



Agave Property Inspections PLLC

AGAVE PROPERTY INSPECTIONS, PLLC

(915) 505-0288

admin@agaveinspections.com

<https://www.agaveinspections.com/>



RESIDENTIAL INSPECTION

1234 Main Street
El Paso TX 79924

Buyer Name

03/13/2025 9:00AM



Inspector

Eric Wiles

TREC 26410

(915) 505-0288

admin@agaveinspections.com



Agent

Agent Name

555-555-5555

agent@spectora.com



PROPERTY INSPECTION REPORT FORM

Buyer Name <i>Name of Client</i>	03/13/2025 9:00AM <i>Date of Inspection</i>
1234 El Paso TX 79924 <i>Address of Inspected Property</i>	
Eric Wiles <i>Name of Inspector</i>	TREC 26410 <i>TREC License #</i>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. *It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Time In: 9:00 A.M.

Time Out: 12:00 P.M.

In Attendance: Inspector Only

Type of Building: Single Family

Heading: West

Occupancy: New Construction

Temperature: 60 - 70°F

Weather Conditions: Dry, Cloudy

Additional Information:

THIS REPORT IS PAID AND PREPARED FOR THE PERSONAL, PRIVATE AND EXCLUSIVE USE BY THE CLIENT NAMED ABOVE. THIS IS A COPYRIGHTED REPORT AND IS NOT VALID WITHOUT THE SIGNED INSPECTION AGREEMENT ATTACHED. THIS REPORT IS NOT TRANSFERABLE FROM THE CLIENT NAMED ABOVE.

SCOPE OF INSPECTION

These standards of practice define the minimum levels of inspection required for substantially completed residential improvements to real property up to four dwelling units. **A real estate inspection is not a technically exhaustive survey of the home and its systems. It is a limited visual survey and basic performance evaluation of the systems and components of a building using normal controls and does not require the use of specialized equipment or procedures.** The purpose of the inspection is to provide the client with information regarding the general condition of the residence **at the time of inspection.** The inspector may provide a higher level of inspection performance than required by these standards of practice and may inspect components and systems in addition to those described by the standards of practice.

GENERAL LIMITATIONS

The inspector is not required to:

(A) inspect:

- (i) items other than those listed within these standards of practice;
- (ii) elevators;
- (iii) detached buildings, decks, docks, fences, or waterfront structures or equipment;
- (iv) **anything buried, hidden, latent, or concealed;**
- (v) sub-surface drainage systems;
- (vi) automated or programmable control systems, automatic shut-off, photoelectric sensors, timers, clocks, metering devices, signal lights, lightning arrestor system, remote controls, security or data distribution systems, solar panels or smart home automation components; or
- (vii) concrete flatwork such as; driveways, sidewalks, walkways, paving stones or patios;

(B) report:

- (i) past repairs that appear to be effective and workmanlike except as specifically required by these standards;
- (ii) cosmetic or aesthetic conditions; or
- (iii) wear and tear from ordinary use;

(C) determine:

- (i) insurability, warrantability, suitability, adequacy, compatibility, capacity, reliability, marketability, operating costs, recalls, counterfeit products, product lawsuits, life expectancy, age, energy efficiency, vapor barriers, thermostatic performance, compliance with any code, listing, testing or protocol authority, utility sources, or manufacturer or regulatory requirements except as specifically required by these standards;
- (ii) the presence or absence of pests, termites, or other wood-destroying insects or organisms;
- (iii) the presence, absence, or risk of asbestos, lead-based paint, **mold**, mildew, corrosive or contaminated drywall Chinese Drywall or any other environmental hazard, environmental pathogen, carcinogen, toxin, mycotoxins, pollutant, fungal presence or activity, or poison;
- (iv) types of wood or preservative treatment and fastener compatibility; or
- (v) the cause or source of a conditions;

(D) anticipate future events or conditions, including but not limited to:

- (i) decay, deterioration, or damage that may occur after the inspection;
 - (ii) deficiencies from abuse, misuse or lack of use;
 - (iii) changes in performance of any component or system due to changes in use or occupancy;
 - (iv) the consequences of the inspection or its effects on current or future buyers and sellers;
 - (v) common household accidents, personal injury, or death;
 - (vi) the presence of water penetrations; or
 - (vii) future performance of any item;
- (E) operate shut-off, safety, stop, pressure or pressure-regulating valves or items requiring the use of codes, keys, combinations, or similar devices;
- (F) designate conditions as safe;
- (G) recommend or provide engineering, architectural, appraisal, mitigation, physical surveying, realty, or other specialist services;
- (H) review historical records, installation instructions, repair plans, cost estimates, disclosure documents, or other reports;
- (I) verify sizing, efficiency, or adequacy of the ground surface drainage system;
- (J) verify sizing, efficiency, or adequacy of the gutter and downspout system;
- (K) operate recirculation or sump pumps;
- (L) remedy conditions preventing inspection of any item;
- (M) apply open flame or light a pilot to operate any appliance;
- (N) turn on decommissioned equipment, systems or utility services; or
- (O) provide repair cost estimates, recommendations, or re-inspection services.

This inspection report is made for the sole purpose of assisting the purchaser to determine his and/or her own opinion of feasibility of purchasing the inspected property and does not warrant or guarantee all defects to be found. If you have any questions or are unclear regarding our findings, please call our office prior to the expiration of any time limitations such as option periods.

THE CLIENT, BY ACCEPTING THIS PROPERTY INSPECTION REPORT OR RELYING UPON IT IN ANY WAY, EXPRESSLY AGREES TO THE SCOPE OF INSPECTION, GENERAL LIMITATIONS AND INSPECTION AGREEMENT.

This report contains technical information. Not everything in this report is a defect, it is a mixture of information, defects, and recommendations. If you were not present during this inspection, please call the office to arrange for a consultation with your inspector. If you choose not to consult with the inspector, this inspection company cannot be held liable for your understanding or misunderstanding of the reports content.

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The contents of this report are for the sole use of the client named above and no other person or party may rely on this report for any reason or purpose whatsoever without the prior written consent of the inspector who authored the report. Any person or party who chooses to rely on this report for any reason or purpose whatsoever without the express written consent of the inspector does so at their own risk and by doing so without the prior written consent of the inspector waives any claim of error or deficiency in this report.

This report is not intended to be used for determining insurability or warrantability of the structure and may not conform to the Texas Department of Insurance guidelines for property insurability. *This report is not to be used by or for any property and/or home warranty company, with the exception of EliteMGA through the InterNACHI Warranty Program in partnership with Agave Property Inspections, PLLC.*

All areas of the home that are talked about in the report are oriented from the prospective of looking at the home from the front facing the home.

The digital pictures within this report are a representative sample of inaccessible areas, deficiencies or damages in place and should not be considered to show all of the inaccessible areas, deficiencies or damages observed. There will be inaccessible areas, deficiencies or damages not represented with digital imaging.

New Construction:

It is **HIGHLY RECOMMENDED** that deficiencies should be addressed with the builder prior to close.

This is a performance-based inspection. Cosmetic issues are best addressed by the buyer at a blue-tape walk through. The inspector may, at his/her discretion, comment on cosmetic conditions as a courtesy.

This inspection is intended to meet TREC standards and the most current industry practices.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s): Slab on Grade

Comments:

Foundation Performance Opinion : Performing adequately with no major signs of settlement or movement.

Foundation Disclaimer :

Notice: This inspection is one of first impression and the inspector was not provided with any historical information pertaining to the structural integrity of the inspected real property. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are based on general observations made without the use of specialized tools or procedures.

Therefore, the opinions expressed are one of apparent conditions and not of absolute fact and are only good for the date and time of this inspection. The inspection of the foundation may show it to be providing adequate support for the structure or having movement typical to this region, at the time of the inspection.

This does not guarantee the future life or failure of the foundation. **The Inspector is not a structural engineer. This inspection is not an engineering report or evaluation and should not be considered one, either expressed or implied.** If any cause of concern is noted on this report, or if you want further evaluation, you should consider an evaluation by an engineer of your choice.

1: Concrete Spalling

Garage

The concrete beam was observed to have some deterioration (scaling and/or spalling). Generally considered a cosmetic condition.



B. Grading and Drainage

Comments:

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I	NI	NP	D
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Not Landscaped :

This property is not yet landscaped or is partially landscaped. It is recommended that once the property is landscaped and/or flatwork is installed, proper slope is maintained in order to prevent water from accumulating near the foundation perimeter beam.



1: Marginal Grading

Marginal site drainage was observed. Proper drainage is needed to help prevent water from standing and/or ponding next to the foundation beam. Corrective measures may be needed if the water stands within 10-feet of the foundation perimeter beam for more than 24-hours.

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C. Roof Covering Materials

Types of Roof Covering: Asphalt Composition Shingles, Asphalt Rolled Roofing

Viewed From: Walked on Roof

Comments:

Performing :

Roof covering surface was found to be performing and in satisfactory condition on the day of the inspection.



1: Flashing - Damaged

The flashing is damaged and should be repaired or replaced.

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2: Flashing - Seal Plumbing Boots

One or more of the plumbing vent stack rubber boots needs to be sealed to prevent water intrusion at this location.



3: Flashing - Paint Needed

The flashing needs to be painted to prevent rust and/or UV damage.

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- D. Roof Structures and Attics**
- Viewed From: Entered Attic, Attic Platform*
- Approximate Depth Of Insulation: 8"-10"*



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Type of Ventilation: Roof vents, Gable Vents

Limited entry:

Limited entry due to diminished clearance and insulation covering trusses.

1: Fascia Damaged

The fascia board material has some deterioration and/or damage.



2: Ridge support not properly installed

Ridge supports not properly set and secured.

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3: Truss - Damaged

One or more of the truss system members has been damaged. This condition should be further evaluated and corrected if necessary.



4: Hatch Door Not Fire Rated

Attic hatch door does not meet current fire separation standards.

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5: Gusset plate detached

Gusset plates were noted to be detached. These are necessary structural attachments.



6: Loose wood support

A loose support was noted

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E. Walls (Interior and Exterior)

Comments:

Exterior Wall Covering Material: Stucco Type Product

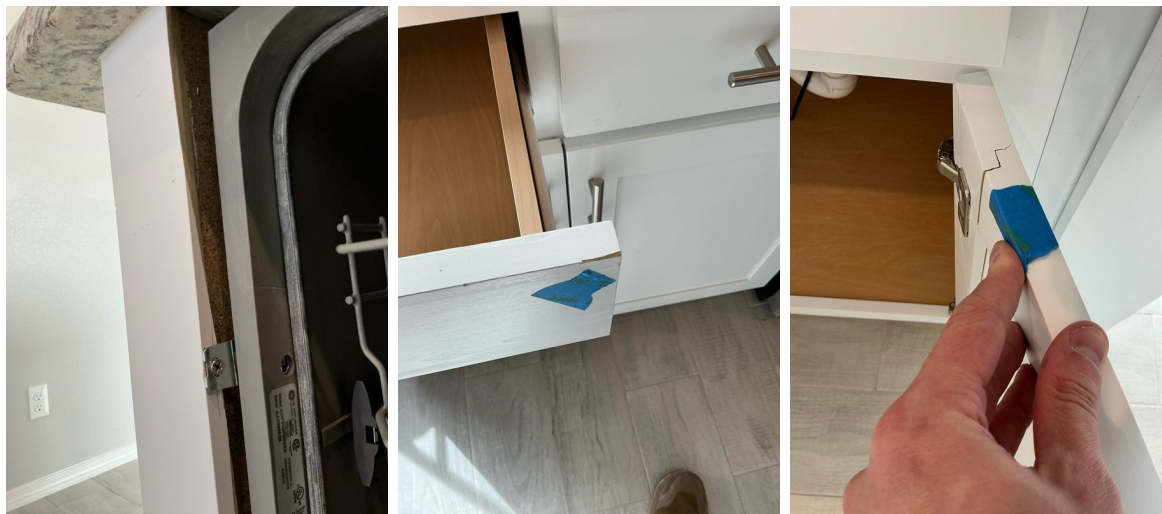
Stucco Notice :

There is a stucco type product installed as the exterior veneer / cladding for this structure, which is common for our area. Due to the known general misapplication of residential stucco products, associated deficiencies and water intrusion problems; full evaluation of this product is not possible with a general home inspection. It is important to ensure proper maintenance of the stucco and to fix any areas of concern ASAP.

At this time a general limited visually based survey of the accessible exterior stucco veneer / cladding will be performed without the use of any specialized tools or procedures. The Inspectors findings will be listed below but all possible deficiencies will not be limited to the following.

1: Cabinet - Damage

Cabinet surface damage was observed.



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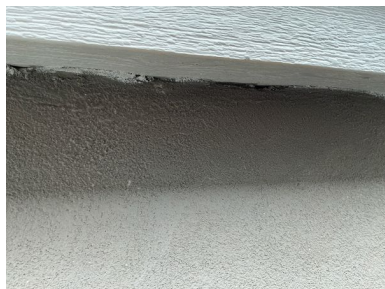
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I	NI	NP	D
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2: Sealant - Siding Joints

All joints between two different types of siding should be properly sealed. It is recommended to use elastomeric sealant.



3: Wood Trim Tape Painted

Rear door

The wood veneer trim has some painted over tape.



4: Stucco - Lacks Sealant around Openings

Failing or missing sealant was observed at and around the stucco type veneer/cladding and the wall opening interfaces (windows, doors, electrical outlets, plumbing outlets, etc.) This condition should be improved to help prevent water intrusion at these locations. It is recommended to use an industry approved NP1 sealant.

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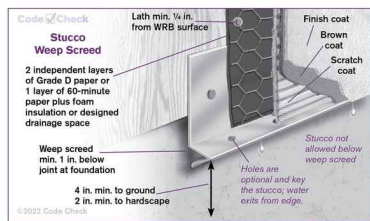
D=Deficient

I NI NP D



5: Stucco - Weep Screen Covered

The weep screen was observed to be clogged/painted over. This is a common installation practice locally however is not recommended by industry standards.



6: Stucco - Unfinished Areas

There were areas of unfinished stucco application noted.

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7: Stone Veneer - Missing and Damaged

Missing and/or damaged adhered stone/masonry veneer was observed.

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I	NI	NP	D
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8: Soffit improper installation

Soffits noted to be improperly installed in one or more areas.



9: Stucco - Paint

Paint missing or mismatched in one or more areas.

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F. Ceilings and Floors

Comments:

Performing:

All components were found to be performing and in satisfactory condition on the day of the inspection.

G. Doors (Interior and Exterior)

Comments:

1: Door - Loose Hinges

The door is loose at the hinges.



2: Door - Loose Hardware

The door hardware is loose.

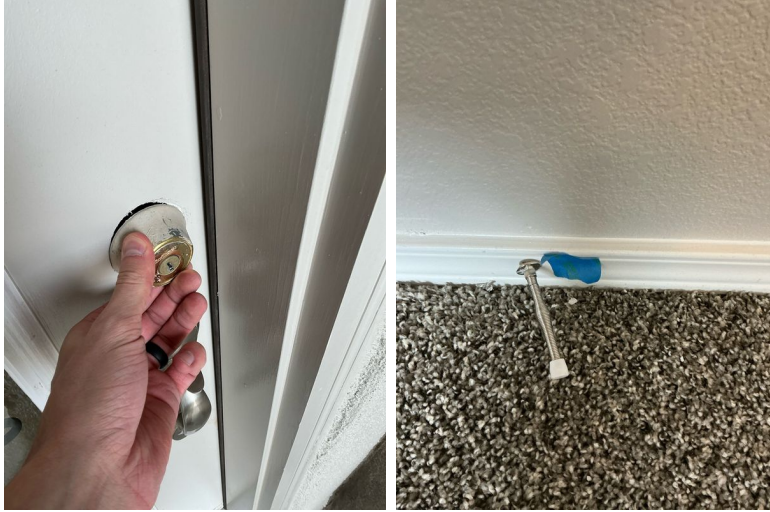
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3: Door - Hardware Missing

The door hardware is missing.



4: Door - Lacks Paint on All Sides

Doors are not painted on all sides. This is usually a manufacture warranty requirement.

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5: Door - Missing Stops

One or more doors is missing a door stop mechanism.

Recommendation: Contact a qualified professional.



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H. Windows

Comments:

1: Window - Broken/Cracked Glass

Cracked and/or broken window glass was observed.



I. Stairways (Interior and Exterior)

Comments:

J. Fireplaces and Chimneys

Comments:

K. Porches, Balconies, Decks, and Carports

Comments:

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I	NI	NP	D
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Performing :

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II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments:

Service Entrance: Underground

Main Service Panel Location: North Exterior Wall

Main Service Panel Amperage: 200 Amp

Main Service Panel Manufacturer: Square D



Distribution Method : Non-Metallic Sheath (Romex)

Grounding Method : Driven Rod



Sub-Panel Location: N/A

Sub-Panel Amperage: N/A

Sub-Panel Manufacturer: N/A

1: No Anti-Oxidant Paste

There was no anti-oxidant gel observed on the exposed aluminum conductor terminations.

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B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments:

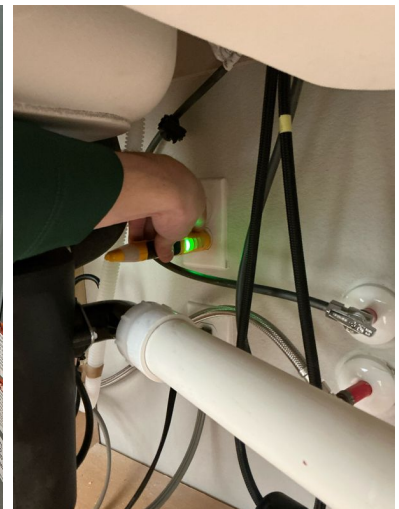
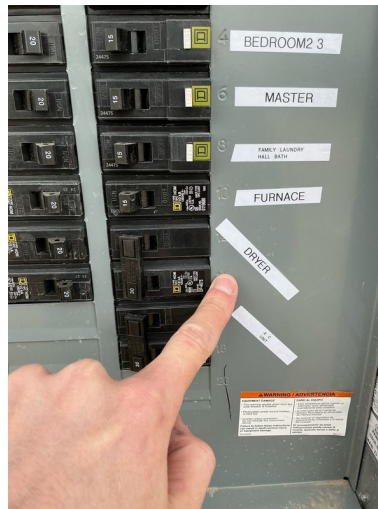
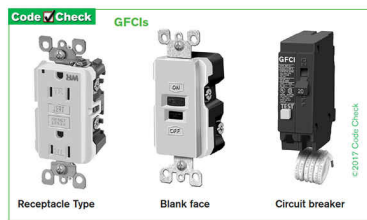
Smoke Alarms Performing :

Smoke and CO alarms were present and sounded when tested. We recommend bi-annual battery changes and monthly testing of these devices.

1: Missing GFCI

Not all of the receptacles in the wet/damp areas have ground fault circuit interrupter (GFCI) protection. Under current electrical standards all of the exterior/accessory building receptacles, all crawl space receptacles, all kitchen counter top receptacles, all bathroom receptacles, all attic receptacles, all laundry room receptacles, all garage receptacles, dishwasher receptacle, receptacle in cabinet under kitchen sink, any receptacle within 6-feet of the sink, all wet bar area receptacles and pool equipment should have GFCI protection.

A GFCI receptacle can provide protection for other receptacles downstream on the circuit. GFCI protection can be provided by GFCI breakers, blank face devices, or GFCI receptacles



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2: Open Neutral

Rear Exterior

One or more of the receptacles were observed to have an open neutral connection.



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C. Other

Comments:

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III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of Systems: Forced Hot Air

Energy Sources: Natural Gas

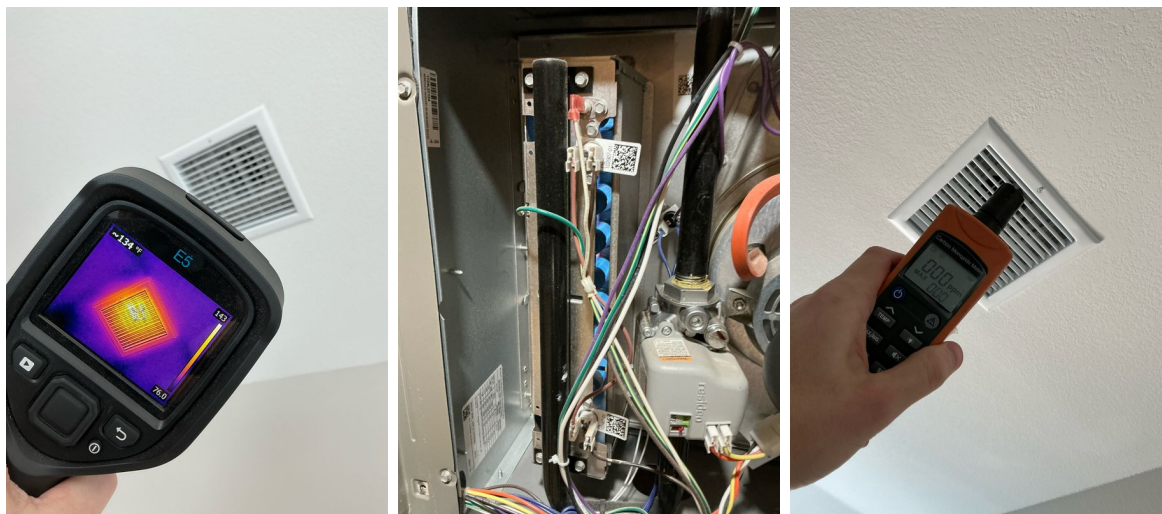
Comments:

Brand : Lennox

Approximate Year Built: 2024

Performing :

This component appears to be performing adequately at the time of this inspection. It is achieving an operation, function, or configuration consistent with accepted industry practices for its age.



1: Vent Inadequate Clearance

The heating unit flue (vent pipe) has inadequate clearance from combustibile materials. Double walled vent pipes should have at least 1-inch of clearance and single walled vent pipes should have at least 6-inches of clearance from combustibile material.



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2: Missing bushing

Missing bushing at electrical connection



B. Cooling Equipment

Type of Systems: Central Air Conditioner

Brand: Lennox

Approximate Condensing Unit BTU/Tonnage: 3.5 TON

Type of Freon: R-410A

Approximate Year Built: 2024



Temperature Differential: 17°

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Performed :

This component appears to be performing adequately at the time of this inspection. It is achieving an operation, function, or configuration consistent with accepted industry practices for its age.



Notice:

Temperature differential readings (Delta-T) are an accepted industry standard of practice for testing the proper operation of the cooling system. Our company policy normal acceptable range is considered approximately **between 15 to 22 degrees °F** total difference (Delta-T) measured between the return air and supply air within close proximity of the related coils of the system being evaluated. Conditions such as but not limited to; excessive humidity, high or low outdoor temperatures or restricted airflow may indicate abnormal operation even through the equipment is functioning basically as designed and occasionally may indicate normal operation in spite of an equipment malfunction. ***The inspector will not be able to anticipate future events, conditions or changes in performance of any component or system due to changes in use or occupancy. The inspector makes no guarantee or warranty, express or implied, as to future performance of any item, system or component***

1: Condensate Drain Improper Slope

The slope of the condensate drain line appears to be insufficient. Under current mechanical standards, the condensate drain line should have a minimum slope of 1/8-inch per foot.

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2: Drain Lacks Vent Piece

The primary condensate drain line is not equipped with a vent piece.



C. Duct Systems, Chases, and Vents

Comments:

Filter location: Ceiling Mounted

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I	NI	NP	D
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Filter Size: 20 x 20 x 1



1: Diminished, not supported

Some of the attic area ductwork was observed to be diminished and not secured, which may leak to airflow issues. This condition should be further evaluated and corrected as necessary.

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I	NI	NP	D
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D. Other

Comments:

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NP=Not Present

D=Deficient

I	NI	NP	D
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IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems, and Fixtures

Location of Water Meter: Curb



Location of Main Water Supply Valve : Garage



Static Water Pressure Reading: 60 to 65 psi

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I	NI	NP	D
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Type of Supply Piping Material: PEX

Comments:

Notice :

The Inspector has attempted to discover and report conditions requiring further evaluation or repair. However; determining the condition of any component that is not visible and/or accessible, such as plumbing components that are buried, beneath the foundation, located within construction voids or otherwise concealed, and reporting any deficiency that does not appear or become evident during our limited cursory and visual survey is outside the scope of this inspection. The inspector will not be able to anticipate future events, conditions or changes in performance of any component or system due to changes in use or occupancy. The inspector makes no guarantee or warranty, express or implied, as to future performance of any item, system or component.

1: Sink - Caulking Improvements

Cracked, deteriorated and/or missing sink caulking should be repaired or replaced as necessary.



2: Shower - Grout/Caulking Improvements

Cracked, deteriorated and/or missing shower stall grout and/or caulking should be repaired or replaced as necessary

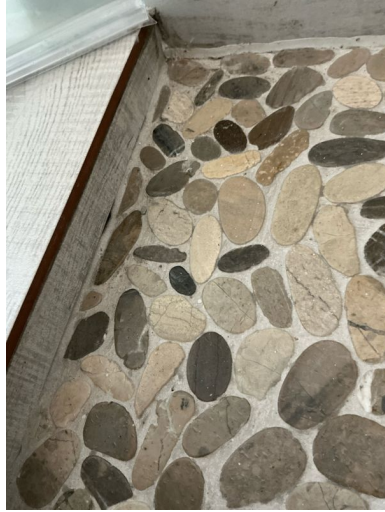
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I	NI	NP	D
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3: Toilet - Tank/Bowl Connection Loose

The commode tank is loose at the bowl connection.



- B. Drains, Wastes, and Vents**
Type of Drain Piping Material: PVC
Comments:
Location of Main Clean-out: Front Yard

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Performing :

All components were found to be performing and in satisfactory condition on the day of the inspection.

Notice :

Reporting the condition of drains, wastes and vent piping that is not completely visible and/or accessible or; reporting any defect or deficiency that requires extended use of the system to develop or does not become evident during our limited cursory and visual survey is outside the scope of the inspection. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are based on general observations made without the use of specialized tools or procedures. Therefore, the opinions expressed are one of apparent conditions and not of absolute fact and are only good for the date and time of this inspection. **The inspector will not be able to anticipate future events, conditions or changes in performance of any component or system due to changes in use or occupancy. The inspector makes no guarantee or warranty, express or implied, as to future performance of any item, system or component**

C. Water Heating Equipment

Energy Sources: Natural Gas

Capacity: 40 Gallons

Comments:

Brand: American Standard

Approximate Year Built: 2024

Performing :

This component appears to be performing adequately at the time of this inspection. It is achieving an operation, function, or configuration consistent with accepted industry practices for its age.

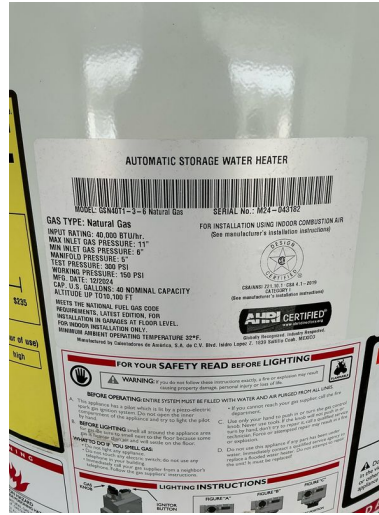
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

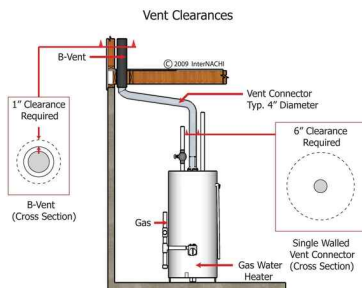


Note:

Most water heater manufacturer companies recommend replacing the temperature and pressure relief valve every 2-5 years as part of regular water heater maintenance.

1: Flue - Improper Clearance

The water heater flue (vent pipe) has inadequate clearance from combustible materials. Double walled vent pipes should have at least 1-inch of clearance and single walled vent pipes should have at least 6-inches of clearance from combustible material.



2: Vent - Improper Attachment

The vent pipe is not properly mounted at the top of the water heater. This configuration will emit Carbon Monoxide into the heater compartment, which is a known safety hazard.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



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D. Hydro-Massage Therapy Equipment

Comments:

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-

E. Gas Distribution Systems and Gas Appliances

Location of Gas Meter: Left Exterior



Type of Gas Distribution Piping Material: Black Steel

Comments:

Notice:

The Inspector will use a combustible gas leak detector on accessible gas lines, joints, unions and connectors and report visible deficiencies found at the time and date of the inspection. The inspector inspects the gas lines from the point they enter the structure and will complete the inspection without digging, damaging property, permanent construction or building finish. When performing the inspection, the inspector will keep in consideration the age of the system and normal wear and tear from ordinary use when rendering opinions. The inspector is not required to and will not inspect sacrificial anode bonding or for its existence. The Inspector is not licensed to and will not perform a pressure test on the gas line system. The Inspector cannot detect gas leaks below the finished grade (underground), construction voids, between the walls or behind

I=Inspected

NI=Not Inspected

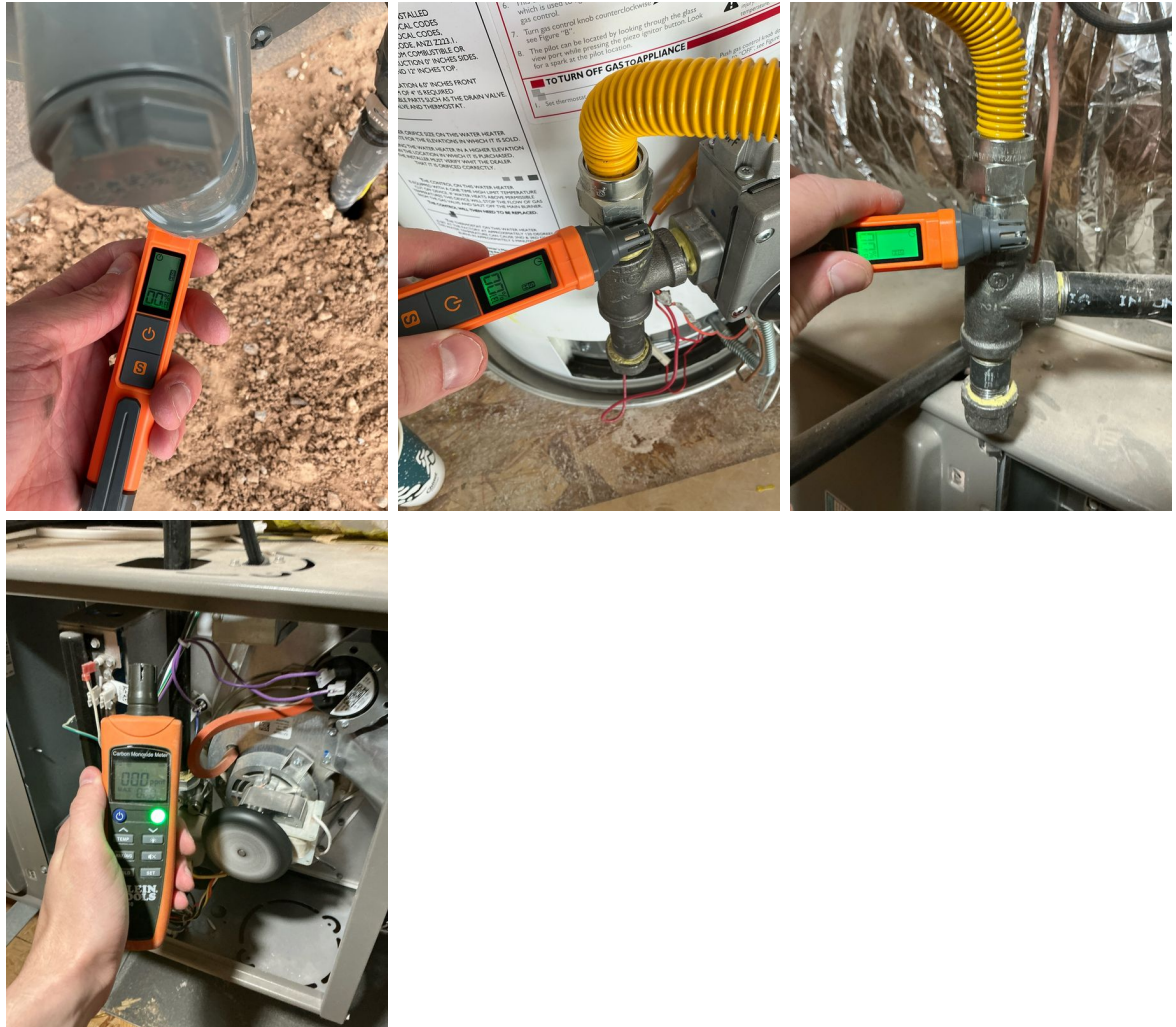
NP=Not Present

D=Deficient

I NI NP D

fireplace hearths. Propane tanks will not be inspected. If any further concerns exist about possible gas line failure and/or deficiencies or code compliance, we recommend the buyer have the gas system further evaluated by the local controlling gas supplier and/or a qualified licensed master plumber prior to the expiration of any time limitations such as option or warranty periods

A Carbon Monoxide (CO) meter is used at the discretion of the inspector as per the manufacture instructions of the device to assist in confirming the presence or absence of Carbon Monoxide on the day of the inspection only. Carbon Monoxide is a deadly, odorless, and colorless gas produced by the incomplete combustion of fuel-fired appliances or vehicles. This is not a substitute for working CO alarms or for ensuring gas appliances are well maintained. We do not warranty or guarantee against future CO emissions from fuel fired appliances. Fuel burning appliances should be maintained regularly by a professional. Weather conditions may affect if CO is present in the building as draft characteristics can be affected. Should a CO alarm sounds and/or symptoms of CO poisoning occur, the building should be evacuated and 911 called.



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NP=Not Present

D=Deficient

I NI NP D

V. APPLIANCES

A. Dishwashers

Comments:

Manufacturer: General Electric

Performing :

This component appears to be performing adequately at the time of this inspection.



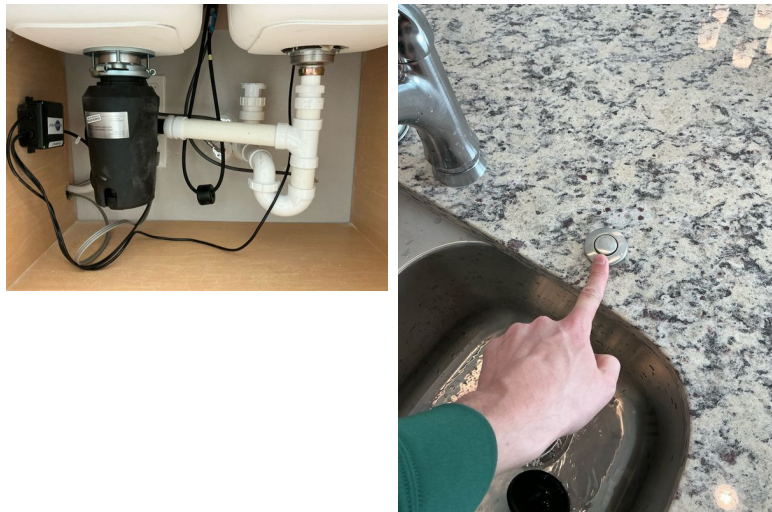
B. Food Waste Disposers

Comments:

Manufacturer: Maintenance Warehouse

Performing :

This component appears to be performing adequately at the time of this inspection.



C. Range Hood and Exhaust Systems

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Exhaust Hood Type: Recirculating Microwave Vent Hood

Manufacturer: General Electric

Performing :

This component appears to be performing adequately at the time of this inspection.



D. Ranges, Cooktops, and Ovens

Comments:

Range, Cook Top or Oven Manufacturer: General Electric

Performing :

This component appears to be performing adequately at the time of this inspection.



E. Microwave Ovens

Comments:

Manufacturer: General Electric

Performing :

This component appears to be performing adequately at the time of this inspection.

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NP=Not Present

D=Deficient

I	NI	NP	D
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F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

Performing :

This component appears to be performing adequately at the time of this inspection.



G. Garage Door Operators

Comments:

Manufacturer: Genie

I=Inspected

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D=Deficient

I	NI	NP	D
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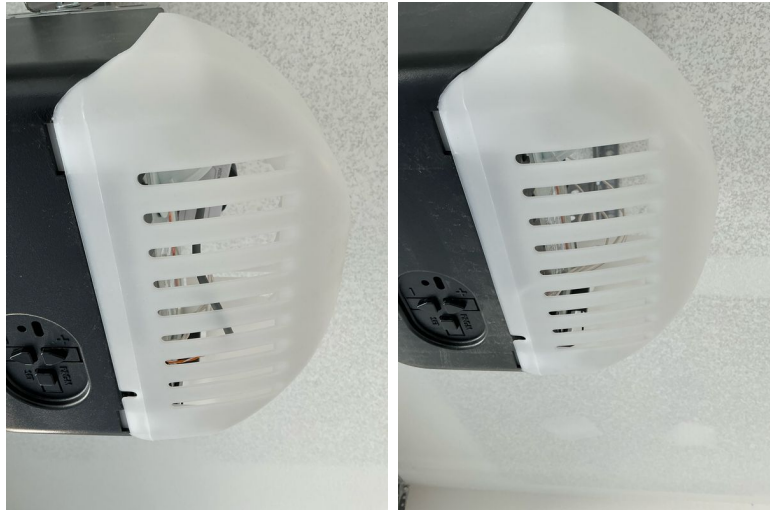


Performing :

This component appears to be performing adequately at the time of this inspection.

1: Light Inoperative

The garage door light was inoperative at the time of inspection.



H. Dryer Exhaust Systems

Comments:

Dryer Vent Location: Roof

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Dryer Service : Electric - 4 Prong



Performing :

This component appears to be performing adequately at the time of this inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I. Other

Comments:

Performing :

Appliances below noted to be performing.



1: Dryer damaged

Dryer was noted to be damaged.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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VI. OPTIONAL SYSTEMS

G. Other

Comments:

Thermal Imaging - Limited Scan:

Client has agreed to the limited use of an infrared imaging camera by the Inspector during this inspection. Client understands the Inspector may perform infrared imaging scans of selected surfaces completely at the discretion of the Inspector. Client also understands that infrared imaging does not guarantee locating or discovering possible concealed defects including water damage, structural defects, insulation deficiencies, electrical defects. To capture acceptable infrared thermal images during this inspection, a temperature differential of a minimum 18 degrees Fahrenheit between the interior and exterior of the inspected structure must be obtained. Any temperature difference below this threshold can limit in it's findings and may conceal anomalies. Exterior surfaces must be reasonably free of water. Furniture, wall hangings and stored items may limit the infrared scans. Reflective surfaces including glass and foil faced wall insulation will not allow for acceptable infrared imaging of these areas. Roof imaging scans are excluded from this inspection unless Inspector determines acceptable standard roof imaging conditions exist during the inspection and may be beneficial to the Client. Contrary to popular belief, thermal imaging DOES NOT allow an inspector to "see behind walls" as claimed by some. This device only allows comparison of surface temperatures and can show anomalies, which are temperature differences that are significantly dissimilar to the same surrounding material temperature which may be caused by a latent defect. Anomalies noted do not guarantee there is a defect behind the surface. It only means that an industry professional should further evaluate to determine if a defect likely exists. This may require invasive and destructive inspection that is outside the scope of a general home inspection.

1: Thermal - Anomalies

Area over living presents with temperature anomalies that are possibly consistent with low insulation in these areas. Recommend having builder evaluate and correct as necessary.

Recommendation: Contact a qualified professional.

