



SUMMARY

1234 Main St. Ringgold GA 30736

Buyer Name
03/04/2019 9:00AM

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These summary pages are not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your Tennessee real estate agent or an attorney.

3.3.1 Vegetation Observations

VEGETATION IN CONTACT WITH HOME

 Marginal Defect

There was vegetation in contact with the home in areas. Pruning or removal of any plants that are in contact with the home is recommended by a qualified person to eliminate pathways of wood destroying insects, and to allow moisture to adequately dry behind these areas after rainfall events.

Recommendation

Contact a qualified landscaping contractor



3.4.1 Decks

WOOD TO SOIL CONTACT PRESENT

 Marginal Defect

Wood to soil contact was present on areas of the decks. This can encourage decay of the framing members and be susceptible to wood destroying insect activity. Modifications to remove soil to provide for adequate clearance is recommended by a qualified person.

Recommendation

Contact a qualified deck contractor.



3.7.1 Guardrails, Handrails, Stair Railing, Etc.

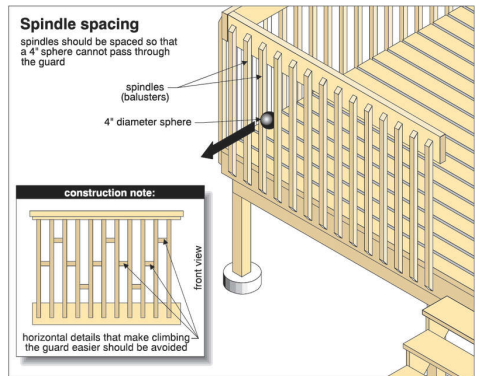
GUARDRAIL SPACING EXCEEDED

 Marginal Defect

There was spacing present between or under the guardrail balusters that was greater than 4 inches. Current safety standards require that guardrails be designed as to not allow the passage of a 4 inch sphere through them. Safety upgrades or modifications are recommended to be conducted here by a qualified person.

Recommendation

Contact a qualified deck contractor.



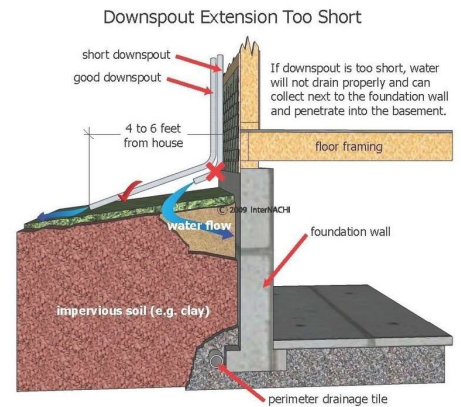
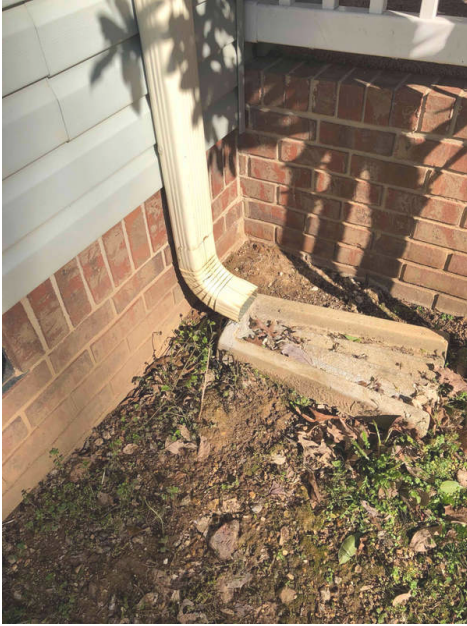


DOWNSPOUTS TERMINATING NEAR FOUNDATION

There were downspouts present that were discharging within five feet of the foundation of the home. Current standards require downspouts to be diverted at least five feet from the foundation of the home to prevent the grounds surrounding the foundation from becoming saturated. Saturated grounds can allow water / moisture to enter basement and crawl space areas, and in extreme cases can allow for settlement of the home. Properly extending all downspouts at least five feet away from the home is recommended by a gutter contractor.

Recommendation

Recommended DIY Project



LOOSE TRIM

LEFT SIDE OF HOME FRONT

Trim was loose or damaged. Recommend repair.

Recommendation

Contact a qualified professional.



5.6.1 Exterior Doors

COSMETIC DAMAGE



Minor Defect, Maintenance Item, or FYI Item

FRONT OF HOUSE

Cosmetic damage was present to the door, this did not affect it's functionality. Repairs are recommended as needed for aesthetic purposes.

Recommendation

Contact a qualified professional.



7.8.1 Bathtub(s)

LEAK FROM FAUCET VALVE



Marginal Defect

A leak was present from the faucet valve. Repairs are recommended as needed by a licensed plumber or other qualified person.

Recommendation

Contact a qualified plumbing contractor.



7.8.2 Bathtub(s)

**STOPPER
MISSING**

 Minor Defect, Maintenance Item, or FYI Item

A stopper / pop-up was not present in the tub. The installation of a proper pop up is recommended by a qualified person.

Recommendation
Recommended DIY Project



8.5.1 Interior Doors

**BINDING
DOOR(S)
PRESENT**

 Minor Defect, Maintenance Item, or FYI Item

REAR OF HOME RIGHT

There were door(s) that were binding / rubbing on an adjacent surface. Adjustments or modifications as needed for proper operation is recommended by a qualified person.

Recommendation
Contact a qualified handyman.



8.5.2 Interior Doors

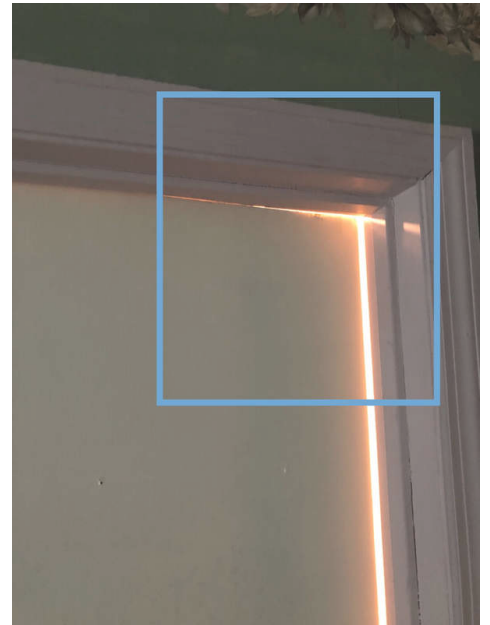
 Minor Defect, Maintenance Item, or FYI Item

**BINDING
DOOR(S)
PRESENT**

FRONT OF HOUSE BEDROOM LEFT

There were door(s) that were binding / rubbing on an adjacent surface. Adjustments or modifications as needed for proper operation is recommended by a qualified person.

Recommendation
Contact a qualified handyman.



8.6.1 Doorbell

 Minor Defect, Maintenance Item, or FYI Item

DOORBELL BUTTON NOT INSTALLED

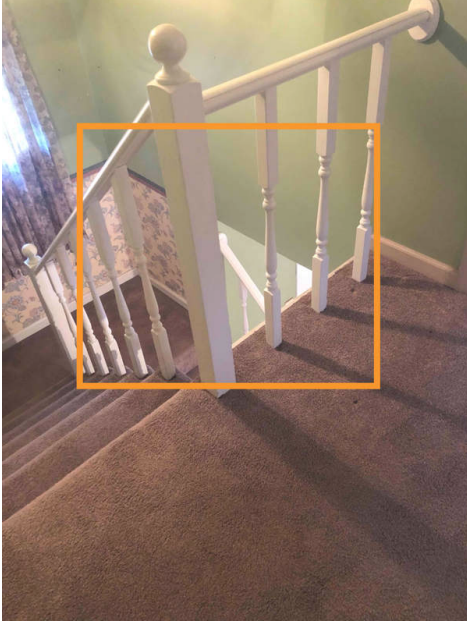
The doorbell button was not installed at the time of inspection. Installation is recommended as well as confirming proper operation prior to closing.

Recommendation
Contact a qualified professional.

BALUSTER SPACING

The stair railing had spacing that would allow the passage of a 4 3/8 inch sphere through the balusters, and/or the passage of a 6 inch sphere below them. Current safety standards require that spheres of the referenced sizes should not pass through the referenced areas. Safety upgrades should be considered here.

Recommendation
Contact a qualified professional.



Stair Railing



AGED UNIT

FYI - The unit was at or past its typical service life. Major repairs or replacement should be anticipated in the future due to the age of the unit alone. Depending on prior maintenance and other factors the unit could last anywhere from months to years, the remaining life is undeterminable.

A typical life expectancy chart can be found here:

<http://prohitn.com/component-life-expectancies/>

EXPANSION TANK NOT PRESENT

Minor Defect, Maintenance Item, or FYI Item

An expansion tank was not installed for the water heater. Current standards and manufacturers instructions recommend that expansion tanks be installed during water heater installations on closed loop systems. The presence of a pressure regulator where the water line enters the home, prevents back flow, and makes this a closed loop system. The expansion tank provides an area for heated water to enter. When water is heated, it expands, and can put pressure on the water heater or plumbing components. The installation of an expansion tank is recommended by a licensed plumber. More info can be found here:

<https://plumbertalk.wordpress.com/2014/01/07/expansion-tank-that-thing-on-top-of-your-waterheater/>

Recommendation

Contact a qualified plumbing contractor.

13.5.1 Electrical Panel / Service Equipment



Minor Defect, Maintenance Item, or FYI Item

INCOMPLETE OR MISSING LEGEND

The legend for the electrical panel was missing, incomplete, or incorrect. A legend is required so that breakers are properly labeled, ensuring correct circuits are shut off in case of the need of service, etc. I recommend consulting with the seller as to the labeling of the breakers, or have a licensed electrician to label the circuits.

Recommendation

Contact a qualified electrical contractor.



13.5.2 Electrical Panel / Service Equipment



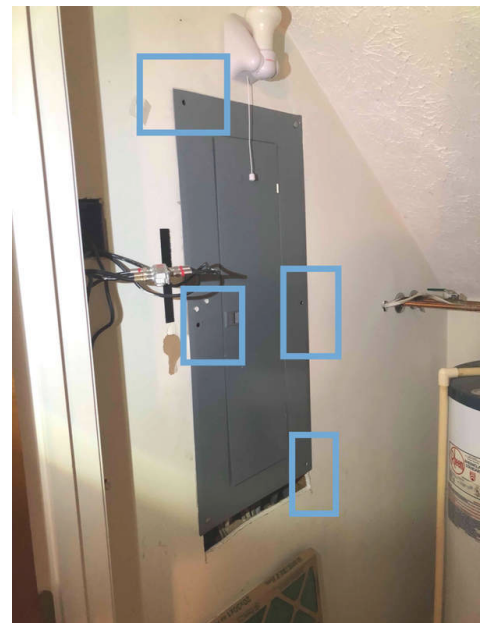
Minor Defect, Maintenance Item, or FYI Item

PANEL COVER SCREWS MISSING

Some panel cover screw(s) were missing. All panel cover screw locations are required to be utilized to adequately secure the cover to the panel. Replacement of the screws is recommended.

Recommendation

Contact a handyman or DIY project



13.8.1 Branch Wiring

EXPOSED WIRING - INTERIOR

 Marginal Defect

There was exposed wiring present. Recommend covering.

Recommendation

Contact a qualified electrical contractor.



13.8.2 Branch Wiring

JUNCTION BOX - MISSING COVER

 Significant Defect

UPSTAIRS BEDROOM REAR LEFT

There were junction boxes without a cover present. This is a potential electrocution hazard, and can be a fire hazard due to the possibility of arcing. The installation of a UL listed cover is recommended by a licensed electrician on any and all junction boxes in the home missing covers.

Recommendation

Contact a qualified electrical contractor.



13.8.3 Branch Wiring

JUNCTION BOX - MISSING COVER

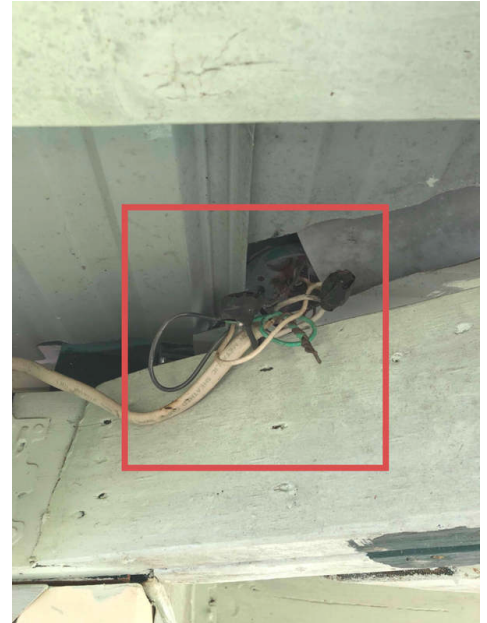
REAR OF HOME DECK



There were junction boxes without a cover present. This is a potential electrocution hazard, and can be a fire hazard due to the possibility of arcing. The installation of a UL listed cover is recommended by a licensed electrician on any and all junction boxes in the home missing covers.

Recommendation

Contact a qualified electrical contractor.



13.8.4 Branch Wiring

JUNCTION BOX - MISSING COVER

CRAWL SPACE



There were junction boxes without a cover present. This is a potential electrocution hazard, and can be a fire hazard due to the possibility of arcing. The installation of a UL listed cover is recommended by a licensed electrician on any and all junction boxes in the home missing covers.

Recommendation

Contact a qualified electrical contractor.



13.9.1 Receptacles

REVERSED POLARITY

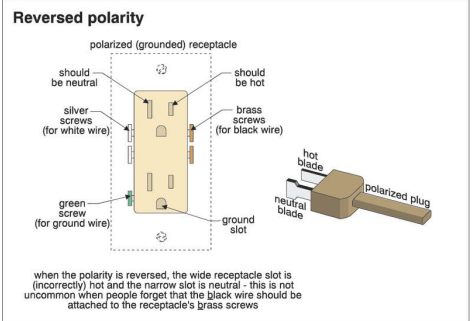
REAR OF HOME LEFT



There were receptacle(s) present in the referenced areas that tested as being wired with reversed polarity (hot / neutral reversed). This is a potential shock hazard, as a wiring deficiency is present. Correction is recommended by a licensed electrician as needed.

Recommendation

Contact a qualified electrical contractor.



13.9.2 Receptacles

FOREIGN OBJECT IN RECEPTACLE SLOT

KITCHEN



A foreign object was present in a receptacle slot. Repairs are recommended as needed by a licensed electrician.

Recommendation

Contact a qualified electrical contractor.



13.12.1 Switches, Lights

 Minor Defect, Maintenance Item, or FYI Item

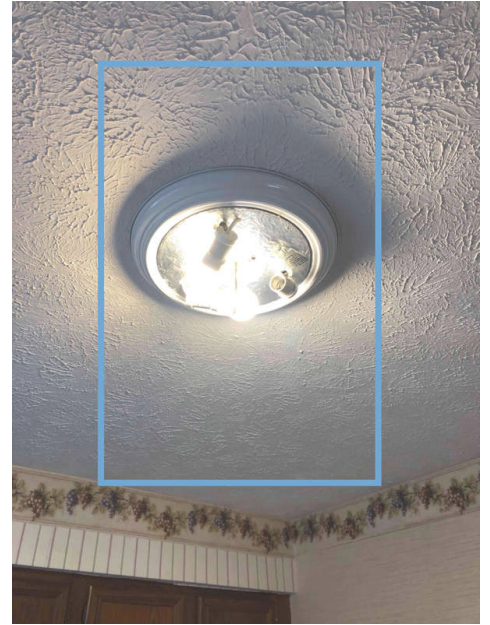
MISSING LIGHT GLOBE - INTERIOR

KITCHEN

There were bare bulbs present on some light fixtures. The installation of covers or globes on any fixtures in the home without globes is recommended by a qualified person to prevent accidental breakage, and possible electrocution.

Recommendation

Contact a handyman or DIY project



14.5.1 Insulation

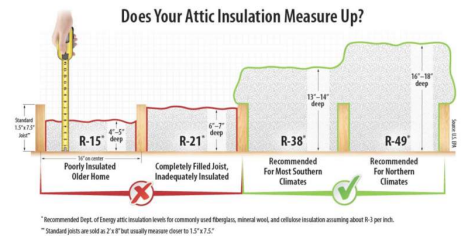
 Minor Defect, Maintenance Item, or FYI Item

TYPICAL FOR AGE - ADD MORE AS DESIRED

The insulation level was typical for when the home was constructed. Current standards require approximately 14 inches of insulation to achieve an R-38 rating. More insulation can be added as desired by an insulation contractor.

Recommendation

Contact a qualified insulation contractor.



15.9.1 Insulation

 Minor Defect, Maintenance Item, or FYI Item

INSULATION NOT PRESENT BETWEEN JOISTS

FYI- Insulation was not present between the floor joists. Current energy standards recommended insulation to be present between the floor joists of unconditioned areas, when living areas are overhead, for energy efficiency. The installation of insulation is recommended as an upgrade by an insulation contractor.

Recommendation

Contact a qualified insulation contractor.