



Summary of items inspected.

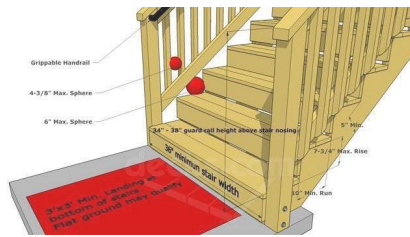
2.2.1 Decks, Balconies, Porches & Steps

IMPROPER HANDRAIL

DECK AREA

Handrail is improper per current safety standards, handrails are required to meet graspability dimensions. Recommend licensed contractor to repair to current safety standards.

Recommendation
Contact a qualified carpenter.



Example photo only

Recommend updating railing
current safety standards

2.2.2 Decks, Balconies, Porches & Steps

DECK - LOOSE BOARDS

POOL AREA

One or more deck boards were observed to be loose. Loose deck boards may present a possible trip hazard. Recommend they be refastened to prevent possible injuries.

[Here is a helpful article](#) for minor DIY deck repair.

Recommendation
Contact a qualified deck contractor.



Composite deck board near pool is damaged this is a potential trip hazard

2.2.3 Decks, Balconies, Porches & Steps

DECK - UNSTABLE SUPPORT

EXTERIOR SOUTH WEST

One of more areas of the deck support appears unstable. This could cause a safety hazard and further deterioration of the deck. Recommend qualified deck contractor evaluate and repair.

Recommendation

Contact a qualified deck contractor.

 Potential Safety Hazard



Front deck support posts show signs of movement

2.2.4 Decks, Balconies, Porches & Steps

DECK - WATER SEALANT REQUIRED

EXTERIOR

Deck is showing signs of weathering and/or water damage. Recommend water sealant/weatherproofing be applied.

[Here is a helpful article](#) on staining & sealing your deck.

Recommendation

Recommended DIY Project

 Recommended repair

3.1.1 Siding, Flashing & Trim

CHECKING

EXTERIOR

Wood veneer shows typical amount of checking. Recommend sealing wood surface as needed to prevent damage.

Recommendation

Contact a qualified professional.

 Recommended repair



Checking of lumber observed on exterior siding. This is normal as material ages recommend applying

3.6.1 Eaves, Soffits & Fascia

PEST DAMAGE

EXTERIOR

Evidence of carpenter bee damage observed on areas of wood siding, fascia and rake boards recommend licensed pest control professional to evaluate and repair as needed.

Recommendation

Contact a qualified pest control specialist.

 Recommended repair



Carpenter bee type damage



Carpenter bee type damage

4.1.1 Coverings

MOSS

Recommend cleaning moss buildup from roof material to prevent premature failure of materials

Recommendation

Contact a qualified roofing professional.

 Recommended repair



Moss observed on roof surface, recommend cleaning to prevent premature failure of roof material

8.4.1 Walls and Ceilings

TYPICAL CRACKS OBSERVED

 Recommended repair

Typical cracks in drywall/plaster were observed. These cracks may develop due to normal aging of a home, minor settling, as well as moisture/temperature changes. Recommend repair as needed. No evidence of structural defect observed at time of inspection.

Recommendation

Contact a qualified drywall contractor.

10.3.1 Walls and Ceilings

TYPICAL CRACKS OBSERVED

 Recommended repair

Typical cracks in drywall/plaster were observed. These cracks may develop due to normal aging of a home, minor settling, as well as moisture/temperature changes. Recommend repair as needed. No evidence of structural defect observed at time of inspection.

Recommendation

Contact a qualified drywall contractor.

11.9.1 Ventilation

VENTILATION FAN NOT PRESENT

 Recommended repair

A ventilation fan is not currently installed in bathroom area. Installation of a proper vent fan is recommended to better control moisture and prevent possible moisture damage.

Recommendation

Contact a qualified professional.

12.4.1 Walls and Ceilings

TYPICAL CRACKS OBSERVED

 Recommended repair

Typical cracks in drywall/plaster were observed. These cracks may develop due to normal aging of a home, minor settling, as well as moisture/temperature changes. Recommend repair as needed. No evidence of structural defect observed at time of inspection.

Recommendation

Contact a qualified drywall contractor.

13.1.1 Walls and Ceilings

TYPICAL CRACKS OBSERVED

 Recommended repair

Typical cracks in drywall/plaster were observed. These cracks may develop due to normal aging of a home, minor settling, as well as moisture/temperature changes. Recommend repair as needed. No evidence of structural defect observed at time of inspection.

Recommendation

Contact a qualified drywall contractor.

16.1.1 Steps, Stairways & Railings

HANDRAIL IMPROPER

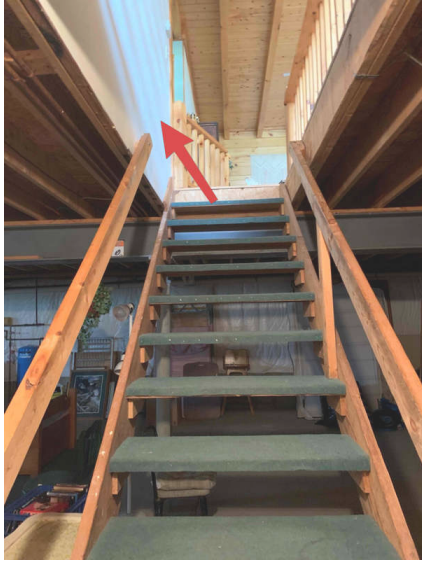
BASEMENT

 Potential Safety Hazard

Interior staircase handrails do not meet current safety standards. Recommend licensed contractor to repair to current safety standards to prevent possible injuries.

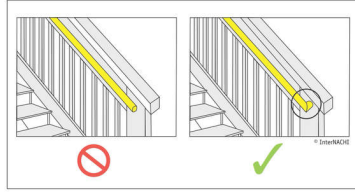
Recommendation

Contact a qualified carpenter.



Improper handrail

Handrail Return



From the 2015 IRC:

R311.7.8.2 **Continuity.** Handrails for stairways shall be continuous for the full length of the flight, from a point directly above the top riser of the flight to a point directly above the lowest riser of the flight. Handrail ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to a wall shall have a space of not less than 1-1/2 inches (38 mm) between the wall and the handrails.

Exceptions:

1. Handrails shall be permitted to be interrupted by a newel post at the turn.
2. The use of a volute, turnout, starting easing or starting newel shall be allowed over the lowest tread.

Example photo only

17.3.1 Water Supply, Distribution Systems & Fixtures

CORRODED CONNECTIONS

BASEMENT

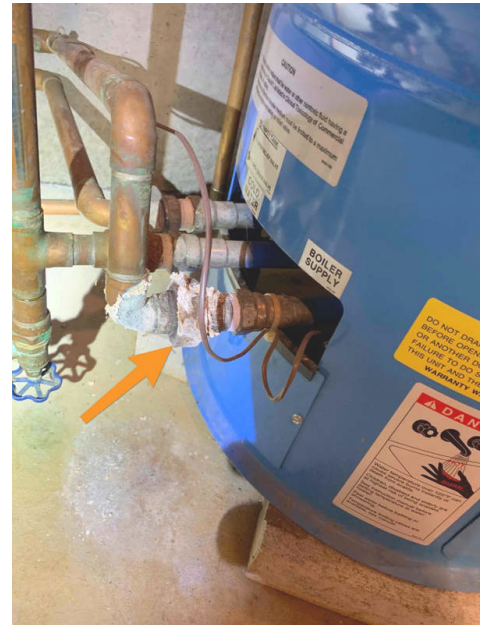
Evidence of corrosion was observed on some piping connections. Recommend licensed plumber to repair as needed.

Recommendation

Contact a qualified plumbing contractor.



Recommended repair



Corroded connections are prone to failure

19.1.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device

IMPROPER SUB-PANEL

BASEMENT, OUT BUILDING

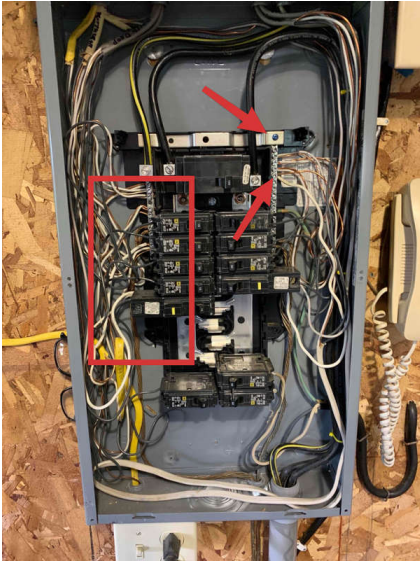
Electrical sub-panels require the "Neutrals to be Isolated and Grounds separated" This is not the case in this sub-panel. Recommend licensed electrician to repair to prevent possible injuries.

Recommendation

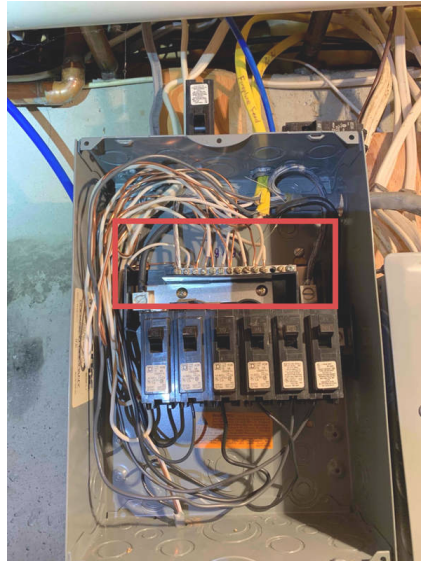
Contact a qualified electrical contractor.



Potential Safety Hazard



Sub electric panel in out building is improper



Sub electric panel in basement is improper

19.1.2 Main & Subpanels, Service & Grounding, Main Overcurrent Device

DOUBLE TAPPED BREAKER

BASEMENT

Circuit breakers are double tapped. This manufacturer prohibits this practice, recommend licensed electrician to repair to manufacturers specifications.

Recommendation

Contact a qualified electrical contractor.



Potential Safety Hazard



Circuit breaker manufacture prohibits double tapping of this model