



## RECOMMENDATIONS SUMMARY

1234 Main St. Grand Rapids MI  
49503

Buyer Name  
07/31/2017 9:00AM

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### 2.1.1 Coverings

## IMPROPER/INCOMPLETE NAILING

Roof coverings showed signs of improper installation and fastening. Recommend a qualified roofing contractor evaluate and repair.

#### Recommendation

Contact a qualified roofing professional.



3.1.1 Siding, Flashing & Trim

## FLASHING/TRIM IMPROPERLY INSTALLED

Flashing & trim pieces were improperly installed, which could result in moisture intrusion and damaging leaks. Recommend a qualified siding contractor evaluate and repair.

Recommendation

Contact a qualified professional.



3.1.2 Siding, Flashing & Trim

## DRYER VENT

Dryer vent in need of repair or replacement

Recommendation

Contact a qualified professional.



3.1.3 Siding, Flashing & Trim

## SMALL LOCALIZED DAMAGE

There was on or more areas with small localized damage to the exterior siding

Recommendation

Contact a qualified professional.



3.2.1 Exterior Doors

## DOOR DOES NOT CLOSE OR LATCH

Garage door does not close or latch properly. Recommend qualified handyman adjust door so that top left corner closes.

Recommendation

Contact a qualified door repair/installation contractor.



### 3.3.1 Walkways, Patios & Driveways

## DRIVEWAY CRACKING - MINOR

Minor cosmetic cracks observed, which may indicate movement in the soil. Recommend monitor and/or have concrete contractor patch/seal.

#### Recommendation

Contact a qualified concrete contractor.



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### 3.4.1 Decks, Balconies, Porches & Steps

## DECK - WATER SEALANT REQUIRED

Deck is showing signs of weathering and/or water damage. Recommend water sealant/weatherproofing be applied.

[Here is a helpful article](#) on staining & sealing your deck.

#### Recommendation

Recommended DIY Project

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3.4.2 Decks, Balconies, Porches & Steps

# RAILING UNSAFE/MISSING

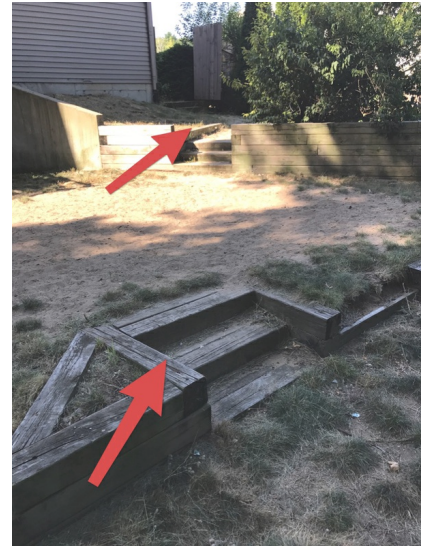
**⚠ Safety Hazard and/or Requires Immediate Attention**

There was one or more areas with 3 steps or more that had an unsafe or missing railing. This is a safety concern and should be addressed by a qualified contractor.

Railings on deck were wobbly and should be properly secured.

Recommendation

Contact a qualified carpenter.



3.6.1 Vegetation, Grading, Drainage & Retaining Walls

## NEGATIVE GRADING

Grading is sloping towards the home in some areas. This could lead to water intrusion and foundation issues. Recommend qualified landscaper or foundation contractor regrade so water flows away from home.

[Here is a helpful article](#) discussing negative grading.

Recommendation

Contact a qualified landscaper or gardener.



3.6.2 Vegetation, Grading, Drainage & Retaining Walls

## LOOSE RETAINING WALL

Wooden retaining wall was loose at the time of inspection. Repair or replace with proper retaining wall.

Recommendation

Contact a qualified professional.



4.3.1 Floor Structure

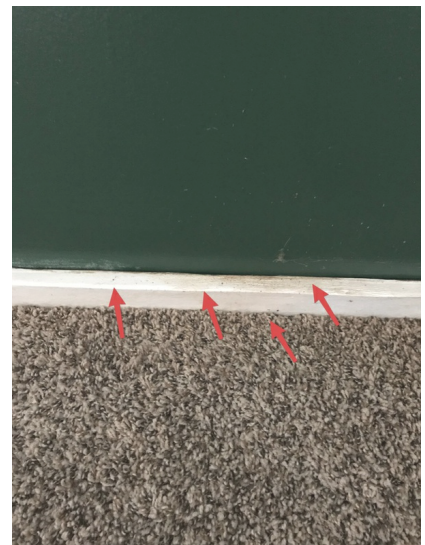
## EVIDENCE OF WATER INTRUSION

**⚠️ Safety Hazard and/or Requires Immediate Attention**

There were signs of water intrusion in the underlying floor structure. Recommend identifying source of moisture and repairing.

Recommendation

Contact a qualified professional.



4.6.1 Garage Structure

# EVIDENCE OF WATER INTRUSION

GARAGE

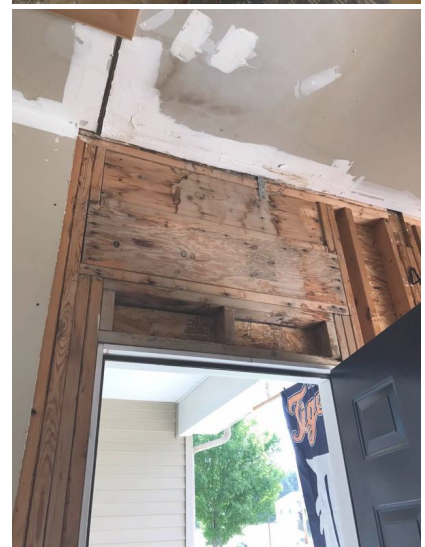
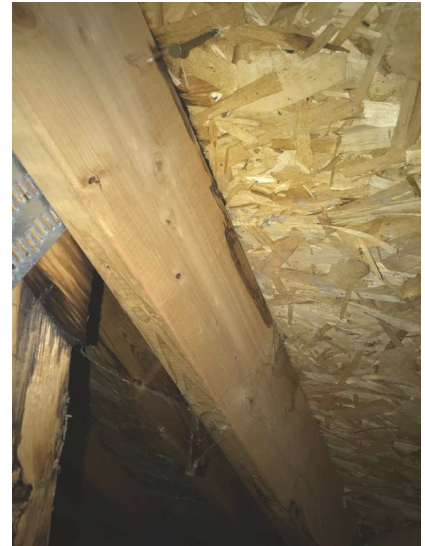
**⚠ Safety Hazard and/or Requires Immediate Attention**

Wall structure showed signs of previous water intrusion, which if not properly fixed could lead to more serious structural damage. Recommend a qualified contractor identify source or moisture and remedy.

Note: this may have already been repaired but since there has not been recent rain it is hard to tell.

Recommendation

Contact a qualified roofing professional.



### 5.1.1 Equipment

## NEEDS SERVICING/CLEANING

Furnace should be cleaned and serviced annually. Recommend a qualified HVAC contractor clean, service and certify furnace.

[Here is a resource](#) on the importance of furnace maintenance.

#### Recommendation

Contact a qualified HVAC professional.

### 5.1.2 Equipment

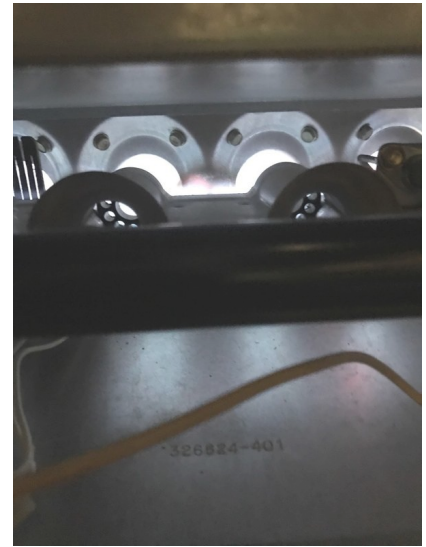
## POSSIBLE HEAT EXCHANGER ISSUE

**⚠ Safety Hazard and/or Requires Immediate Attention**

The burner flame on the furnace was flickering yellow during inspection. This can sometimes be a result of an issue with the heat exchanger. It is recommended to have the furnace fully inspected by an HVAC professional to determine whether the furnace is just burning inefficiently or if there are heat exchanger issues present

#### Recommendation

Contact a qualified HVAC professional.



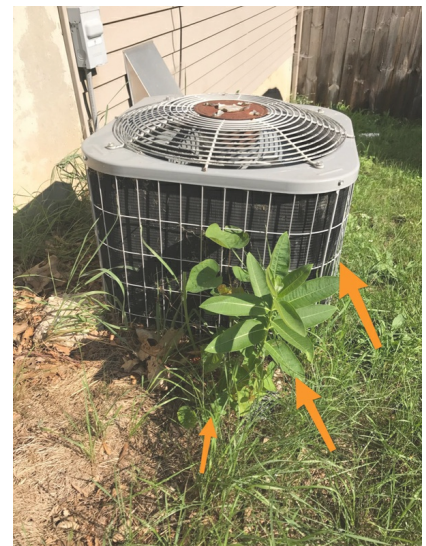
### 6.1.1 Cooling Equipment

## VEGETATION TOO CLOSE

Vegetation was too close to the compressor, which can limit heat dissipation and limit effectiveness. Recommend cutting back vegetation to avoid overheating compressor.

#### Recommendation

Recommended DIY Project





6.1.2 Cooling Equipment

# UNIT UNDERSIZED

Unit appears to be too small for the home size. A proper cooling load calculation should be used to determine the correct size of the unit.

Recommendation

Contact a qualified HVAC professional.



7.2.1 Drain, Waste, & Vent Systems

# LEAKING PIPE

A drain, waste and/or vent pipe showed signs of a leak. Recommend a qualified plumber evaluate and repair.

Recommendation

Contact a qualified plumber.



## TOILET

Toilet mechanism sticks when flushed. Should be repaired or replaced.

Recommendation  
Contact a qualified plumber.



## IMPROPER INSTALLATION

**⚠ Safety Hazard and/or Requires Immediate Attention**

Water heater flue was improperly installed. It should go up a 1/4 inch per foot. Recommend qualified plumber evaluate & repair/relocate.

Recommendation  
Contact a qualified plumber.



## IMPROPER WIRING

Light and fan controls are switched

Recommendation  
Contact a qualified electrician.



8.6.1 Smoke Detectors

## LOW BATTERY

**⚠ Safety Hazard and/or Requires Immediate Attention**

Smoke detector failed to respond when tested. Recommend battery be replaced.

Recommendation  
Recommended DIY Project



8.7.1 Carbon Monoxide Detectors

## MISSING

**⚠ Safety Hazard and/or Requires Immediate Attention**

Carbon Monoxide detector was missing from one or more locations. Recommend installation of at least one low level CO monitor per floor.

Recommendation  
Contact a qualified professional.

10.1.1 Doors

## WATER STAINING

Door shows noticeable water staining, which could lead to further deterioration. Monitor for future repair or replacement.

Recommendation  
Contact a quality handyman.



10.3.1 Floors

## CARPET STAINS

Carpet had areas of staining or discoloration. Recommend a thorough steam clean by a qualified carpet cleaning company

Recommendation

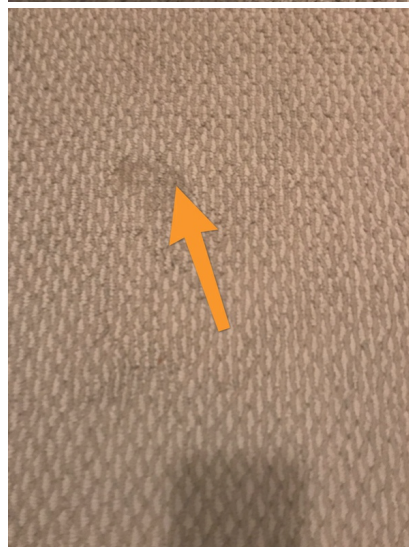
Contact a qualified cleaning service.



10.3.2 Floors

## MODERATE WEAR

Floors in the home exhibited moderate surface wear along major paths of travel. Recommend a qualified flooring contractor evaluate for possible re-finish.



#### 10.4.1 Walls

## MINOR CORNER CRACKS

Minor cracks at the corners of doors and windows in walls. Appeared to be the result of long-term settling. Some settling is not unusual in a home of this age and these cracks are not a structural concern.

#### Recommendation

Contact a qualified professional.



#### 10.5.1 Ceilings

## STAIN(S) ON CEILING

There is a stain on ceiling/wall that requires repair and paint. Source of staining should be determined and ceiling repainted.

#### Recommendation

Contact a qualified professional.



#### 10.5.2 Ceilings

## FAN

One or more fans were not working and in need of service at the time of the inspection. Repair or replace.

#### Recommendation

Contact a qualified electrician.



10.7.1 Countertops & Cabinets

## CABINETS DAMAGED

Cabinets had visible damage at time of inspection. Recommend a qualified cabinets contractor evaluate and repair.

Recommendation

Contact a qualified cabinet contractor.



10.7.2 Countertops & Cabinets

## COUNTERTOP CRACKED/CHIPPED

Countertop had one or more cracks or chips. Recommend qualified countertop contractor evaluate and repair.

[Here is a helpful article](#) on repairing cracks, chips & fissures.

Recommendation

Contact a qualified countertop contractor.



11.2.1 Refrigerator

## DENTS

At the time of inspection the fridge had one or more dings dents or scratches. This did not appear to affect the functionality of the refrigerator.

Recommendation

Contact a qualified appliance repair professional.