and deterioration noted at patio cover eaves and sheathing. Saturated trim and ledger boards may trap moisture against structural wood framing causing eventual rot/deterioration and potential structural compromise. Recommend further evaluation by a qualified professional and repair.

##### Recommendation





Contact a qualified carpenter.



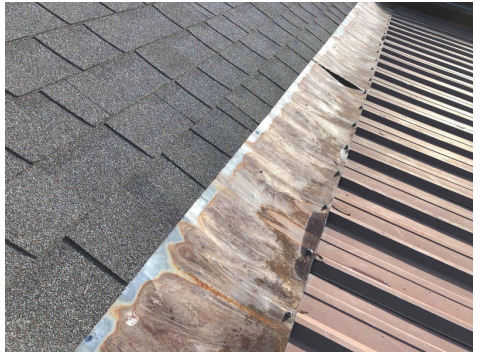
#### 4.1.1 Coverings

### MINOR MAINTENANCE NEEDED

Some lifted shingles, loose flashing and exposed nail heads observed. Lifted shingles due to nail pops may be more susceptible to wind damage. Exposed nail heads and loose flashing should be sealed to prevent possible moisture intrusion.

Recommendation

Contact a qualified roofing professional.





4.2.1 Gutter & Drainage Systems

**GUTTERS NOT INSTALLED**

Recommendation

Home did not have a gutter system installed and may benefit from a proper gutter system with downspouts and extensions.

Recommendation  
Contact a qualified roofing professional.

4.4.1 Chimney & Vent Systems

**DETERIORATED MORTAR**

Recommendation

Deterioration at mortar joints may allow for further moisture penetration risking eventual structural compromise and potential loose/falling bricks. Recommend repair.

\*Chimney and Garage wall (minor)

Recommendation  
Contact a qualified masonry professional.





### 5.5.1 Doors

## DOOR STICKS

### BEDROOM

Some interior doors stick/rub or do not latch smoothly/properly and may be in need of adjustment or repair.

#### Recommendation

Contact a qualified door repair/installation contractor.



### 5.6.1 Steps, Stairways & Railings

## RAILING UNSAFE

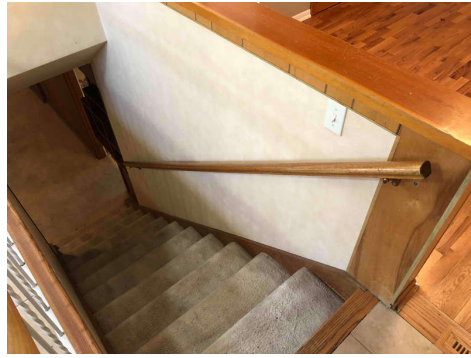


Interior stairs and landings must have a proper hand railing/guardrail system installed with a minimum height of 36" above walking surface. Vertical baluster spacing must not exceed 4" between balusters. Low or horizontal railings may present a safety hazard for children. Hand railing must be secure/stable and supported throughout. Recommend a qualified professional further evaluate and repair to local safety standards.

#### Recommendation

Contact a qualified carpenter.





### 5.7.1 Bathrooms

#### CAULK/SEAL



Recommend maintaining a proper seal at all tub-to-floor and tub-to-wall transitions. Tub/Shower penetrations (tub spout or shower head) must be caulked/sealed to prevent moisture intrusion and possible compromise.

Recommendation  
Contact a qualified handyman.



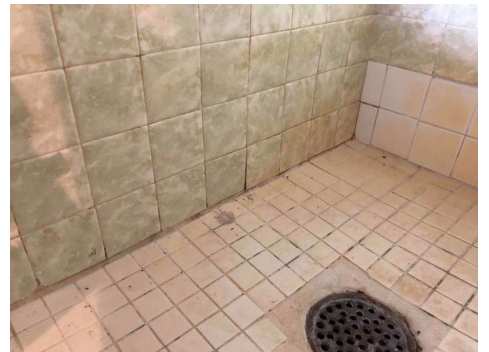
### 5.7.2 Bathrooms

#### CAULK/SEAL TILE SHOWER



Recommend maintaining proper seal at tile shower walls, pan and all tub-to-wall, tub-to-floor transitions to prevent possible moisture intrusion and potential damage. Some cracking noted at tile grout lines.

Recommendation  
Contact a qualified tile contractor





#### 5.10.1 Installed Safety Equipment

### **BASEMENT EGRESS**

 Safety Hazard

Some basement living space/s do not meet modern safety standards for fire/emergency egress (secondary means of exit). Although this home may predate such codes, it is an important consideration when using these rooms for living or sleeping quarters. Inspector recommends installing proper means of secondary egress at all bedroom/sleeping areas for optimal safety.

#### Recommendation

Contact a qualified general contractor.



#### 5.10.2 Installed Safety Equipment

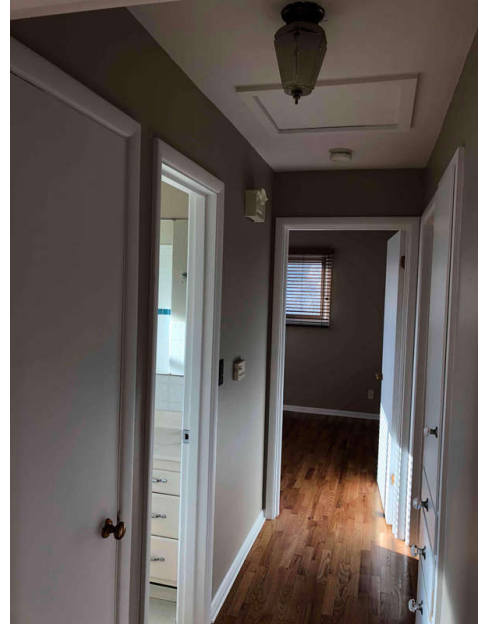
### **CARBON MONOXIDE DETECTORS**

 Safety Hazard

Carbon Monoxide Detectors are required to be installed on each floor and outside all bedroom/sleeping areas. Inspector was unable to confirm/identify Carbon Monoxide Detectors in all required locations at time of inspection. Recommend repair.

#### Recommendation

Recommended DIY Project



### 6.1.1 Service Entrance Conductors

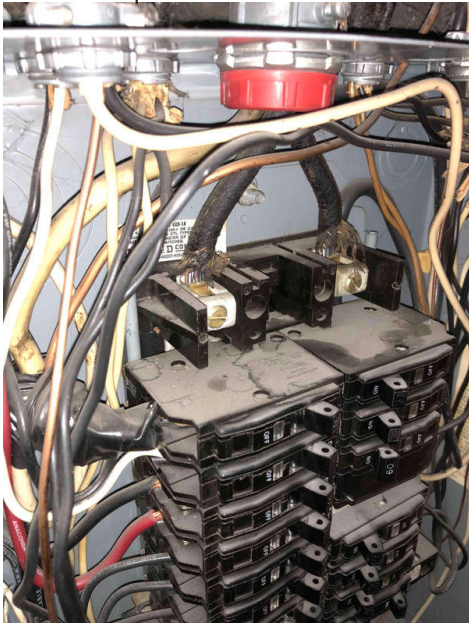
#### **60 AMP METER BASE**

 Recommendation

Round Meter Base and/or undersized Incoming Service Lines indicate a possible 60-125amp Service. Although this is not a defect in and of its self, Inspector recommends further evaluation by a qualified Electrician if any additions or alteration are considered. 60-125 amp Service may be considered under sized by todays standard electrical usage.

#### Recommendation

Contact a qualified electrical contractor.



### 6.2.1 Main Service Panel and Grounding

#### **DOUBLE TAPPING**

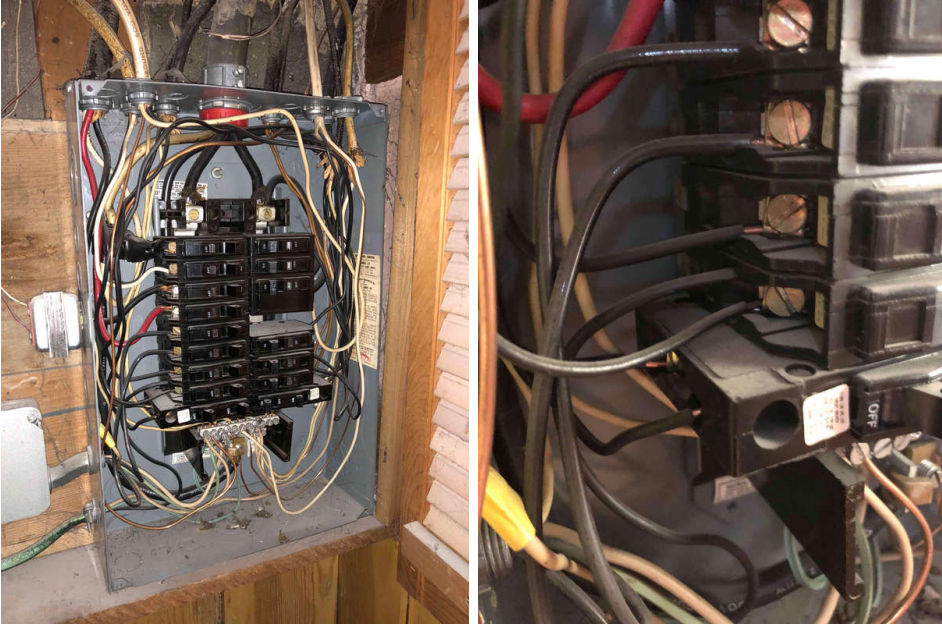
 Recommendation

Double tapping of circuit breaker is generally not recommended or allowable and may be indication that panel has been tampered with or work performed by an unqualified person. Recommend further evaluation by a qualified professional and repair or replace as needed.

#### Recommendation



Contact a qualified electrical contractor.



6.3.1 Branch Circuit Conductors  
**EXPOSED ENDS & SPLICES**

EXTERIOR BASEMENT STAIRWELL

 Safety Hazard

Wire splices/connections and terminations must be secured/protected in an approved junction box (or removed completely if not in use). Potential safety hazard. Recommend a qualified professional repair as needed.

Recommendation

Contact a qualified electrical contractor.



6.5.1 Polarity and Grounding of Receptacles  
**"OPEN GROUND"**

THROUGHOUT

 Recommendation

Inspector noted ungrounded or "open ground" three-prong outlet/s at time of inspection. Recommend a qualified professional further evaluate and repair or replace as needed.

Recommendation

Contact a qualified electrical contractor.



### 6.6.1 GFCI & AFCI

## **GFCI/AFCI PROTECTION MISSING**

THROUGHOUT

Modern Code requires GFCI and AFCI protection throughout home. Outlets in one or more required locations was not protected at time of inspection. For optimal safety Inspector recommends qualified professional install GFCI and AFCI devices as recommended by modern industry standards. [Here is a link](#) to read about how GFCI and AFCI receptacles keep you safe.

Recommendation

Contact a qualified electrical contractor.



### 7.1.1 Supply Plumbing

## **GALVANIZED PIPING**

THROUGHOUT

Galvanized supply piping observed. Galvanized supply piping should be considered a Deferred Cost Item and may be at or nearing the end of its estimated useful life. Anticipate future maintenance and/or replacement. Recommend further evaluation by a qualified professional.

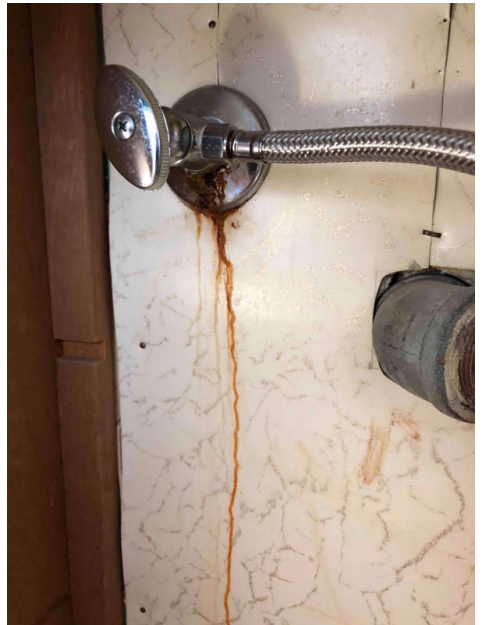
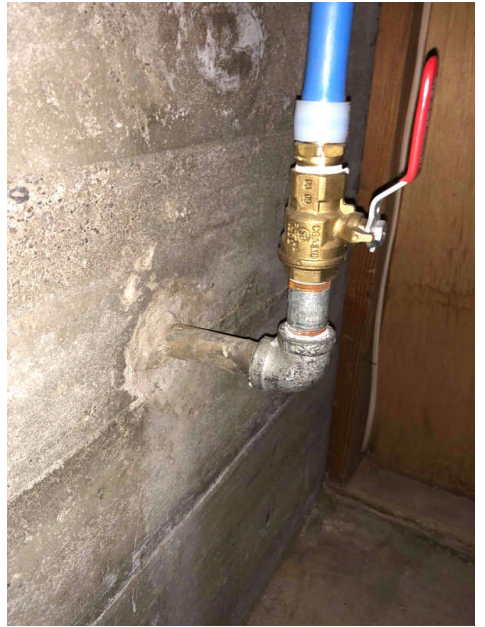
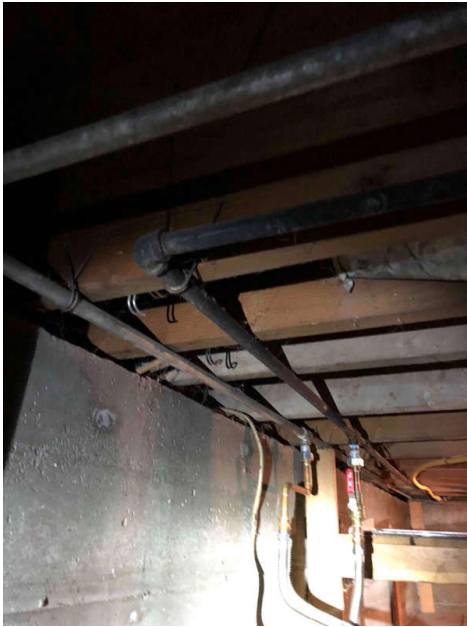
\*Some evidence of past leaks and past repairs noted.

Recommendation

Contact a qualified plumbing contractor.







7.2.1 Fixtures / Faucets  
**FIXTURE DAMAGED**

BATHROOM

Fixture damaged or not operating properly and may be in need of repair. Recommend further evaluation and repair or replace as needed.

Recommendation

Contact a qualified plumbing contractor.





7.3.1 Drain / Waste, & Vent Systems  
**DRAIN STOP NOT OPERATING**

BATHROOM

Mechanical drain stop/plug not operating properly. Recommend repair.

Recommendation  
Contact a qualified professional.

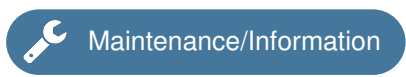


7.3.2 Drain / Waste, & Vent Systems  
**POOR/SLOW DRAINAGE**

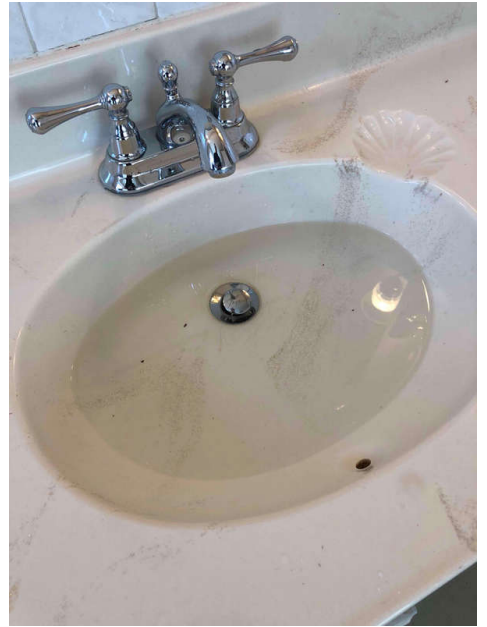
BATHROOM

Poor restricted drainage was observed at time of inspection.  
Recommend a qualified plumber evaluate and repair/remedy as needed.

Recommendation  
Contact a qualified plumbing contractor.







#### 8.1.1 Equipment

### **WIRING NOT SECURE**

#### BEDROOM UTILITY ROOM

Wiring must be secured and protected from accidental damage. Recommend a qualified professional further evaluate and repair as needed.

#### Recommendation

Contact a qualified electrical contractor.



#### 9.1.1 Heating Equipment

### **FILTER NOT SEALED**

Furnace Filter cover improper or not installed. System air leaks will result in decreased system efficiency and unneeded maintenance due to dirty coils. Recommend repair or replace as needed.

#### Recommendation

Contact a qualified HVAC professional.





### 9.2.1 Distribution Systems

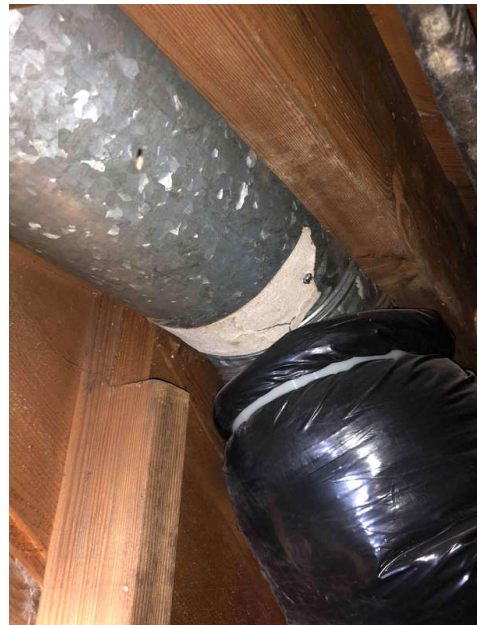
## POSSIBLE ASBESTOS MATERIALS



Some HVAC ducting was wrapped in cloth ducting tape. Cloth ducting tape is known to be a product that may contain Asbestos and should not be removed or disturbed without first consulting a qualified Environmental Contractor. Cloth ducting tape is generally not considered to be a health risk if it is left undisturbed on the outside of supply ducting. See a helpful article [here](#).

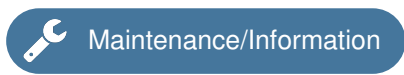
#### Recommendation

Contact a qualified environmental contractor



### 10.1.1 Cooling Equipment

## INSULATION MISSING OR DAMAGED



Missing or damaged insulation on refrigerant line can reduced system efficiency and produce condensation leading to possible moisture



damage in some installation situations. Recommend repair or replace as needed.

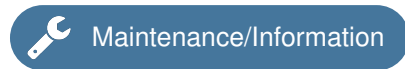
Recommendation

Contact a qualified HVAC professional.



### 10.1.2 Cooling Equipment

## DEFERRED COST ITEM



AC appears to be 15 years old or more and should be considered a Deferred Cost Item. This comment is based off of an estimated life expectancy of 15-20 years. Anticipate maintenance and/or future replacement. Recommend regular maintenance and inspection by a qualified HVAC professional.

Recommendation

Recommend monitoring.



### 12.1.1 Attic

## ATTIC VENTILATION POSSIBLY INSUFFICIENT



Attic venting is possibly insufficient or restricted for adequate attic ventilation/circulation. Modern standards recommend 1.5 square feet of venting area for every 300 square feet of attic floor space and a combination of high and low venting source. Recommend an attic entilarion contractor further evaluate and remedy. Black spotty staining and/or white biological growth noted at some attic sheathing and/or framing. Possible Mold, possible health risk. Recommend further evaluation and testing by a qualified Environmental Contractor and repair/remedy as needed.

Recommendation

Contact a qualified environmental contractor



### 12.1.2 Attic

## EXHAUST VENTS NOT SEALED/SECURED

 Recommendation

### ATTIC

Bathroom and Kitchen exhaust vent/s were not a secured/sealed termination to exterior. Condition conducive to excessive moisture in attic space. Recommend repair or replace as needed.

\*Some spotty staining or suspicious growth observed around Kitchen exhaust vent. See Ventilation comments.

### Recommendation

Contact a qualified general contractor.



### 12.1.3 Attic

## VERMICULITE INSULATION

 Safety Hazard

Vermiculite insulation noted in attic space. Vermiculite insulation is known to contain asbestos and may be considered a health risk. Recommend further evaluation and testing by a qualified environmental contractor and repair/remedy as needed.



Recommendation  
Contact a qualified environmental contractor



#### 14.1.1 Fireplaces, Stoves & Inserts **GENERAL RECOMMENDATION**

 Maintenance/Information

Regular maintenance and inspection is required with all fossil fuel burning appliance flues. Recommend having all fireplace and wood burning appliance flues serviced and inspected by a qualified chimney professional prior to use.

Recommendation  
Contact a qualified repair chimney contractor.



#### 15.3.1 Dishwasher **NOT SECURED**

 Recommendation

Dishwasher was not properly secured to cabinets/countertop and may be prone to tipping. Recommend repair.

\*Dishwasher door spring was damaged or not operating properly.

Recommendation  
Contact a qualified appliance repair professional.

