



## SUMMARY

1234 Main St. Killeen TX 76547

Buyer Name  
10/09/2018 9:00AM

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### 2.1.1 A. Foundations

#### FOUNDATION CRACKS - MINOR

Recommendation

Foundation has multiple small cracks (North side of home). These cracks should be monitored for further deterioration.

However, multiple settlement cracks in the brick (North and South walls) will be addressed later in this report. An expert evaluation is going to be recommended to address overall structure of home.

Recommendation  
Contact a foundation contractor.



Multiple minor cracks in foundation (North side of home)

### 2.2.1 B. Grading and Drainage

#### GUTTER (DOWNSPOUT) LOOSE AND DAMAGED

Recommendation

Two downspouts were loose and damaged (Southwest and Southeast corners of home). This can lead to improper drainage and foundation issues. Recommend a handyman or gutter company fix the discrepancies.

Recommendation  
Contact a qualified gutter contractor



Downspout not secured properly, damaged, and plugged. (Southwest corner of home)



Downspout loose, damaged, and not aligned with splash block. (Southeast corner of home)

2.3.1 C. Roof Covering Materials

**DAMAGED VENTS BOOTS**

 Recommendation

Multiple vent "boots" were deteriorated (North, South, and West sides of roof). This could cause both pest and water intrusion and needs to be corrected. Recommend a qualified roofer evaluate and repair.

Recommendation  
Contact a qualified roofing professional.



Multiple vent "boots" were deteriorated (South, North, and West sides of home).

2.3.2 C. Roof Covering Materials

**SHINGLES MISSING**

 Recommendation

Numerous shingles missing, and other shingles not laying properly (West side of roof facing backyard). Recommend qualified roofing contractor evaluate & repair.

Recommendation  
Contact a qualified roofing professional.



Numerous shingles missing, and other shingles not laying properly. (this pic is on West side of roof facing backyard).

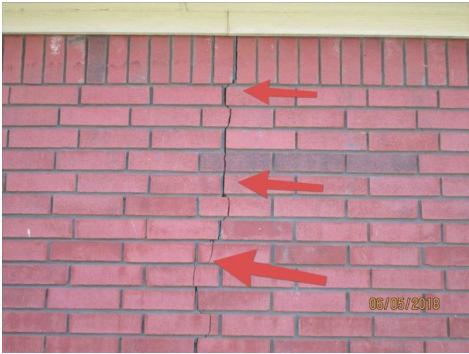
2.5.1 E. Walls (Interior and Exterior)

**CRACKS - MAJOR**

 Recommendation

Major cracking observed in exterior wall structure (North and South sides of home). This could lead to significant costs to correct this, and will most likely get worse over time. This needs to be addressed. Recommend a qualified structural engineer and/or licensed foundation company evaluate and advise on course of action.

Recommendation  
Contact a foundation contractor.



Significant cracking in bricks and mortar noticed in multiple locations on North and South sides of home.

2.5.2 E. Walls (Interior and Exterior)

**CRACKS - MINOR**

 Recommendation

Foundation on both Southwest and Northwest corners of home chipping away, commonly called "Corner Pops." This is typically not serious and tends to happen when the concrete cures over time. Recommend monitoring for further deterioration

Recommendation  
Recommended DIY Project



Foundation on both Southwest and Northwest corners of home chipping away, commonly called "Corner Pops."

### 2.5.3 E. Walls (Interior and Exterior)

#### **EVIDENCE OF WATER INTRUSION**



Support column on back patio shows signs of water damage. This could lead to structural failure, so it needs to be addressed. Recommend a handyman or contractor assess and correct the deficiency.

Wood trim around multiple windows in backyard (mainly around bay window) and back door show signs of water intrusion, which could lead to more serious structural damage. Recommend a qualified contractor identify and fix source of moisture, and replace all damaged wood.

Drywall shows signs of previous water damage (master bedroom closet on wall opposite side of sinks). Recommend a handyman and/or plumber ensure there is no active leak, and repair the damaged area.

#### Recommendation

Contact a qualified handyman.



Support column on back patio shows evidence of water damage.



Trim around window shows signs of water damage. (Northwest corner of home)



Drywall shows signs of previous water damage (master bedroom closet on wall opposite side of sinks)

### 2.5.4 E. Walls (Interior and Exterior)

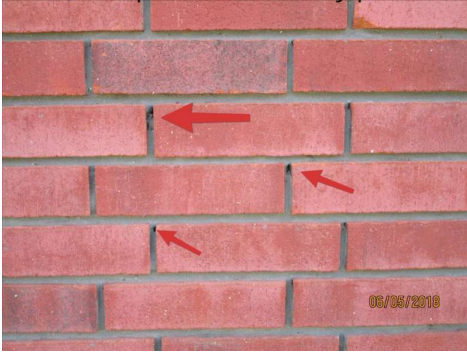
#### **HOLES (OPENINGS) IN EXTERIOR WALLS**



Multiple holes in mortar are present around the home (mainly East and North sides of home). This could lead to water and/or pest intrusion. Recommend a mortar specialist evaluate and repair the defective areas.

Caulking around multiple exterior walls (near windows) is dry rotted and is creating openings. This could lead to water and/or pest intrusion. Recommend a handyman or contractor re-caulk all gaps and cracks around home.

Recommendation  
Contact a qualified masonry professional.



Multiple openings in mortar noticed around home. This photo is on North side of home.



Caulking around multiple windows is dry rotted. This photo taken in front (East side) of home.

2.5.5 E. Walls (Interior and Exterior)

### **CABINET (WOOD) UNDER KITCHEN SINK HAS WATER DAMAGE**

 Recommendation

Wood cabinetry under the kitchen sink shows signs of previous water damage. Depending on extent of previous water damage, this could pose a health issue. Recommend a handyman replace water damaged wood under sink.

Recommendation  
Contact a qualified handyman.



Wood cabinetry under the kitchen sink shows signs of previous water damage.

2.6.1 F. Ceilings and Floors

### **SAGGING DRYWALL**

 Recommendation

Ceiling drywall sagged visibly at the time of the inspection. This situation should be monitored for further deterioration.

Recommendation  
Recommended DIY Project



Drywall on ceiling in garage is sagging in multiple locations.

2.7.1 G. Doors (Interior and Exterior)

 Recommendation

**DOOR STICKS**

Multiple doors throughout home stick when opening and closing, to include pantry door. Recommend a handyman repair all doors that stick.

Recommendation  
Contact a qualified handyman.



Door sticks when opening and closing. (This pic is in Northeast bedroom)

2.7.2 G. Doors (Interior and Exterior)

 Recommendation

**NOTICEABLE GAP**

Gap in bottom (right) of back door. This could result in in energy loss, water and/or pest intrusion. Recommend handyman or door contractor evaluate and repair as necessary.

Recommendation  
Contact a qualified door repair/installation contractor.



Noticeable gap on bottom (right) of back door.

2.8.1 H. Windows

 Recommendation

**FAILED SEAL**

Observed condensation between the window panes (on bay window), which indicates a failed seal. Recommend qualified window contractor evaluate & replace.

Recommendation  
Contact a qualified window repair/installation contractor.

2.8.2 H. Windows

**IMPROPER ALIGNMENT**

 Recommendation

Window in front bedroom (right of front door) is out of adjustment, and cannot be secured. This is a security risk and needs to be addressed. Recommend a window specialist evaluate.

Recommendation

Contact a qualified window repair/installation contractor.



Window in front bedroom (right of front door) is out of adjustment, and cannot be secured.

2.8.3 H. Windows

**MISSING AND/OR DAMAGED SCREEN(S)**

 Recommendation

One window (Southeast corner facing street) was missing a screen, and multiple other screens around the home were either torn, or did not fit properly. Recommend a handyman or window specialist repair and/or replace damaged screens.

Recommendation

Contact a qualified window repair/installation contractor.



Window screen missing (Southeast corner of home facing street)



Multiple screens have holes in them (this is on North side of home)

2.8.4 H. Windows

**WINDOW (GLASS) CRACKED/NOT FUNCTIONING PROPERLY**

 Safety Hazard

Glass in window (bedroom in Southwest corner of home) is cracked. This presents an unsafe situation and needs to be fixed. Recommend a window repair specialist replace the cracked glass.

Middle window (of bay window) does not stay up when opened. This presents a safety issue and should be fixed. Recommend a window repair specialist assess and correct the deficiency.

Recommendation

Contact a qualified window repair/installation contractor.



Glass is cracked in window (Southwest bedroom)

3.2.1 B. Branch Circuits, Connected Devices, and Fixtures

**COVER PLATES MISSING**

 Safety Hazard

No cover plate on receptacle and questionable exposed wire above receptacle in closet (across from sink in master bathroom). This causes a short and/or shock risk. Recommend a licensed electrician assess the wiring and corrects the discrepancy.

Recommendation

Contact a qualified electrical contractor.



No cover plate on receptacle and questionable exposed wire above receptacle. This photo taken in closet (across from sink) in master bathroom.

### 3.2.2 B. Branch Circuits, Connected Devices, and Fixtures

#### **LIGHT INOPERABLE**

 Recommendation

Light switches at front entrance did not turn on associated lights. Recommend replacement of light bulbs and if that does not solve the issue, an electrician to assess and correct the deficiency.

Recommendation

Contact a qualified electrical contractor.

### 3.2.3 B. Branch Circuits, Connected Devices, and Fixtures

#### **NO GFCI PROTECTION**

 Safety Hazard

No GFCI protection found in receptacle "left" of stove in kitchen. (could not get GFCI tester into receptacle to the "right" of stove to test it).

No electricity detected on GFCI outlet to the "left" of sink.

No GFCI protection found in either bathroom.

GFCI protection is required for receptacles in kitchen and bathrooms, so this must be corrected.

Recommend a licensed electrician assess all GFCI receptacles in the home, and repair and/or replace as necessary.

[Here is a link](#) to read about how GFCI receptacles keep you safe.

Recommendation

Contact a qualified electrical contractor.



No GFCI protection detected (outlet left of stove).



No electricity detected at GFCI receptacle to the "left" of kitchen sink.

### SMOKE DETECTORS MISSING

Smoke detectors missing throughout home. This is a safety issue that must be corrected. Recommend installation of smoke detectors.

Recommendation

Contact a handyman or DIY project



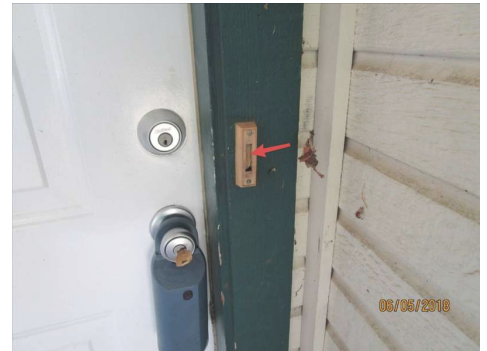
Smoke detector missing (front bedroom to "right" of front door).

### DOORBELL INOPERATIVE

Doorbell does not operate properly. Recommend a handyman replace the doorbell.

Recommendation

Contact a qualified handyman.



Doorbell does not function properly.

### AIR FLOW RESTRICTED

Condenser unit fins in very poor condition, and unit seems to be near end of it's useful life. Air flow to the air conditioner condenser was restricted. This may result in inefficient operation. Recommend a licensed HVAC professional assesses the unit and gives the client their opinion on unit's condition.

Recommendation

Contact a qualified HVAC professional.



Condenser unit fins in very poor shape.

### INSULATION MISSING OR DAMAGED

Insulation on Suction line missing on both inside (HVAC closet) and outside (near condenser unit) lines. Inside suction line was also "sweating," which could cause damage to surrounding structure. Missing or damaged insulation can also cause energy loss. Recommend a handyman correct the deficiency.

Recommendation

Contact a qualified handyman.



Insulation missing from Suction line, and line is "sweating." (this photo taken in HVAC closet on inside of



home).

#### 4.2.3 B. Cooling Equipment

### A/C FILTER DIRTY

 Recommendation

A/C filter was dirty and was being sucked up into evaporator. This decreases efficiency, and could cause mechanical problems. Recommend a new (more sturdy) filter is installed.

Recommendation  
Recommended DIY Project



A/C filter dirty and flimsy.

#### 4.3.1 C. Duct System, Chases, and Vents

### DUCTS NOT PROPERLY SEALED

 Recommendation

Duct system (above evaporator unit in HVAC closet) not sealed properly. This results in loss of efficiency, and needs to be corrected. Recommend a qualified HVAC contractor seal ducts.

Recommendation  
Contact a qualified HVAC professional.



Duct system (above evaporator unit in HVAC closet) not sealed properly.

#### 5.1.1 A. Plumbing Supply, Distribution Systems, and Fixtures

### GAP BETWEEN WALL AND SINK

 Recommendation

Gap between wall and sink in master bathroom. This gap is most likely the cause of drywall damage in closet on opposite side of wall. Recommend a handyman caulk this gap.

Recommendation  
Contact a qualified handyman.



Gap between wall and sink in master bathroom.

#### 5.1.2 A. Plumbing Supply, Distribution Systems, and Fixtures

### GUEST SHOWER DOES NOT FUNCTION PROPERLY

 Recommendation

Guest shower does not function properly. Recommend a plumber assess and correct the deficiency.

Recommendation  
Contact a qualified plumbing contractor.



**TOILET LOOSE**

Toilet in guest bathroom is loose. This could cause leakage issues. Recommend qualified handyman or plumber repair.

Recommendation  
Contact a qualified handyman.

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**DRAIN STOPPER NOT PRESENT**

Drain plugs/stoppers in tub and sinks (both bathrooms) not present. This presents an inconvenience to the homeowner. Recommend a handyman or plumber replace missing plugs/stoppers.

Recommendation  
Contact a qualified plumbing contractor.

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**WATER HEATER NOT FUNCTIONING PROPERLY**

No hot water was detected throughout the home. Recommend a licensed plumber assess and correct the deficiency.

Recommendation  
Contact a qualified plumbing contractor.

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