



SUMMARY

1234 Main St. Laurelton NJ 08723

Buyer Name
01/04/2019 9:00AM

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2.1.1 Coverings

EXPOSED NAILS

Recommendation

Under-driven or exposed nails were found in one or more roof coverings. Recommend a qualified person caulk with roofing mastic.



2.1.2 Coverings

CRACKED/BROKEN/BUCKLED/MISSING

Recommendation

The roof had one or more cracked/broken/buckled/missing shingle/s. Recommend a qualified roof contractor repair or replace to prevent moisture intrusion.



2.1.3 Coverings

MODERATE ROOF DETERIORATION WITH DEFICIENCIES

 Recommendation

At the time of the inspection, asphalt composition shingles covering the roof exhibited moderate general deterioration commensurate with the age of the roof.

The inspector recommends budgeting for and replacing the roof coverings as soon as possible.

The inspector also recommends if the roof is not replaced immediately, to repair any roof deficiencies listed, so any near future deterioration will be limited until a new roof covering is installed.

Recommendation

Contact a qualified professional.

2.2.1 Roof Drainage Systems

DEBRIS

 Recommendation

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow.

[Here is a DIY resource](#) for cleaning your gutters.



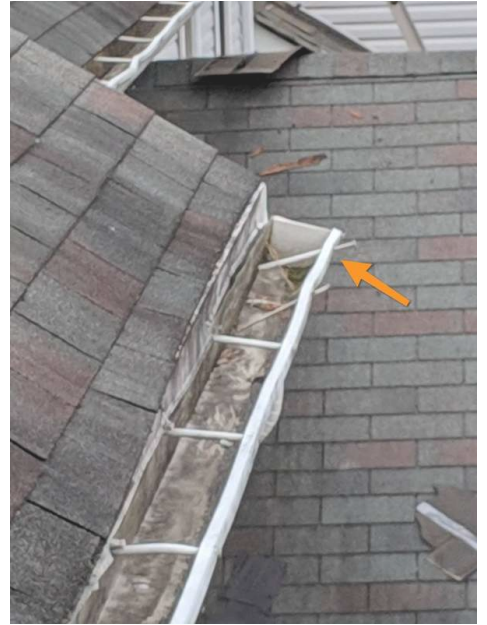
2.2.2 Roof Drainage Systems

 Recommendation

GUTTER DAMAGED

In some areas, the gutters were damaged and the aluminum nails holding the gutter were backing out in others. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement.

Recommend a qualified contractor evaluate and repair.



2.3.1 Flashings

 Recommendation

MISSING

Flashings were missing in one area. Flashings provide protection against moisture intrusion.

Recommend a qualified roofing contractor evaluate and remedy.



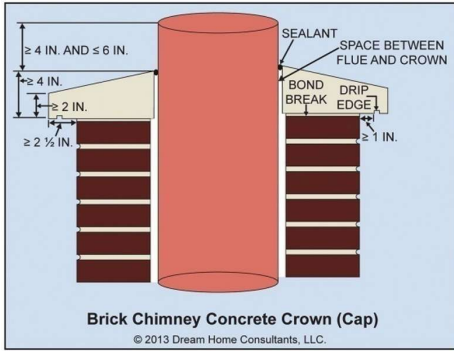
2.4.1 Chimney Exterior

 Recommendation

CHIMNEY CROWN MISSING

No chimney crown was observed. This is important to protect from moisture intrusion and protect the chimney.

Recommend a qualified roofer or chimney expert install.



Cross section of a Crown



2.4.2 Chimney Exterior

CHIMNEY MASONRY PAINT/STUCCO DETERIORATED

Recommendation

The Chimney masonry paint/stucco showed signs of being deteriorated. To extend the lifespan of the chimney and to ensure that safe conditions exist, the Inspector recommends evaluation and any necessary work be performed by a qualified masonry contractor.

Recommendation

Contact a qualified professional.



2.5.1 Skylights/Lightshafts (Exterior)

CAULKING DETERIORATED

Recommendation

Caulking around the skylights flashing showed signs of deterioration. If the roof is not replaced immediately recommend re-caulking by a qualified person to reduce the chances of leakage..

Recommendation
Contact a qualified professional.



3.2.1 Siding, Flashing & Trim **WEEP HOLES MISSING**

 Recommendation

Weep holes were not apparent on the brick or stone veneer siding. Weep holes are small holes in the base of a brick or stone veneer walls, they are exit points for humidity that has permeated into the walls.

Excessive humidity can deteriorate prematurely the wall structure. Recommended qualified siding contractor evaluate and correct.

Recommendation
Contact a qualified professional.



3.2.2 Siding, Flashing & Trim **CAULKING DETERIORATIONS**

 Recommendation

Caulkings around the exterior showed signs of deterioration. These caulking keep water from entering the wall cavities.

Recommend assessment of all caulking and re-caulking where needed by a qualified person.

Recommendation
Contact a qualified professional.



3.4.1 Exterior Doors/Slider

SLIDER TRACKS DEBRIS

 Recommendation

The tracks of the sliding door had debris accumulating.
Recommend cleaning of track and weep holes to prevent any water from entering the home.

Recommendation
Contact a qualified professional.



3.5.1 Decks, Balconies, Porches, and Steps

POST DETERIORATED

 Recommendation

The base of the post holding up the front porch was rotted due to contact with the mulch pile.

Recommend a qualified person repair the post and make the necessary corrections to keep the mulch from covering the post.

Recommendation
Contact a qualified professional.



3.6.1 Walkways, Patios & Driveways

(WALKWAY) TRIP HAZARD

 Safety Hazard

Trip hazards (vertical difference of 3/8 or higher) in the (walkway) appeared to be the result of the expansion or contraction (heaving or settling) of the underlying soil. For safety reasons and at a minimum, I highly recommend beveling the edge to a slope no steeper than a 1:2 ratio. Recommend a complete evaluation by a qualified contractor.

Recommendation
Contact a qualified professional.



3.6.2 Walkways, Patios & Driveways

GENERAL SETTLEMENT AND HEAVING

 Recommendation

The driveway and walkways showed signs of settlement and heaving. This is a common occurrence.

The inspector recommends a qualified contractor assess and make any repairs as deemed necessary.

Also recommend at minimum if nothing else is done, to caulk any cracks or openings with a masonry caulk to limit the process of further deterioration.

Recommendation
Contact a qualified professional.



3.6.3 Walkways, Patios & Driveways

BRICK PAVER DETERIORATION

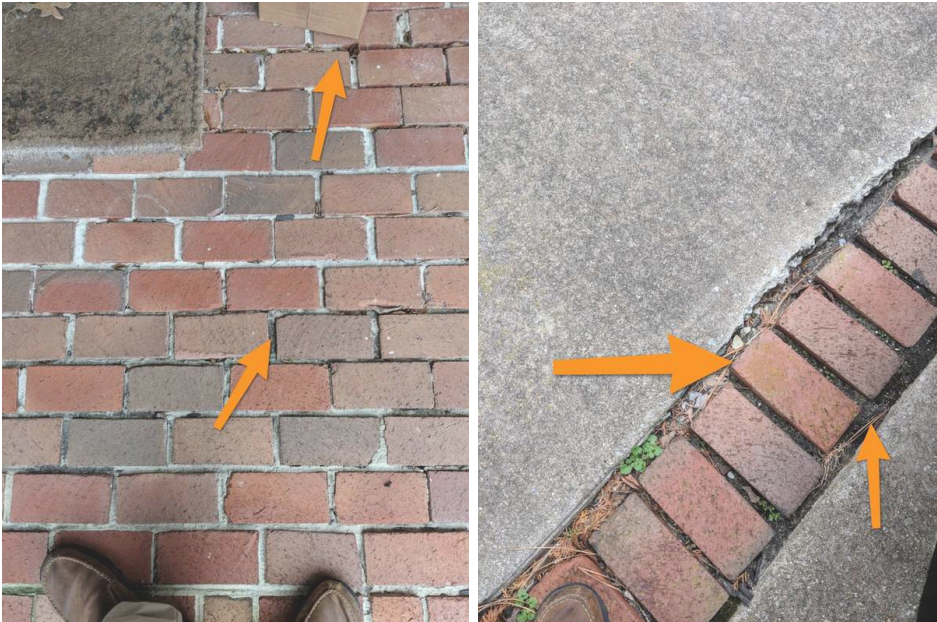
 Recommendation

Bricks were used as pavers in the front of the house and show signs of deterioration.

Most notably the mortar joints.

Recommend repair by a qualified contractor.

Recommendation
Contact a qualified professional.



3.7.1 Vegetation, Grading, & Drainage

TREES NEAR DWELLING

 Recommendation

Trees were observed within 10 ft of the dwelling. Trees should be more than 10ft from a home. The tree's root system can put pressure on the foundation, and exposed roots can be a trip hazard.

Recommend evaluation and correction by a qualified contractor.

Recommendation
Contact a qualified professional.



3.8.1 Garage Door

AUTO REVERSE SENSOR NOT WORKING



The auto reverse sensor was not responding or not adjusted correctly at time of inspection. This is a safety hazard to children and pets.

Recommend a qualified garage door contractor evaluate and repair/replace.

Note: The Auto Reverse Sensor is in addition and not the Motion Detector

3.8.2 Garage Door

MISSING SAFETY CABLES



Installing garage door safety cables can help reduce the risk of damage and serious injury should a garage door spring break when it is under pressure. The garage door safety cable will prevent the spring from flying across the garage if it breaks. If a spring breaks it is usually when it is under pressure, and that is when it is most dangerous.

Recommend installation of safety cables by a qualified person.

Recommendation
Contact a qualified professional.



4.5.1 Roof Structure & Attic

SHEATHING DAMAGE



The sheathing showed visible signs of damage near the firewalls separating the dwelling units. The sheathing near the dormers also seemed to be weak and soft when the inspector was walking on the roof.

A unit nearby was being re-roofed and the workers were asked by the inspector if they were aware of similar problems on the unit that they were working on.

They said that the fire rated plywood deteriorates much more rapidly than normal plywood and that the plywood found in areas that are covering vaulted ceilings are prone to deterioration from lack of ventilation.

These conclusions seem consistent with what was observed.

The inspector recommends qualified contractor assess the situation and repair as necessary.

Recommendation
Contact a qualified professional.



Visible dips



Cracked Sheathing



Cracked Sheathing

4.5.2 Roof Structure & Attic

MISSING REINFORCEMENTS

 Recommendation

It appears at the time of the construction certain trusses were installed to facilitate the possibility of dormers or eventual skylights.

They usually need extra supports added if no opening is made.

It appears the extra supports may be installed incorrectly and missing altogether in some areas.

Recommend a qualified contractor evaluate and repair as necessary

Recommendation
Contact a qualified professional.



Arrow indicates added support. The line indicates missing support

5.1.1 Limitations to confirm presence of insulation

SUGGESTED ENERGY AUDIT



Maintenance Item

Since a home inspection is non-invasive, it is impossible to verify the presence of insulation without opening closed cavities, and much of the system is concealed.

If the client desires to know the dwellings insulation/ventilation systems values and/or performance, the home inspector recommends a comprehensive evaluation by qualified energy consultant/technician.

Recommendation

Contact a qualified professional.

5.2.1 Attic Insulation

DISPLACED INSULATION



Recommendation

Insulation in one or more areas has been displaced.

This will lead to additional energy consumption.

Recommend a qualified contractor install insulation where needed.

Recommendation

Contact a qualified professional.



5.2.2 Attic Insulation

NON INSULATED ATTIC ACCESS



Recommendation

The attic access trap was not insulated. To reduce heat loss through this area, recommend installing an insulated access panel.

Recommendation

Contact a qualified professional.



5.5.1 Ventilation

ATTIC VENTILATION INSUFFICIENT



Attic venting seemed insufficient at the time of inspection.

Modern standards recommend 1.5 square feet of venting area for every 300 square feet of attic floor space.

Evidence of past condensation was visible in areas. (water stained wood)

The sheathing appeared to be deteriorated in areas where the ceiling is vaulted. (More than likely due to insufficient and/or no ventilation in these areas.)

Baffles, which permit air to flow above the insulation were missing in certain areas.

A new attic vent fan appeared to be installed recently and seems to have helped reduce the general humidity since no excessive humidity was measured in the wood sheathing at the time of inspection.

Nonetheless, recommend a qualified contractor evaluate and remedy.



Arrow- Missing baffles Circle - Evidence of condensation (Water stains)

5.7.1 Exhaust Systems Dryer

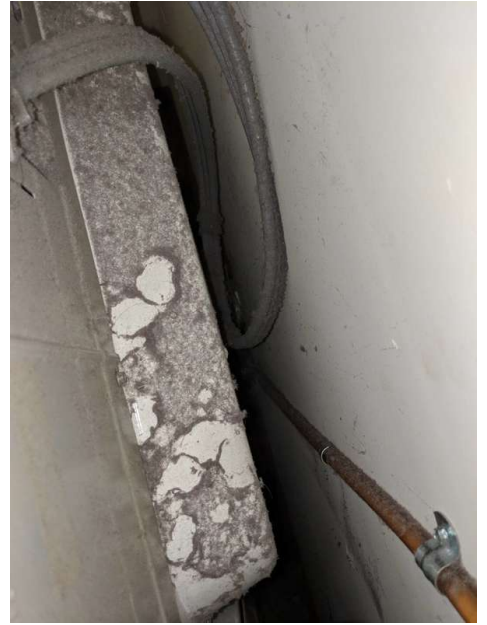
DUCTS LOOSE



Excessive lint was found around the dryer, this could be a result of loose ductwork or clogged ductwork.

Fires from unkept dryer vents are a major cause of household fires.

Recommend a qualified person evaluate repair and clean ductwork as necessary.



6.1.1 Cooling Equipment System 1
NEEDS SERVICING/CLEANING

 Maintenance Item

A/C system should be cleaned and serviced annually. Recommend a qualified HVAC contractor clean, service and certify.

6.1.2 Cooling Equipment System 1
CONDENSER UNIT NOT ELEVATED

 Recommendation

The pad supporting the outdoor condensing unit was not elevated enough above the ground level.

This is causing accelerated deterioration of the component.

Recommend a competent person excavate around the pad so the unit is not in contact with dirt, leaves, or debris.



7.1.1 Maintenance
PERIODIC MAINTENANCE

 Maintenance Item

Due to its non-invasive nature, limitations of viewable portions, and variations in installation requirements of the huge number components and materials installed over the years, and that this home inspection is not a confirmation of proper installation of systems. The home inspection will not be as comprehensive as an inspection performed by a qualified electrical contractor.

As your Home Inspector, safety is one of my primary concerns. Since defaults in electrical systems are a major safety issue, I strongly advise to follow the Electrical Safety Foundations recommendation, **In any of the following situations a licensed electrician should perform a comprehensive electrical inspection: When purchasing a home , When a home is 40 years or older, If an appliance has been added, and When a home has had a major renovation.**

Recommendation

Contact a qualified professional.

7.3.1 Main Disconnect/Panel

RUST IN PANEL

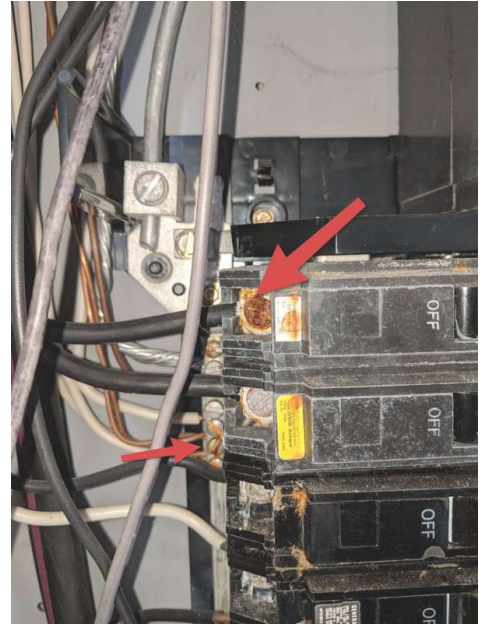
 Safety Hazard

Corrosion was observed in the panel. Moisture can deteriorate the electrical equipment. This is a fire hazard.

Recommend that a licensed electrician inspect and repair as necessary.

Recommendation

Contact a qualified professional.

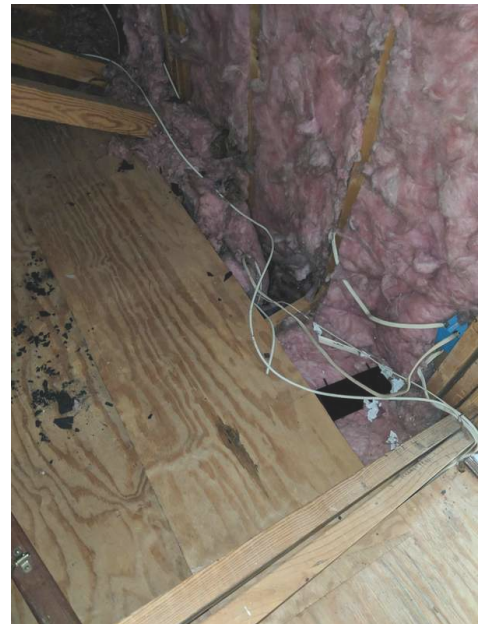


7.4.1 Branch Circuit Conductors

IMPROPER WIRING (SUPPORT)

 Safety Hazard

Improper wiring (wires and electrical boxes not supported or attached correctly) was observed at the time of inspection in the attic. This can be a shock hazard. Recommend a licensed electrician evaluate the whole house and make necessary repairs.



7.7.1 GFCI

NO GFCI PROTECTION INSTALLED

 Safety Hazard

No GFCI protection present in the kitchen.

Recommend licensed electrician upgrade by installing ground fault receptacles in all places required by current standards.

[Here is a link](#) to read about how GFCI receptacles keep you safe.



8.1.1 Heating Equipment System 1

NEEDS SERVICING/CLEANING

 Maintenance Item

Furnace should be cleaned and serviced annually. Recommend a qualified HVAC contractor clean, service and certify furnace.

[Here is a resource](#) on the importance of furnace maintenance.

8.1.2 Heating Equipment System 1

SLIGHT ODOR OF GAS

 Safety Hazard

At the time of inspection, there was a slight odor of gas in the utility room.

This could be a safety issue.

I strongly recommend informing as soon as possible the owner of the property to have a competent contractor or the local utility company inspect and take necessary actions to remediate the problem.

Recommendation

Contact a qualified professional.

9.4.1 Fixtures / Faucets

BATHTUB NEEDS CAULKING

 Recommendation

The caulking in the bathroom tubs second-floor main bathroom and master bathroom are deteriorated.

To prevent water from entering the wall cavity, recommend recaulking by a qualified person

Recommendation

Contact a qualified professional.



9.4.2 Fixtures / Faucets

TOILET NOT SECURED WELL

 Recommendation

The toilet in the main bathroom 2nd floor was not secured well and have a little movement. Recommend a qualified plumber secure the toilet

Recommendation

Contact a qualified professional.



9.5.1 Water Heater

ANNUAL MAINTENANCE FLUSH NEEDED

 Maintenance Item

Water heaters should be flushed annually to prevent sediment buildup and maintain efficiency. Recommend a qualified plumber service and flush.

[Here is a DIY link to help .](#)

10.1.1 Walls

SHEETROCK CRACK

COMMON AREA 3RD FLOOR

 Recommendation

A crack along sheetrock seams in the wall was visible at the time of the inspection.

This problem is often reoccurring and very common when sheetrock is fixed directly to wood framing members.

Recommend repair by a qualified contractor



10.3.1 Floors

TILES CRACKED

MASTER BATHROOM

The floor tiles in the bathroom had cracks.

Recommend repair by a qualified person.

Recommendation

Contact a qualified professional.



Recommendation



10.3.2 Floors

MISSING FLOORING

Laminate flooring was missing in the broom closet (kitchen)

Recommend installation by a qualified person.

Recommendation

Contact a qualified professional.



Recommendation

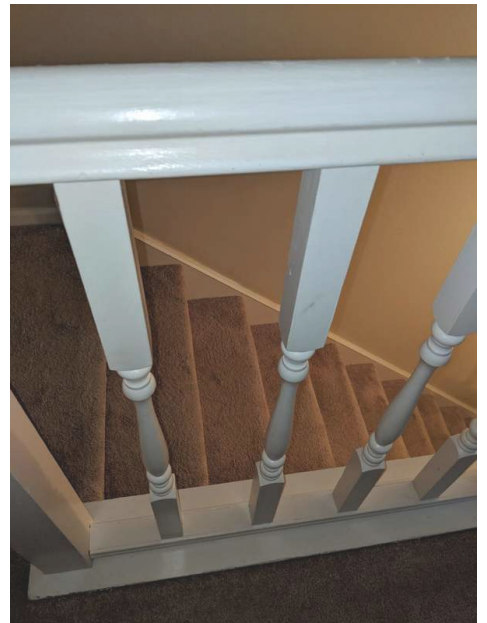


10.4.1 Steps, Stairways & Railings

BALUSTER SPACES TOO WIDE



The baluster space is not up to modern safety standards. The space between balusters should not allow passage of a 4 inch sphere for child safety. Recommend a qualified contractor repair and bring up to current standards.



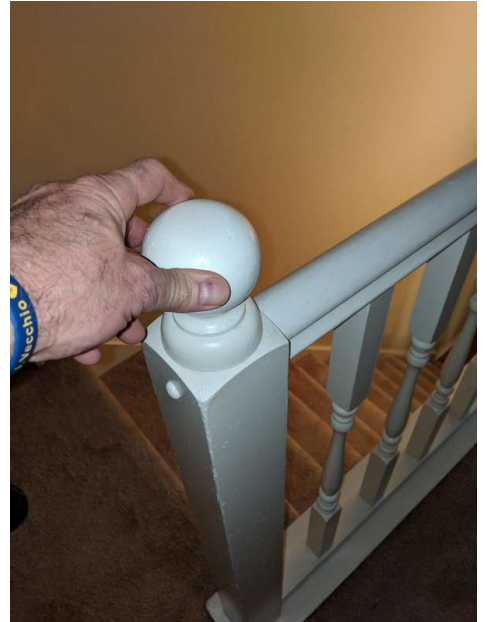
10.4.2 Steps, Stairways & Railings

LOOSE POST



A stair case post was becoming loose. This could eventually pose a safety hazard.

Recommend a qualified handyman evaluate and repair.



10.5.1 Doors

BI-FOLD DOOR NEEDS ADJUSTMENT

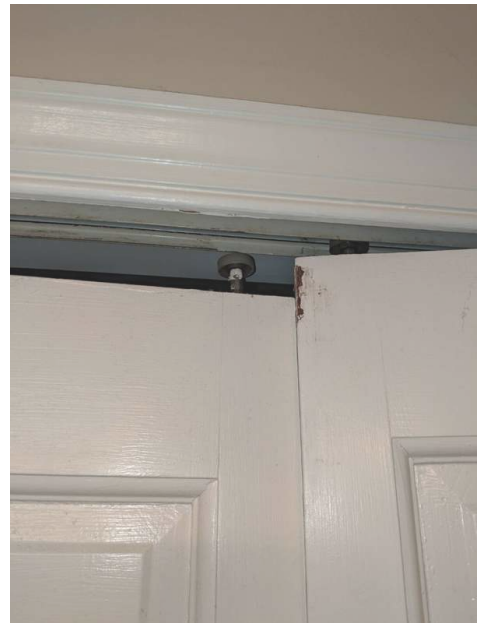
 Recommendation

MAIN BATHROOM 2ND FLOOR

Bi-fold door was not operating correctly and needs adjustments by a competent person.

Recommendation

Contact a qualified professional.



10.5.2 Doors

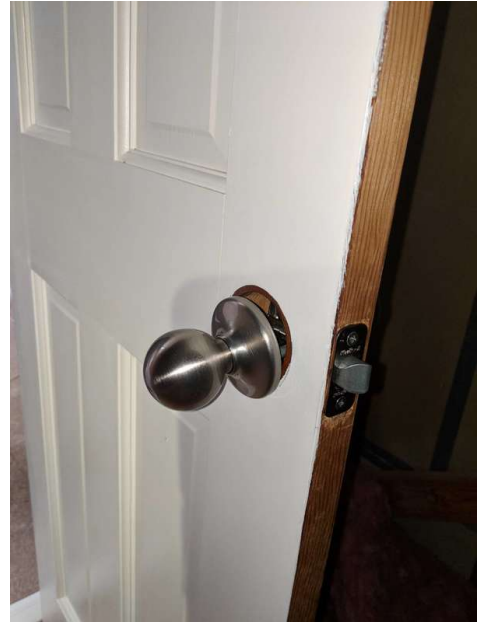
DOORKNOB LOOSE

 Recommendation

The door to the attic area had a doorknob that was loose and needs to be tightened by a qualified person.

Recommendation

Contact a qualified professional.



11.4.1 Countertops & Cabinets

CABINET HINGES LOOSE



Approximately 40% of the cabinet hinges were loose.

Recommend a qualified handyman or cabinet contractor repair any loose hinges.

[Here is a helpful DIY article on cabinet repairs.](#)

12.1.1 Maintenance

PERIODIC MAINTENANCE



As your Home Inspector, safety is a major concern. Defaults in fuel burning systems can cause a house fire or expose the household to deadly carbon monoxide poisoning. I strongly recommend a Level 2 chimney inspection by a qualified individual if you buy a home and are not familiar with the system performance, even if the home inspection does not report on any visible issue.

A Level 2 inspection is an in-depth look at the entire chimney, stove or furnace system and includes a visual inspection of all internal surfaces and joints. It should be done by a qualified individual using a video camera system to look inside the chimney or flue. This allows for a complete top to bottom visual inspection of your system, then a written report will be produced that details all areas that may be of concern

Recommendation

Contact a qualified professional.

13.1.1 Recommended Update

CONSIDER UPDATE



Fires that begin in garages which are physically attached to a house can spread to living areas. For this reason, combined with the multitude of flammable materials commonly found in garages, attached garages should be adequately sealed from living areas. A properly sealed attached garage will ideally restrict the potential spread of fire long enough to allow the occupants time to escape the home or building.

Link for additional info: <https://www.nachi.org/attached-garage-fire-hazards.htm>

The older the home the less likely it is up to modern fire standards and codes. This section (Garage /Fire Containment) does not determine complete compliance with codes, regulations and/or ordinances. **In light of the information provided and possible concerns about fire safety, the inspector recommends to consider a comprehensive evaluation by a qualified contractor and updating any existing condition(s) that does(do) not meet current fire barrier requirements for garages.**

Recommendation

Contact a qualified professional.

13.5.1 Doors

DOOR (FIRE CONTAINMENT)



The Fire door in the Garage appeared not to meet the following standards and/or recommendations.

R309.1 Opening Penetration

Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and the residence shall be equipped with solid wood doors not less than 1-3/8 (35 mm) in thickness, solid- or honeycomb-core steel doors not less than 1-3/8 (35 mm) thick, or 20-minute fire-rated doors.

- While not required by the IRC, it is helpful if there is at least one step leading up to the door from the garage. Gasoline fumes and other explosive gases are heavier than air, and they will accumulate at ground level. Their entry beneath a door will be slowed by an elevation increase.
- Doors should have tight seals around their joints to prevent seepage of fumes into the living areas of the house. Carbon monoxide, with the same approximate density as air (and often warmer than surrounding air), will easily rise above the base of an elevated door and leak through unsealed joints.
- Doors should be self-closing. Many homeowners find these doors inconvenient, but they are safer than doors that can be left ajar. While this requirement is no longer listed in the IRC, it is still a valuable recommendation.
- If doors have windows, the glass should be fire-rated.
- Pet doors should not be installed in fire-rated doors. Pet doors will violate the integrity of a fire barrier.

Link for more info: <https://www.nachi.org/attached-garage-fire-hazards.htm>

Although this may not have been required at the time the home was originally constructed, as general knowledge of safe building practices has improved with the passage of time, building standards have changed to reflect current understanding. For safety reasons, consider updating the existing condition to meet current fire barrier requirements.

Recommend evaluation and corrective actions by a qualified contractor.

Recommendation

Contact a qualified professional.
