



Agave Property Inspections PLLC

AGAVE PROPERTY INSPECTIONS PLLC

(915) 505-0288

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<https://www.agaveinspections.com/>



RESIDENTIAL INSPECTION

1234 Main Street
Denver CO 80210

Buyer Name

02/15/2025 9:00AM



Inspector

Eric Wiles
TREC 26410

(915) 505-0288, (915) 637-2234
admin@agaveinspections.com



Agent

Agent Name
555-555-5555

agent@spectora.com



PROPERTY INSPECTION REPORT FORM

Buyer Name <i>Name of Client</i>	02/15/2025 9:00AM <i>Date of Inspection</i>
Address of Inspected Property Eric Wiles <i>Name of Inspector</i>	TREC 26410 <i>TREC License #</i>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. *It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector’s findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer’s installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Time In: 9:00 A.M.

Time Out: 12:30 P.M.

In Attendance: Owner

Type of Building: Single Family

Heading: North

Occupancy: Occupied

Temperature: 60 - 70°F

Weather Conditions: Clear, Dry

Additional Information:

THIS REPORT IS PAID AND PREPARED FOR THE PERSONAL, PRIVATE AND EXCLUSIVE USE BY THE CLIENT NAMED ABOVE. THIS IS A COPYRIGHTED REPORT AND IS NOT VALID WITHOUT THE SIGNED INSPECTION AGREEMENT ATTACHED. THIS REPORT IS NOT TRANSFERABLE FROM THE CLIENT NAMED ABOVE.

SCOPE OF INSPECTION

These standards of practice define the minimum levels of inspection required for substantially completed residential improvements to real property up to four dwelling units. **A real estate inspection is not a technically exhaustive survey of the home and its systems. It is a limited visual survey and basic performance evaluation of the systems and components of a building using normal controls and does not require the use of specialized equipment or procedures.** The purpose of the inspection is to provide the client with information regarding the general condition of the residence **at the time of inspection.** The inspector may provide a higher level of inspection performance than required by these standards of practice and may inspect components and systems in addition to those described by the standards of practice.

GENERAL LIMITATIONS

The inspector is not required to:

(A) inspect:

- (i) items other than those listed within these standards of practice;
- (ii) elevators;
- (iii) detached buildings, decks, docks, fences, or waterfront structures or equipment;
- (iv) **anything buried, hidden, latent, or concealed;**
- (v) sub-surface drainage systems;
- (vi) automated or programmable control systems, automatic shut-off, photoelectric sensors, timers, clocks, metering devices, signal lights, lightning arrestor system, remote controls, security or data distribution systems, solar panels or smart home automation components; or
- (vii) concrete flatwork such as; driveways, sidewalks, walkways, paving stones or patios;

(B) report:

- (i) past repairs that appear to be effective and workmanlike except as specifically required by these standards;
- (ii) cosmetic or aesthetic conditions; or
- (iii) wear and tear from ordinary use;

(C) determine:

- (i) insurability, warrantability, suitability, adequacy, compatibility, capacity, reliability, marketability, operating costs, recalls, counterfeit products, product lawsuits, life expectancy, age, energy efficiency, vapor barriers, thermostatic performance, compliance with any code, listing, testing or protocol authority, utility sources, or manufacturer or regulatory requirements except as specifically required by these standards;
- (ii) the presence or absence of pests, termites, or other wood-destroying insects or organisms;
- (iii) the presence, absence, or risk of asbestos, lead-based paint, **mold**, mildew, corrosive or contaminated drywall Chinese Drywall or any other environmental hazard, environmental pathogen, carcinogen, toxin, mycotoxins, pollutant, fungal presence or activity, or poison;
- (iv) types of wood or preservative treatment and fastener compatibility; or
- (v) the cause or source of a conditions;

(D) anticipate future events or conditions, including but not limited to:

- (i) decay, deterioration, or damage that may occur after the inspection;
 - (ii) deficiencies from abuse, misuse or lack of use;
 - (iii) changes in performance of any component or system due to changes in use or occupancy;
 - (iv) the consequences of the inspection or its effects on current or future buyers and sellers;
 - (v) common household accidents, personal injury, or death;
 - (vi) the presence of water penetrations; or
 - (vii) future performance of any item;
- (E) operate shut-off, safety, stop, pressure or pressure-regulating valves or items requiring the use of codes, keys, combinations, or similar devices;
- (F) designate conditions as safe;
- (G) recommend or provide engineering, architectural, appraisal, mitigation, physical surveying, realty, or other specialist services;
- (H) review historical records, installation instructions, repair plans, cost estimates, disclosure documents, or other reports;
- (I) verify sizing, efficiency, or adequacy of the ground surface drainage system;
- (J) verify sizing, efficiency, or adequacy of the gutter and downspout system;
- (K) operate recirculation or sump pumps;
- (L) remedy conditions preventing inspection of any item;
- (M) apply open flame or light a pilot to operate any appliance;
- (N) turn on decommissioned equipment, systems or utility services; or
- (O) provide repair cost estimates, recommendations, or re-inspection services.

This inspection report is made for the sole purpose of assisting the purchaser to determine his and/or her own opinion of feasibility of purchasing the inspected property and does not warrant or guarantee all defects to be found. If you have any questions or are unclear regarding our findings, please call our office prior to the expiration of any time limitations such as option periods.

THE CLIENT, BY ACCEPTING THIS PROPERTY INSPECTION REPORT OR RELYING UPON IT IN ANY WAY, EXPRESSLY AGREES TO THE SCOPE OF INSPECTION, GENERAL LIMITATIONS AND INSPECTION AGREEMENT.

This report contains technical information. If you were not present during this inspection, please call the office to arrange for a consultation with your inspector. If you choose not to consult with the inspector, this inspection company cannot be held liable for your understanding or misunderstanding of the reports content.

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The contents of this report are for the sole use of the client named above and no other person or party may rely on this report for any reason or purpose whatsoever without the prior written consent of the inspector who authored the report. Any person or party who chooses to rely on this report for any reason or purpose whatsoever without the express written consent of the inspector does so at their own risk and by doing so without the prior written consent of the inspector waives any claim of error or deficiency in this report.

This report is not intended to be used for determining insurability or warrantability of the structure and may not conform to the Texas Department of Insurance guidelines for property insurability. *This report is not to be used by or for any property and/or home warranty company, with the exception of EliteMGA through the InterNACHI Warranty Program in partnership with Agave Property Inspections, PLLC.*

All areas of the home that are talked about in the report are oriented from the prospective of looking at the home from the front facing the home.

The digital pictures within this report are a representative sample of inaccessible areas, deficiencies or damages in place and should not be considered to show all of the inaccessible areas, deficiencies or damages observed. There will be inaccessible areas, deficiencies or damages not represented with digital imaging.

Occupied home/staged:

The property was occupied or staged at the time of inspection. Areas of the structure may have been blocked from the view of the inspector. Once the furniture and other objects are removed, certain signs may be revealed; however, the inspector inspected the structure as thoroughly as possible to provide you the best information regarding this property.

I NI NP D

I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s): Slab on Grade

Comments:

Foundation Performance Opinion : Performing adequately with no major signs of settlement or movement.

Foundation Disclaimer :

Notice: This inspection is one of first impression and the inspector was not provided with any historical information pertaining to the structural integrity of the inspected real property. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are based on general observations made without the use of specialized tools or procedures. Therefore, the opinions expressed are one of apparent conditions and not of absolute fact and are only good for the date and time of this inspection. The inspection of the foundation may show it to be providing adequate support for the structure or having movement typical to this region, at the time of the inspection. This does not guarantee the future life or failure of the foundation. The Inspector is not a structural engineer. This inspection is not an engineering report or evaluation and should not be considered one, either expressed or implied. If any cause of concern is noted on this report, or if you want further evaluation, you should consider an evaluation by an engineer of your choice.

B. Grading and Drainage

Comments:

1: Marginal Grading

Marginal site drainage was observed. Proper drainage is needed to help prevent water from standing and/or ponding next to the foundation beam. Corrective measures may be needed if the water stands within 10-feet of the foundation perimeter beam for more than 24-hours.



C. Roof Covering Materials

Types of Roof Covering: Asphalt Rolled Roofing, Asphalt Composition Shingles

Viewed From: Walked on Roof

Comments:

I NI NP D



Note:

When D (D=Deficient) is marked, it is recommended that all of the roofing material and its components be fully evaluated by a Qualified Roofing Specialist, prior to the expiration of any time limitations such as option or warranty periods.

1: Sealant Utilized

Note: Sealant has been utilized around penetrations. We recommend regular monitoring and maintenance by a qualified roofer as the sealant will crack with time.



2: Flashing - Missing

Flashing is not present in this area. This condition could allow water intrusion at this location.

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3: Flashing - Seal Storm Collar(s)

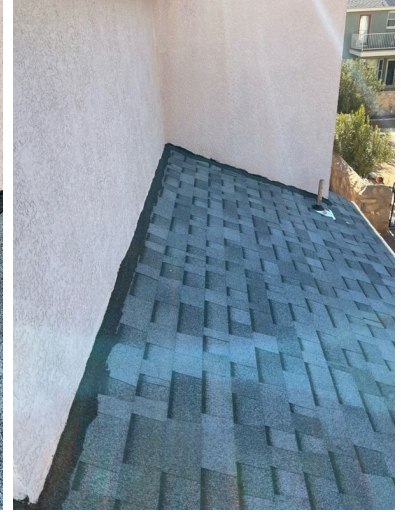
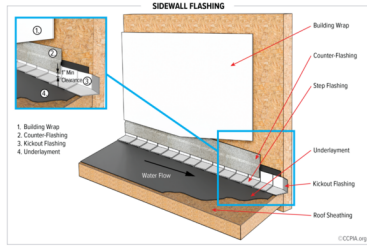
The storm collar(s) at the roof level gas equipment vent pipe(s) need to be properly sealed to help prevent water intrusion into the structure.



4: Flashing - No Flashing, Sealant Used

The sidewall and headwall area where the roof contacts the wall appears to be missing flashing and sealant was utilized in its place. This is a common local practice however does not meet industry standards. We recommend monitoring these areas and having a roofer regularly maintain the sealant as it will crack with time.

I NI NP D



5: Skylight Leakage

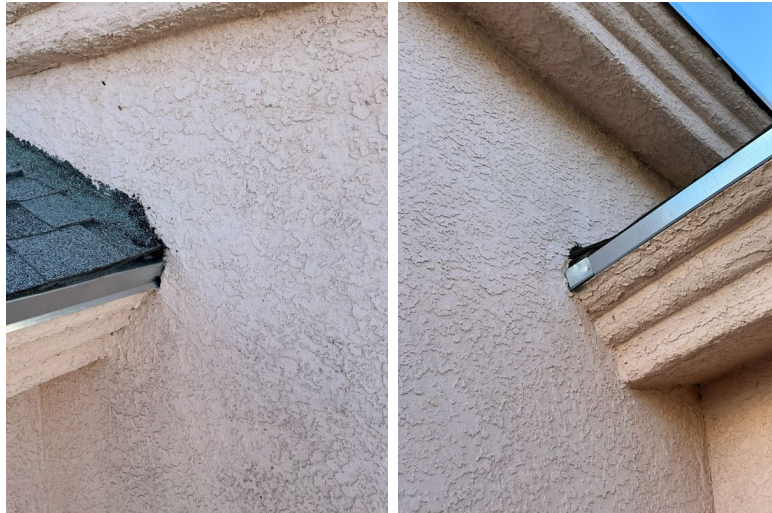
The skylight shows signs of previous leakage. This should be closely monitored and corrected if necessary.



6: Flashing - Missing Kickout

There was no kickout flashing details observed at the lower bottom edge of the roof line interface and the sidewall that continues past the edge of the roof. The lack of this kickout flashing will allow water to penetrate at these points.

I NI NP D



7: Evidence of bird activity

Evidence of bird activity. Recommend removing any nests or feces as this can damage the roof covering.



D. Roof Structures and Attics

Viewed From: Not Viewed - Vaulted Ceiling

Approximate Depth Of Insulation: Unable to determine

Comments:

Type of Ventilation: No visible venting

Vaulted Ceilings :

There is no attic access because there is vaulted ceilings. This is not a defect, just a common construction method.

1: Ventilation - Inadequate

The roof structure attic space does not appear to be adequately ventilated. It is recommended to increase the amount of lower and upper ventilation to help prevent heat buildup in the attic space area. This condition should be further evaluated and corrected as necessary.

I NI NP D

E. Walls (Interior and Exterior)

Comments:

Exterior Wall Covering Material: Stucco Type Product

Occupied Home :

Notice: Due to the home being occupied, I was unable to inspect all of the interior surfaces because of window treatments, personalized wall treatments / finishes, personal effects, large, heavy or fragile storage and/or furniture.

Stucco Needs Further Evaluation :

The stucco cladding appears to have conditions that are beyond normal. It is recommended to have the system further evaluated by a stucco specialist prior to the expiration of any option or warranty time periods.

1: Interior - Joint Cracks

Interior wall joint cracks were observed. This is not indicative of major structural movement, however does appear to be from previous water damage. This condition should be further evaluated and corrected as necessary.

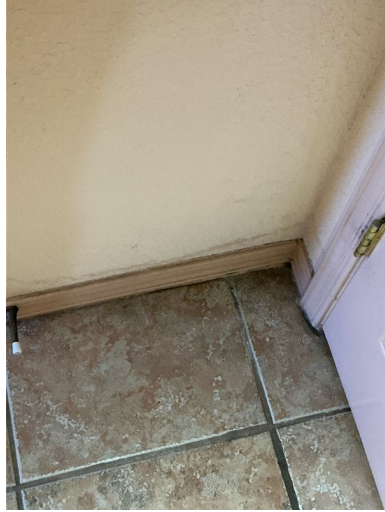


2: Water Stains

Half bath area

Water stains were observed on the walls. The cause and remedy should be further evaluated and corrected as necessary.

I	NI	NP	D
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3: Interior Wall - Damaged

Wall surface damage was observed.



4: Caulking - Windows

Caulking improvements are recommended for the area between the exterior veneer and the window frames. It is recommended to use an elastomeric caulking.



5: Sealant - Exterior Penetrations

The area between the exterior cladding / veneer and all of the wall penetrations / openings need to be properly sealed. Areas such as utility connections, downspouts, hose bibbs, lighting fixtures, receptacles etc. It is recommended to use an elastomeric caulking / sealant.



6: Wood Needs Paint

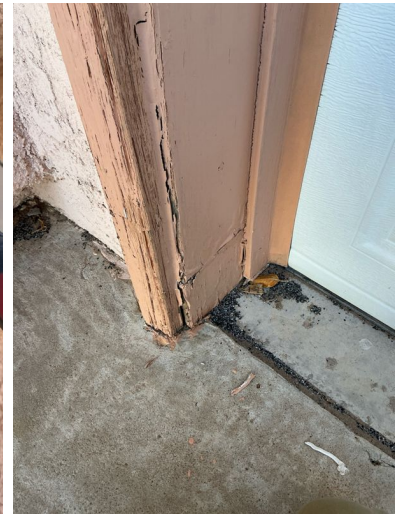
All of the exterior wood type surfaces need a fresh coat of paint.

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7: Wood Trim Damaged

The wood veneer trim has some deterioration or damage.

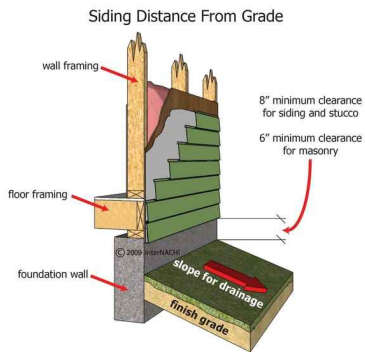


I NI NP D



8: Stucco - Ground Clearance

The exterior stucco type veneer/cladding has inadequate clearance from the finished grade (ground). Most manufacturers require a minimum of 4- to 6-inches of clearance from the finished grade (ground). This was a common installation for the age and area of the house, however does not meet industry standards. It is recommended that this area be closely monitored for water damage, and grading improvements are made to ensure water or moist dirt does not make prolonged contact with the stucco.



9: Stucco - Flatwork Clearance

The exterior stucco type veneer/cladding has inadequate clearance from the concrete flatwork. Most manufacturers require a minimum of 2-inches of clearance from all concrete flatwork.

I NI NP D

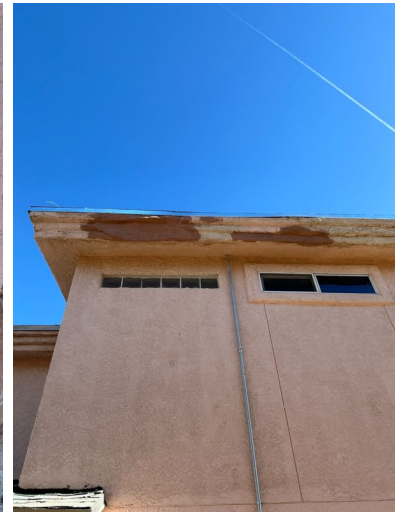


10: Stucco - Weep Screed Missing

The weep screed was observed to be missing.

11: Stucco - Damaged

Some deterioration and/or damage to the stucco type veneer/cladding was observed.



12: Stucco - Cracks

Cracking of the stucco type veneer/cladding was observed. This condition should be further evaluated and corrected as necessary.

I NI NP D

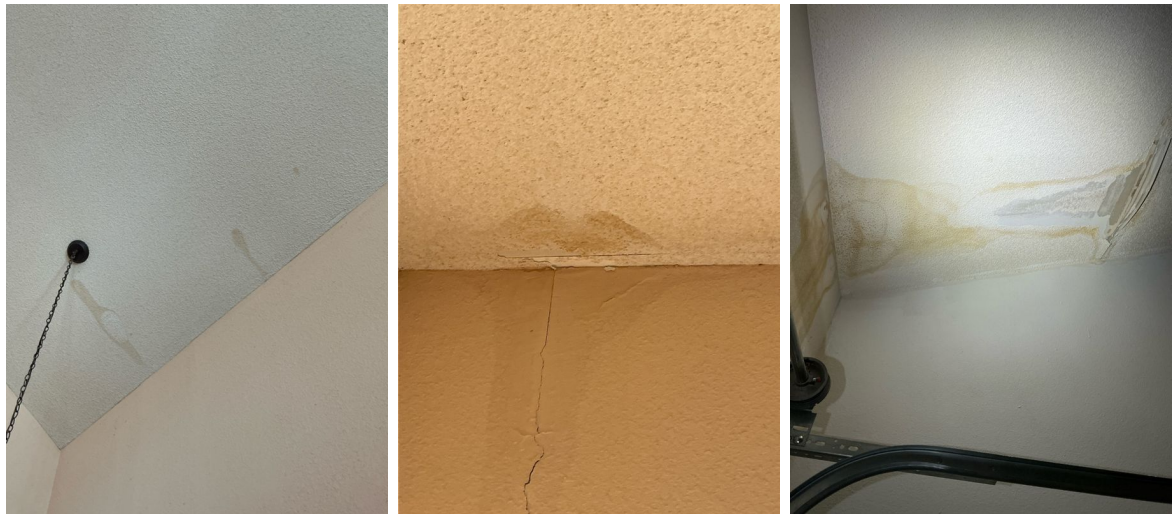


F. Ceilings and Floors

Comments:

1: Ceiling - Water Stains

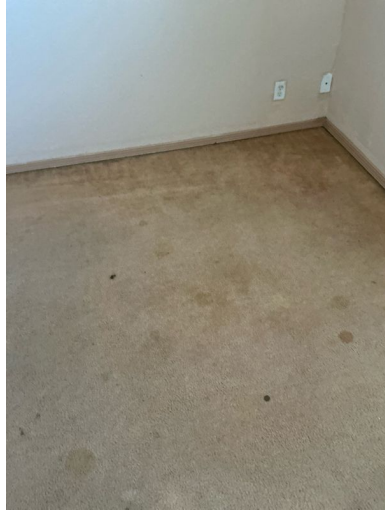
Water stains were observed on the ceiling finish. The cause and remedy should be further evaluated and corrected as necessary.



2: Floor - Worn/Damaged

The floor covering is worn and/or damaged in one or more locations of the home.

I NI NP D



3: Floors - Upstairs Squeak

Note: The upstairs sub-floors (flooring) observed to squeak when walked over.



G. Doors (Interior and Exterior)

Comments:

1: Door - Sticking

The door is sticking.

I	NI	NP	D
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2: Door - Hardware Missing

Door stops missing in multiple locations.



3: Door - Hardware not Functioning

Back door, pantry

The door hardware does not function properly.

I	NI	NP	D
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4: Door - Hardware Damaged

Laundry

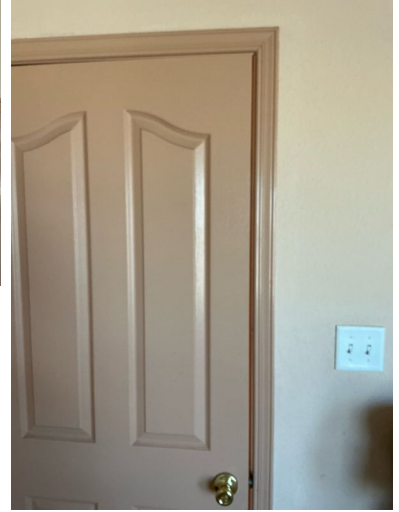
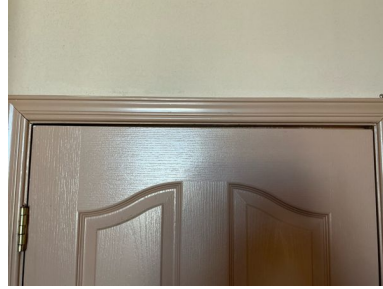
The door hardware is damaged and/or is not functioning properly.



5: Door - Out of Square

Some of the interior seconds story doors are not plumb and out of square upstairs and close on their own. Recommend evaluation and having adjustments be made. This could be due to un-level framing in these areas.

I	NI	NP	D
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6: Door - Lacks Paint

Porch, rear exterior

Recommend re-finish and paint of exterior doors.



7: Door - Weather-stripping Improvements

Balcony

Weather-stripping improvements are recommended.

I NI NP D



8: Garage Entry - Not Self Closing

The garage entry door is not equipped with a self-closing device.



9: Garage Entry Door - Not Fire Rated

The garage entry door was observed to be a non-fire rated door. Under current building standards, the entry door between the garage and the residence should have a minimum of a 20-minute fire block rating.

H. Windows

Comments:

Inspection Limitations:

Note: I was unable to visually inspect or operate some of the windows due to height, window treatments, personal effects, large, heavy or fragile storage and/or furniture.

1: Screen - Damaged

One or more of the window screens were observed to be damaged.

I	NI	NP	D
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2: Window Lock Missing

Upstairs bath

Window lock(s) were observed to be damaged and/or missing.



3: Damaged Guides

Several areas

The window guide was observed to be damaged and the window will not stay in the open position.

I	NI	NP	D
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4: Difficult to Operate

One or more of the windows were observed to be stiff and hard to operate.



I NI NP D



5: Safety Glass - Near or In Door

Several exterior doors

Lack of safety glass near and/or in door. Under current building standards, this is hazardous.



I. Stairways (Interior and Exterior)

Comments:

1: Balusters Too Far Apart

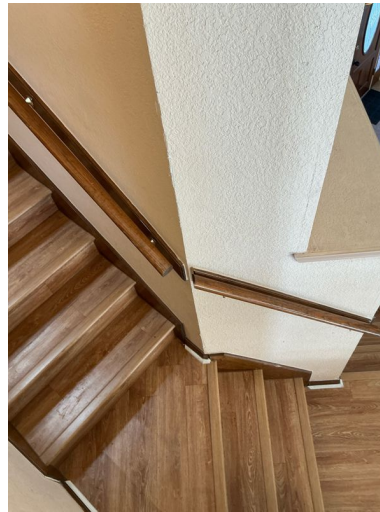
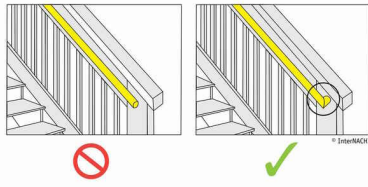
The stairway guard balusters and/or spindles are installed too far apart under current building standards. This may be an “as-built” condition but per TREC standards of practice we are required to report this condition as a deficiency. You may consider corrective measures for improved safety.

I NI NP D



2: Handrail Does Not Terminate Into Wall/Post

The handrail does not terminate into the wall or a newel post. This condition does not meet current building standards.



J. Fireplaces and Chimneys
Comments:

I NI NP D



Gas Service Off:

Note: The gas service was turned off to the structure at the time of this inspection. I was unable to check the gas operation of this component at this time. A limited visual survey will be performed and if any deficiencies are found they will be listed within this section.



K. Porches, Balconies, Decks, and Carports

Comments:

1: Damaged wood trim

Damaged wood trim noted. Should be further investigated and corrected as necessary.

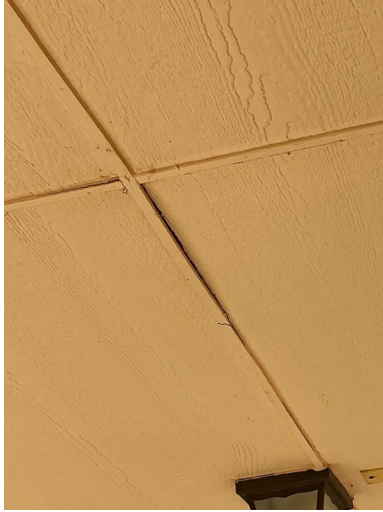
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

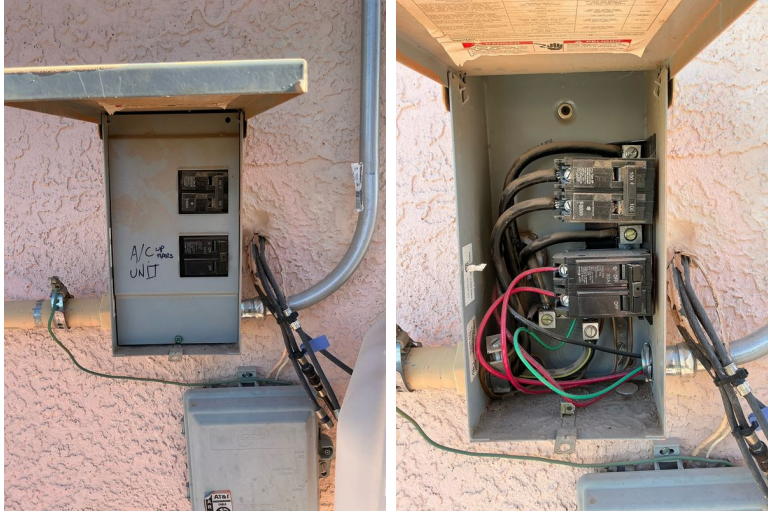
Comments:

Service Entrance: Underground

Main Service Panel Location: North West Exterior Wall

Main Service Panel Amperage: 100 Amp

Main Service Panel Manufacturer: Seimens



Distribution Method : Non-Metallic Sheath (Romex)

Grounding Method : Driven Rod

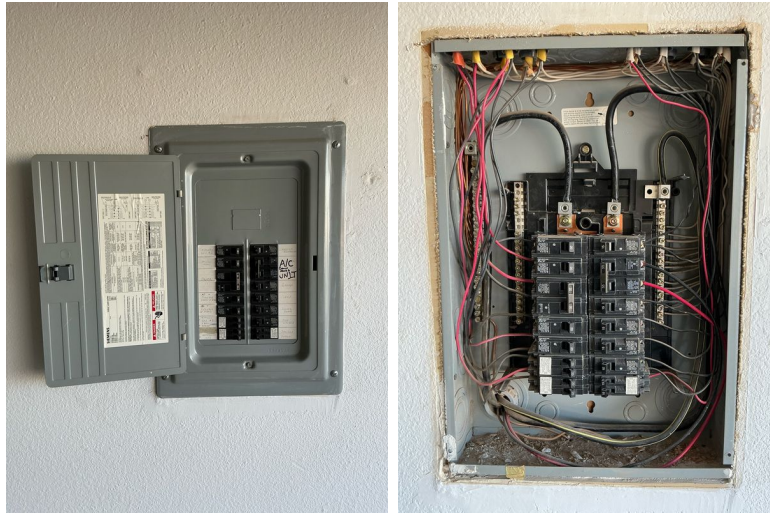


Sub-Panel Location: Garage

Sub-Panel Amperage: Unknown

Sub-Panel Manufacturer: Seimens

I NI NP D



Notice:

Note: When D (D=Deficient) is marked. It is recommended that this item be fully investigated by a Qualified Licensed Electrician, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the integrity of the entire electrical system.

1: Breakers Improper Labeling

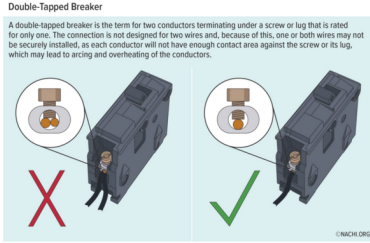
The breakers (overcurrent devices) in the electrical panel are not properly labeled.



2: Double Tapped Breaker

One or more of the breakers in the electrical cabinet were observed to be double lugged (i.e. two wires under one screw). The breakers in place are not listed or labeled for this type of installation and should be corrected as necessary.

I NI NP D



3: Improper use of Extension Cord

Electrical flex extension cords should not be used for permanent wiring or pass through walls or ceilings.



B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments:

Further Evaluation Recommended :

The buyer should have the electrical system checked by a Qualified Licensed Electrician. The observations made to support the rendering of this opinion are listed but not limited to the following below.

Note: Due to the limited nature of a general home inspection, it is possible that additional deficiencies will be discovered by a licensed technician. It is recommended to have the system serviced prior to the expiration of any option/warranty period.

1: Missing GFCI

Dishwasher, food disposal

Not all of the receptacles in the wet/damp areas have ground fault circuit interrupter (GFCI) protection. Under current electrical standards all of the exterior/accessory building receptacles, all crawl space receptacles, all kitchen counter top receptacles, all bathroom receptacles, all attic receptacles, all laundry room receptacles, all garage receptacles, dishwasher receptacle, receptacle in cabinet under kitchen sink, any receptacle within 6-feet of the sink, all wet bar area receptacles and pool equipment should have GFCI protection.

2: Missing Tamper Resistant Outlets

There are no tamper resistant receptacles installed at the time of inspection. Under current building standards, all receptacles that are less than five and a half feet above the floor should be tamper resistant. This is an "as built" condition, but per TREC standards of practice, we are required to report this condition as deficient. Tamper Resistant outlets are required per the 2008 National Electric Code. You may consider corrective measures for improved safety.

3: Missing AFCI

Not all of the required dwelling unit devices, receptacle and lighting outlets (switches, receptacles and fixtures) are connected to an arc-fault circuit-interrupter (AFCI) circuit device. AFCI devices were first required under the 1999 National Electrical Code and under the 2014 NEC, all living space, kitchen and laundry room devices, receptacle and lighting outlets (switches, receptacles and fixtures) should be connected to an arc-fault circuit interrupter (AFCI) device.

4: Loose Receptacles

One or more of the receptacles were observed to be loose at the wall mount.



5: No Power at Receptacle

One or more of the receptacles appears to be inoperative. This receptacle(s) and circuit should be investigated and corrected as necessary.

I	NI	NP	D
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6: Reversed Polarity

Laundry

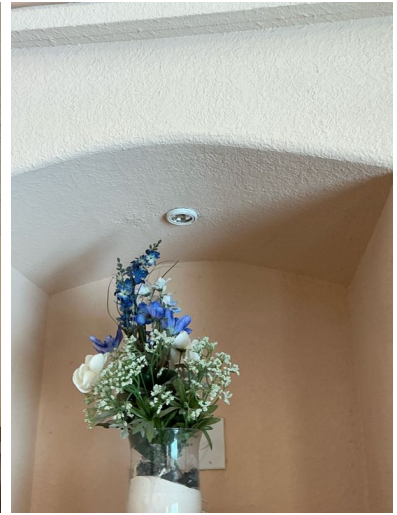
One or more of the receptacles appear to have reversed polarity (i.e. it is wired backwards). This receptacle(s) and the circuit should be investigated and improved as necessary.



7: Light Fixture Inoperative

One or more of the light fixtures appear to be inoperative. This may be due to a bad bulb or some other unknown condition. This condition should be further evaluated and corrected as necessary.

I	NI	NP	D
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8: Missing Globe

One or more of the light fixture globes and/or covers are missing.

I NI NP D



9: Missing Carbon Monoxide Alarm

I was unable to locate a carbon monoxide alarm in the immediate vicinity of the bedrooms.

10: Major appliance shared receptacle

The furnace is sharing an outlet with other devices. The furnace should have a dedicated outlet.

Recommendation: Contact a qualified professional.



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C. Other

Comments:

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of Systems: Forced Hot Air

Energy Sources: Natural Gas

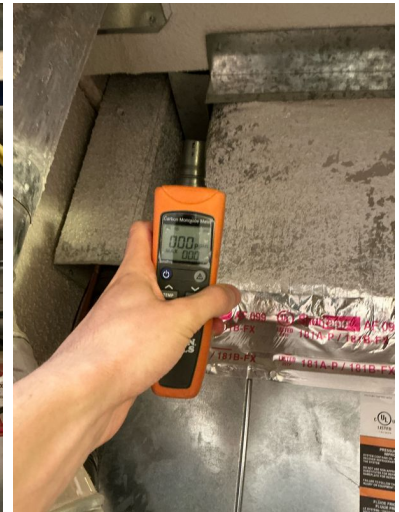
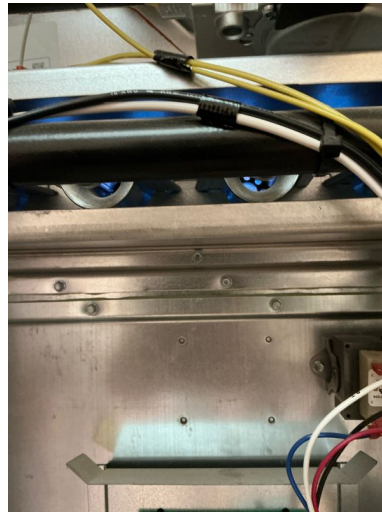
Comments:

Brand : American Standard

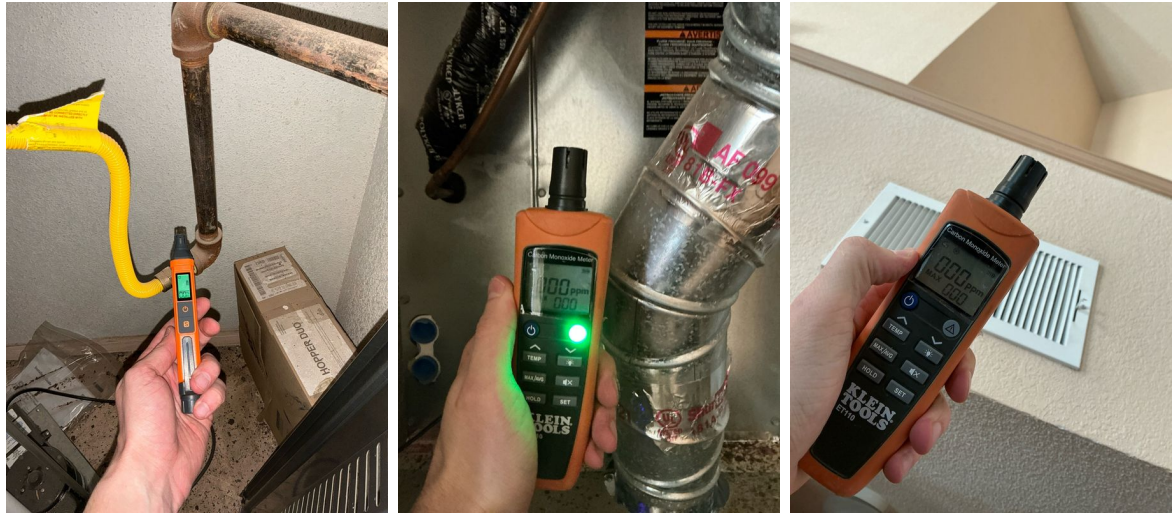
Approximate Year Built: 2022

Performing :

This component appears to be performing adequately at the time of this inspection. It is achieving an operation, function, or configuration consistent with accepted industry practices for its age.



I NI NP D



Note :

When D (D = Deficient) is checked, it is recommended that this item be fully investigated by a Qualified / Licensed HVAC Technician, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the integrity of the equipment.

1: Air Filter Dirty

The dirty air filter should be replaced.



2: Vent Pipe Improper Installation

The vent pipe is not properly secured in an area. Recommend correction.



3: Debris in closet

Debris in furnace closet should be removed.

Recommendation: Contact a qualified professional.



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B. Cooling Equipment

Type of Systems: Central Air Conditioner

Brand: American Standard

Approximate Condensing Unit BTU/Tonnage: Unable to determine

Type of Freon: R-410A

Approximate Year Built: 2022

I=Inspected

NI=Not Inspected

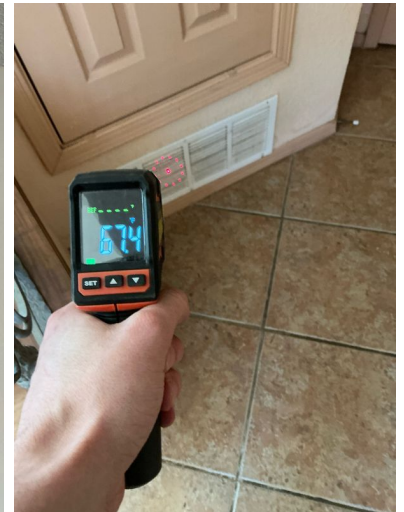
NP=Not Present

D=Deficient

I NI NP D



Temperature Differential: 16°, 22°



Notice:

I NI NP D

Temperature differential readings (Delta-T) are an accepted industry standard of practice for testing the proper operation of the cooling system. Our company policy normal acceptable range is considered approximately between 15 to 22 degrees °F total difference (Delta-T) measured between the return air and supply air within close proximity of the related coils of the system being evaluated. Conditions such as but not limited to; excessive humidity, high or low outdoor temperatures or restricted airflow may indicate abnormal operation even through the equipment is functioning basically as designed and occasionally may indicate normal operation in spite of an equipment malfunction. The inspector will not be able to anticipate future events, conditions or changes in performance of any component or system due to changes in use or occupancy. The inspector makes no guarantee or warranty, express or implied, as to future performance of any item, system or component

Note:

When D (D = Deficient) is checked, it is recommended that this item be fully investigated by a Qualified / Licensed HVAC Technician, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the integrity of the equipment.

1: Condensate Line Terminates into Plumbing Vent

The primary condensate drain line is improperly terminating into a plumbing vent stack.



2: Conduit Loose

The electrical wire conduit has pulled loose at the outside condenser housing and/or service disconnect.

I	NI	NP	D
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3: Line set installed through combustion air inlet

The line set for the condenser was ran through the combustion air vent. This is not a recommended practice.



4: Conduit not supported

The electrical conduit is not supported.

I NI NP D



C. Duct Systems, Chases, and Vents

Comments:

Filter location: At unit interior closet

Filter Size: 16 x 25 x 1

1: Dirty Registers

There is visible dust and/or mildew on the air registers. The cause and remedy should be further evaluated. It is recommended to have the air registers and duct system cleaned for air quality purposes. Laundry vent was difficult to operate and was closed.



2: Dirty Return

The air-return chase for the HVAC system is dirty and should be cleaned to help maintain good air quality.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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D. Other

Comments:

IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems, and Fixtures

Location of Water Meter: Curb



Location of Main Water Supply Valve : Meter, Garage



Static Water Pressure Reading: 60 to 65 psi

I	NI	NP	D
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Type of Supply Piping Material: PEX

Comments:

Notice :

The Inspector has attempted to discover and report conditions requiring further evaluation or repair. However; determining the condition of any component that is not visible and/or accessible, such as plumbing components that are buried, beneath the foundation, located within construction voids or otherwise concealed, and reporting any deficiency that does not appear or become evident during our limited cursory and visual survey is outside the scope of this inspection. The inspector will not be able to anticipate future events, conditions or changes in performance of any component or system due to changes in use or occupancy. The inspector makes no guarantee or warranty, express or implied, as to future performance of any item, system or component.

Further Evaluation Recommended :

The buyer should have the Plumbing system checked by a Qualified Licensed Plumber. The observations made to support the rendering of this opinion are listed but not limited to the following below.

Note: Due to the limited nature of a general home inspection, it is possible that additional deficiencies will be discovered by a licensed technician. It is recommended to have the system serviced prior to the expiration of any option/warranty period.

1: Copper Corrosion

There is noticeable corrosion and blackening observed on the exterior surfaces of the copper water lines at the time of this inspection.



2: Exterior Bibb - Leaks when off

The exterior water hose bibb (faucet) leaks when turned off.



3: Exterior Bibb - Lacks Anti-Siphon Function

One or more of the exterior water hose bibbs (faucet) do not have a back-flow or anti-siphon device (Vacuum Breakers) in place. Note: This is not uncommon to observe with a home of this age.

I	NI	NP	D
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4: Sink - Leaks at Handle

The faucet leaks at the handle when on.



5: Sink - Leaks at base

The faucet leaks at the base when operated.



6: Sink - Noisy Operation

The faucet is unusually noisy (humming) at the time of inspection. This condition should be further evaluated and corrected if necessary.



7: Sink - Slow Drain

The sink was observed to drain slowly, suggesting that an obstruction may exist.

I	NI	NP	D
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8: Toilet - Caulking Improvements

Cracked, deteriorated and/or missing toilet base caulking should be repaired or replaced as necessary.



9: Sink - Drain Leaks

The drain leaks water into when drained under pressure with a large volume of water.

I	NI	NP	D
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10: Bathtub - Enclosure Needs Repair

The tile bathtub enclosure requires repair. Any loose or damaged tile, grout and caulking should be repaired or replaced as necessary. Any damage to the wall behind the tile should also be repaired (if necessary).



11: Bathtub - Slow Drain

The bathtub was observed to drain slowly, suggesting that an obstruction may exist.

I	NI	NP	D
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12: Shower - Grout/Caulking Improvements

Cracked, deteriorated and/or missing shower stall grout and/or caulking should be repaired or replaced as necessary



13: Toilet - Inoperative

The commode is inoperative. The cause and remedy should be further evaluated and corrected as necessary.

I NI NP D



14: Toilet - Shutoff Valve Damaged/Missing

The commode shutoff valve handle is damaged and/or missing.



B. Drains, Wastes, and Vents

Type of Drain Piping Material: PVC

Comments:

Location of Main Clean-out: Front Yard

Notice :

Reporting the condition of drains, wastes and vent piping that is not completely visible and/or accessible or; reporting any defect or deficiency that requires extended use of the system to develop or does not become evident during our limited cursory and visual survey is outside the scope of the inspection. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are based on general observations made without the use of specialized tools or procedures. Therefore, the opinions expressed are one of apparent conditions and not of absolute fact and are only good for the date and time of this inspection. The inspector will not be able to anticipate future events, conditions or changes in performance of any component or system due to changes in use or occupancy. The

inspector makes no guarantee or warranty, express or implied, as to future performance of any item, system or component

Further Evaluation Recommended :

The drain/waste system and associated components need to be checked and serviced by a Qualified /Licensed Plumber. The observations made to support the rendering of this opinion are listed but may not be limited to the following below.

Note: Due to the limited nature of a general home inspection, it is possible that additional deficiencies will be discovered by a licensed technician. It is recommended to have the system serviced prior to the expiration of any option/warranty period.

1: Slow Drainage

Several of the drains within the structure related to one or more of the toilets, sinks, showers or tubs were observed to be slow draining. This could indicate some type of blockage or defect with the main drain. It is recommended to have the inaccessible and buried pipes scoped with a camera to further evaluate the cause of this condition. This evaluation should occur prior to the expiration of any time limitations such as option or warranty periods.

2: Vent - Improper Height

Some of the roof level plumbing stacks do not appear to extend to the proper height. The vent stacks that penetrate the roof should extend at least 6 inches above the roof structure.

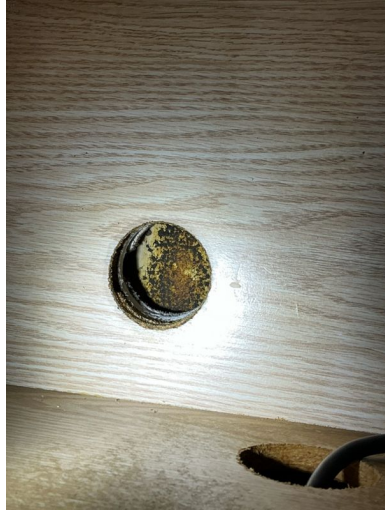


3: Possible leakage

Vivable above stove

Evidence of drain pipe leakage. The cause should be investigated and corrected as necessary.

I NI NP D

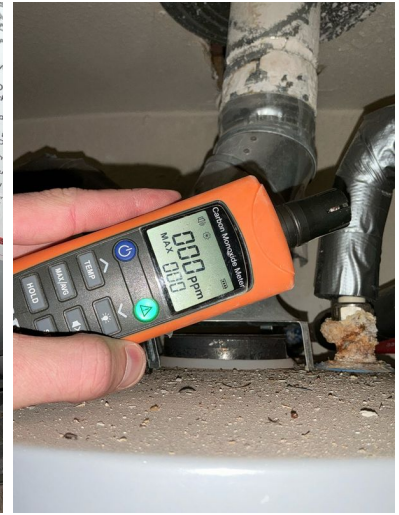


- C. Water Heating Equipment**
- Energy Sources: Natural Gas*
- Capacity: 40 Gallons*
- Comments:*
- Brand: AO Smith*
- Approximate Year Built: 2020*



Performing :
 This component appears to be performing adequately at the time of this inspection. It is achieving an operation, function, or configuration consistent with accepted industry practices for its age.

I NI NP D



Note:

Most water heater manufacturer companies recommend replacing the temperature and pressure relief valve every 2-5 years as part of regular water heater maintenance.

Further Evaluation Recommended :

The water heater and associated components need to be checked and serviced by a Qualified / Licensed Plumber. The observations made to support the rendering of this opinion are listed but may not be limited to the following below.

Note: Due to the limited nature of a general home inspection, it is possible that additional deficiencies will be discovered by a licensed technician. It is recommended to have the system serviced prior to the expiration of any option/warranty period.

1: Corrosion Connections

Some corrosion was observed at the water supply connections at the top of the water heater.

I NI NP D



2: Water Temperature Too High

Note: The water temperature was observed to be over 140 degrees Fahrenheit when running the hot water. This high temperature could cause scalding/burning of the skin. It is recommended to adjust the temperature on the water heater to a lower setting. The general recommended setting for a water heater is between 120-130 degrees Fahrenheit.



3: Drain Pan Not Plumbed

There is no drain line installed for the water heater pan. The pan should have a drain line installed that should terminate over a suitably located indirect waste receptor or shall extend to the exterior of the building and terminate not less than six-inches (6”) and not more than twenty-four inches (24”) above the ground.

I NI NP D



4: Vent - Missing 3 screws

The water heater flue connector should be mechanically attached to the draft hood with a minimum of three sheet metal screws.



D. Hydro-Massage Therapy Equipment

Comments:

Drain Obstructed:

Due to the bathtub drain being obstructed, the inspector did not test the hydro- Massage function or its safety features. Recommend that this is reinspected once the drain is corrected.

E. Gas Distribution Systems and Gas Appliances

Location of Gas Meter: Right Exterior

I	NI	NP	D
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Type of Gas Distribution Piping Material: Black Steel
Comments:



Notice:

The Inspector will use a combustible gas leak detector on accessible gas lines, joints, unions and connectors and report visible deficiencies found at the time and date of the inspection. The inspector inspects the gas lines from the point they enter the structure and will complete the inspection without digging, damaging property, permanent construction or building finish. When performing the inspection, the inspector will keep in consideration the age of the system and normal wear and tear from ordinary use when rendering opinions. The inspector is not required to and will not inspect sacrificial anode bonding or for its existence. The Inspector is not licensed to and will not perform a pressure test on the gas line system. The Inspector cannot detect gas leaks below the finished grade (underground), construction voids, between the walls or behind fireplace hearths. Propane tanks will not be inspected. If any further concerns exist about possible gas line failure and/or deficiencies or code compliance, we recommend the buyer have the gas system further evaluated by the local controlling gas supplier and/or a qualified licensed master plumber prior to the expiration of any time limitations such as option or warranty periods

1: Old Gas Shut Off Valves

It is recommended that the older spring load gas valves be changed out to the new style ball valves.

I	NI	NP	D
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2: Add valve to laundry gas connection

Recommend having a valve installed on dryer gas connection.

Recommendation: Contact a qualified plumbing contractor.



V. APPLIANCES

A. Dishwashers

Comments:

Manufacturer: Undetermined

Blocked Drain:

Due to the kitchen sink being obstructed, a full cycle inspection of the dishwasher was not performed. Visual inspection only.

B. Food Waste Disposers

Comments:

Manufacturer: InSink/Badger

1: Inoperative

The food waste disposer is inoperative.



C. Range Hood and Exhaust Systems

Comments:

Exhaust Hood Type: Recirculating Range Hood

Manufacturer: Not Present

Performing :

This component appears to be performing adequately at the time of this inspection.

I NI NP D



D. Ranges, Cooktops, and Ovens

Range, Cook Top or Oven Manufacturer: Whirlpool

Notice::

This range requires manual lighting of its burners. Therefore, the unit was not functionally tested by the inspector. Upgrading to a modern listed range with an integrated ignition may be beneficial to you.

1: No Anti-Tilt Installed

The range can be easily tipped over and should be equipped with an anti-tip device, for safety.

E. Microwave Ovens

Comments:

Manufacturer: Not Present

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

Performing :

This component appears to be performing adequately at the time of this inspection.

G. Garage Door Operators

Comments:

Manufacturer: LiftMaster

1: Manual Lock Present

When an automatic garage door opener is in use, the manual lock should be disabled or removed.

I	NI	NP	D
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2: Light Inoperative

The garage door light was inoperative at the time of inspection.



3: Loose Chain

The garage door opener chain is loose and needs to be better secured and/or adjusted.

I NI NP D



4: Resistance Test Failed

The garage door opener DID NOT automatically reverse under reasonable resistance when closing. Improvement may be as simple as adjusting the sensitivity control on the opener.

5: Reverse Sensors Too High

The garage door reverse sensors are not properly installed. The garage door reverse sensors should be installed within 6-inches of the garage floor.



H. Dryer Exhaust Systems

Comments:

Dryer Vent Location: Right Side

I	NI	NP	D
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Dryer Service : Electric, Gas

1: Damper Not Functioning

The damper at the dryer exhaust termination does not function properly. The damper does not reset to the closed position when not in use.



VI. OPTIONAL SYSTEMS

G. Other

Comments:

Thermal Imaging - Limited Scan:

Client has agreed to the limited use of an infrared imaging camera by the Inspector during this inspection. Client understands the Inspector may perform infrared imaging scans of selected surfaces completely at the discretion of the Inspector. Client also understands that infrared imaging does not guarantee locating or discovering possible concealed defects including water damage, structural defects, insulation deficiencies, electrical defects. To capture acceptable infrared thermal images during this inspection, a temperature differential of a minimum 18 degrees Fahrenheit between the interior and exterior of the inspected structure must be obtained. Any temperature difference below this threshold can limit in it's findings and may conceal anomalies. Exterior surfaces must be reasonably free of water. Furniture, wall hangings and stored items may limit the infrared scans. Reflective surfaces including glass and foil faced wall insulation will not allow for acceptable infrared imaging of these areas. Roof imaging scans are excluded from this inspection unless Inspector determines acceptable standard roof imaging conditions exist during the inspection and may be beneficial to the Client. Contrary to popular belief, thermal imaging DOES NOT allow an inspector to "see behind walls" as claimed by some. This device only allows comparison of surface temperatures and can show anomalies, which are temperature differences that are significantly dissimilar to the same surrounding material temperature which may be caused by a latent defect. Anomalies noted do not guarantee there is a defect behind the surface. It only means that an industry professional should further evaluate to determine if a defect likely exists. This may require invasive and destructive inspection that is outside the scope of a general home inspection.

1: Thermal - Anomalies

Several areas of suspected missing insulation was present. Upgrades can be made at your discretion for energy improvement.

