



## INSPECTION REPORT

1234 Main Street  
Ruskin, FL 33575

Buyer Name  
07/01/2025 9:00AM



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Agent

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**\*\*\*Regarding your Spectora Inspection Report, click on Full Report (default) above to view the full inspection report or click on Summary above to view just the defects/deficiencies. You can also click on PDF above (to the right) to change the report PDF style for printing if needed.\*\*\***

Home inspectors are considered generalists having knowledge of residential property and most mechanical components, however, are not professionals in all fields. It is recommended that any noted deficiencies be evaluated and repaired by a certified contractor of trade or a professional in that field.

We wish to remind you that every property requires a certain amount of ongoing maintenance: drains sometimes clog, gutters, downspouts and the grading around the property must be properly maintained to help prevent water intrusion around the foundation or crawlspace; roofs, furnaces, air conditioners and other components require regular maintenance and inspection. This property will be no exception and we **strongly suggest that you both expect and budget for regular maintenance/repairs.**

And remember that homeownership is both a joyful experience and an important responsibility, so be sure to call on NPI Manatee County to inspect your property every year to keep your family safe and your home in good condition for years to come.

The following report is based on visual inspection of the readily accessible areas of this property and on a random sampling of like items, **not every item was or could be inspected**. Please read the entire report carefully, ask your inspector any questions you might have **and obtain estimates or discuss noted items with a contractor before closing (if applicable).**

This report is the exclusive property of this inspection company and the client(s) listed in the report title. Use of this report by any unauthorized persons is prohibited. Use of all information contained in the report is specifically restricted to the transaction for which the inspection was performed (e.g. not for insurance purposes). ***Use of or reliance upon the report by other parties, or for other transactions, is strictly prohibited.*** No third party shall have any rights arising from this contract or the report and may not rely on the report. Client gives permission for the Inspector to discuss report findings with real estate agents, specialists, or repair persons for the sake of clarification.

The inspector, at his/her discretion, may take thermal images to assist in the standard home inspection, just like any other inspection tool such as a moisture meter. The use of such tools is outside of the Company's Standard of Practice (SOP) and, as such, their utilization is at the Company's sole discretion and isn't a bargained-for component of the inspection unless, for an additional fee, the client asks for a thermal scan of the property before the scheduled inspection and the client signs the thermal pre-inspection agreement addendum.

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## SUMMARY

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ITEMS INSPECTED



MAINTENANCE ITEMS



DEFICIENCIES

SAFETY/IMMEDIATE  
ATTENTION

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- ⊖ 1.3.1 Inspection details - Structure Details: Mid-1980s and older
- ⊖ 2.4.1 Roof - Flat: Ponding
- ⊖ 2.6.1 Roof - Flashing and/or Vents: Plumbing Vent Screens
- ⊖ 2.6.2 Roof - Flashing and/or Vents: Mixed Exhaust Vents
- ⊖ 3.2.1 Exterior - Grading/Drainage: Near Level
- ⊖ 3.3.1 Exterior - Driveway, Sidewalk, Walkway, Patio, Porch: Minor Damage-Driveway
- ⊖ 3.5.1 Exterior - Electrical: Light loose/substandard
- ⊖ 3.5.2 Exterior - Electrical: Missing and/or Deteriorated Sealant Light
- ⊖ 3.5.3 Exterior - Electrical: No Power
- 🔧 3.6.1 Exterior - Windows and Doors: Caulking
- ⊖ 3.6.2 Exterior - Windows and Doors: Door Closer
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- ⊖ 3.6.4 Exterior - Windows and Doors: Screen Damage
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- ⚠ 6.1.1 Water Heater - Water Heater: TPR Drain Line Missing
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- ⊖ 8.1.1 Attic - General: Stains
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- ⊖ 8.5.1 Attic - Ventilation: Gable vent damage
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- ⊖ 9.2.1 Interiors - Windows and Doors: Door Rubs Against Floor
- ⊖ 9.2.2 Interiors - Windows and Doors: Doorstops missing
- ⊖ 9.2.3 Interiors - Windows and Doors: Door-won't latch
- 🔧 9.2.4 Interiors - Windows and Doors: Entry Door-Weatherstrip
- ⊖ 9.2.5 Interiors - Windows and Doors: Window hard to open/close
- ⊖ 9.2.6 Interiors - Windows and Doors: Window-won't open
- ⊖ 9.3.1 Interiors - Electrical: Ceiling Fan Noisy
- ⊖ 9.3.2 Interiors - Electrical: Loose plug/cover
- 🔧 9.4.1 Interiors - Smoke and/or CO Alarms & Safety: Replace Batteries
- 🔧 9.4.2 Interiors - Smoke and/or CO Alarms & Safety: Smoke alarms missing
- ⊖ 10.2.1 Bathrooms - Bathtub: Clogged or Drains slowly
- 🔧 10.3.1 Bathrooms - Shower: Shower head needs caulking

- 🔧 10.5.1 Bathrooms - Exhaust Fan: Dirty fan grille
- 🚫 10.5.2 Bathrooms - Exhaust Fan: None with Shower
- 🔧 10.5.3 Bathrooms - Exhaust Fan: Fan Light Inoperable
- 🚫 10.6.1 Bathrooms - Sink/countertop: Stopper issue
- 🚫 10.7.1 Bathrooms - Toilets: Loose
- 🚫 10.8.1 Bathrooms - Wall: Loose toilet paper holder

1: INSPECTION DETAILS

Information

<b>General: Start Time</b> 920a	<b>General: Finish Time</b> 1230p	<b>General: Ground Condition</b> Dry
<b>General: Present at time of the inspection</b> N/A	<b>General: Property Occupancy</b> No	<b>General: Rain in the last few days</b> Yes
<b>General: Temperature</b> 84 Fahrenheit	<b>General: Weather Condition</b> Clear, Sunny, Hot	<b>Structure Details: Age of the Structure</b> 66
<b>Structure Details: Foundation Type</b> Slab	<b>Structure Details: Structures Inspected</b> House	<b>Structure Details: Type of Structure</b> Single Family, One story
<b>Structure Details: Utilities</b> All Utilities on		

## Information: Category description

Listed below is a description of the Categories used throughout the report to help understand the severity of an item. Any items listed in the below categories may be based on the inspectors opinion on what was observed at the time of inspection. Due to your perceptions, opinions or personal experience, there may be defects that you feel belong in a different category. You should feel free to consider the importance you believe they hold and act accordingly. **The recommendations made in each comment's text pertaining to a defect are more important than their categorical placement.**

**Maintenance** = The item, component, or system while perhaps is functioning as intended may be in need of **minor** repair, service, or maintenance; is showing wear or deterioration that could result in an adverse condition at some point in the future; or consideration should be made in upgrading the item, component, or system to enhance the function, efficiency, and/or safety. Items that fall into this category can frequently be addressed by a **homeowner or licensed handyman** and may be considered to be routine homeowner maintenance (DIY) or recommended upgrades.

**Deficiencies/Recommendations** = This category contains material defects: defined as items that may have a negative impact on the value of the property or are a safety concern. The item, component, or system while perhaps functioning as intended is in need of **moderate** repair or service, is showing signs of wear or deterioration that could result in an adverse condition at some point in the future; consideration should be made in upgrading the item, component, or system to enhance the function, efficiency and/or safety. **Most defects will fall into this categorization!** Items falling into this category can frequently be addressed by a **licensed handyman or qualified contractor of trade** and may not be considered routine maintenance or DIY items.

**Health & Safety - Immediate Attention** = Issues that pose an immediate risk to the well-being of the occupants. The item, component, or system poses a safety concern to occupants in or around the home. Some listed concerns may have been considered acceptable for the time of the structure's construction, but pose a current risk. The item, component or system is not functioning as intended and/or action is strongly recommended, and needs further inspection by a **qualified license contractor of trade**.

*For **buyer** inspections, these categories are not designed to be considered as an enforceable repair or responsibility of the current homeowner, but designed to inform the current client of the current condition of the property and structure. They may be used in negotiations between real estate professionals.*

## Information: Limitations

In the event that the inspector was not able to inspect/test certain areas or components of the home, there may be a *Limitations* tab in that section of the report. The *Limitations* tab may show things that need to be further evaluated after the inspection. I recommend reading any *Limitations* in the report and addressing them as necessary.

## Information: Photographs/Videos

Numerous photos and videos are in your inspection report. These photos/videos are for informational purposes as well as a general view and may not include every instance or occurrence of a defect. For example, if the report has three photos of tile damage in the hallway, this does not mean that there is only tile damage in those areas or if the inspector took a single photo of a spigot, that does not mean the property only has one spigot. Also, it is impossible to have a photo of each inspected system in the house and the hundreds of components within those systems. Basically, they help you understand where the inspector has been, what was looked at, and the condition of an item or area at the time of the inspection.

## General: Left or right of home

When the direction of "Left or Right" is mentioned, it is a description of the area of the house, facing the house from the street looking towards the house, unless otherwise stated.

## General: Overview

A home inspection is not a pass or fail type of inspection. It is a visual only evaluation of the conditions of the systems and accessible components of the home designed to identify areas of concern within specific systems or components defined by the Florida State Standards of Practice, that are both observed and deemed material by the inspector at the exact date and time of inspection. Conditions can and will change after the inspection over time. Future conditions or component failure can not be foreseen or reported on. Components that are not readily accessible cannot be inspected. Issues that are considered as cosmetic are not addressed in this report (holes, stains, scratches, unevenness, missing trim, paint and finish flaws or odors, worn hardware, outdated fixtures, etc.) unless it's a warranty inspection or at the inspector's discretion. Cosmetic defects are typically superficial and do not pose safety or operational concerns. It is not the intent of this report to make the house new again. For buyer inspections, any and all recommendations for repair, replacement, evaluation, and maintenance issues found, should be evaluated by the appropriate trades contractors within the clients inspection contingency window or prior to closing, which is contract applicable, in order to obtain proper dollar amount estimates on the cost of said repairs and also because these evaluations could uncover more potential issues than able to be noted from a purely visual inspection of the property. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made. This inspection will not reveal every concern or issue that exists, but only those material defects that were observable on the day of the inspection. This inspection is intended to assist in evaluation of the overall condition of the dwelling only. This inspection is not a prediction of future conditions and conditions with the property are subject to change the moment we leave the premises.

## Structure Details: Change Locks

National Property Inspections recommends that ALL locks and security codes be changed before moving into the house.

## Excluded items (If Applicable): The following items have been excluded from the inspection (if applicable):

Security system, Irrigation system, Private well, Shed, Fence

All these items are outside the Standards of Practice of a home inspection determined by the Florida Legislature.



This may be old well equipment as property is on public water - consult with seller

## Excluded items (If Applicable): Services Not Requested

Sewer Scope Inspection, Infrared Thermal Imaging Inspection, Indoor Air Quality (IAQ)/Mold Inspection

The client was offered these ancillary services through their online dashboard portal when signing the inspection agreement prior to the inspection and did not elect to have these inspections or tests performed. These services are offered to help identify issues that fall outside the Standards of Practice of a home inspection determined by the Florida Legislature.

## Recommendations

### 1.3.1 Structure Details

### MID-1980S AND OLDER



Structures built prior to the mid 1980s may contain lead and/or asbestos. Lead is commonly found in paint and in some plumbing components. The EPA does not recognize newer coats of paint as encapsulating older coats of lead-based paint. Asbestos is commonly found in various building materials such as insulation, siding, pipe, cement sheeting and shingles, soundproofing, joint compounds, fireproof/fire-resistant materials, and/or floor and ceiling tiles. Laws were passed in 1978 to prohibit usage of lead and asbestos, but stocks of materials containing these substances remained in use for a number of years thereafter. Both lead and asbestos are known health hazards. In 1996, legislation was passed to require owners of homes built in 1978 or earlier to disclose the presence of lead paint to potential buyers and renters by the EPA. In 2010, the EPA created standards for construction on buildings with lead paint built before 1978 with lead paint under the Renovation, Repair, and Painting regulation. Contractors disturbing more than a 6 square foot space where lead paint is present must have proper certification. The WHO, estimates that nearly 150,000 deaths due to lead poisoning occur every year in the U.S. Most of these deaths were children under the age of 6. Evaluating for the presence of lead and/or asbestos is beyond the scope of this inspection. Any mention of these materials in this report is made as a courtesy only, and meant to refer the client to a specialist. Consult with specialists as necessary, such as industrial hygienists, professional labs and/or abatement specialists for this type of evaluation.

\*\*\*If you think your home may have lead hazards, you can also call the National Lead Information Center at 800-424-LEAD to obtain free information. Lead can also be present in drinking water. Call your local health department or water supplier to find out about testing your water. If your water supply does have lead, follow the recommendation of the local water supplier. For more information about lead and asbestos, contact the above phone #, your local and state health departments, the Consumer Product Safety Commission, the Environmental Protection Agency (EPA) or even the American Lung Association.

Recommendation  
Contact a qualified professional.

2: ROOF

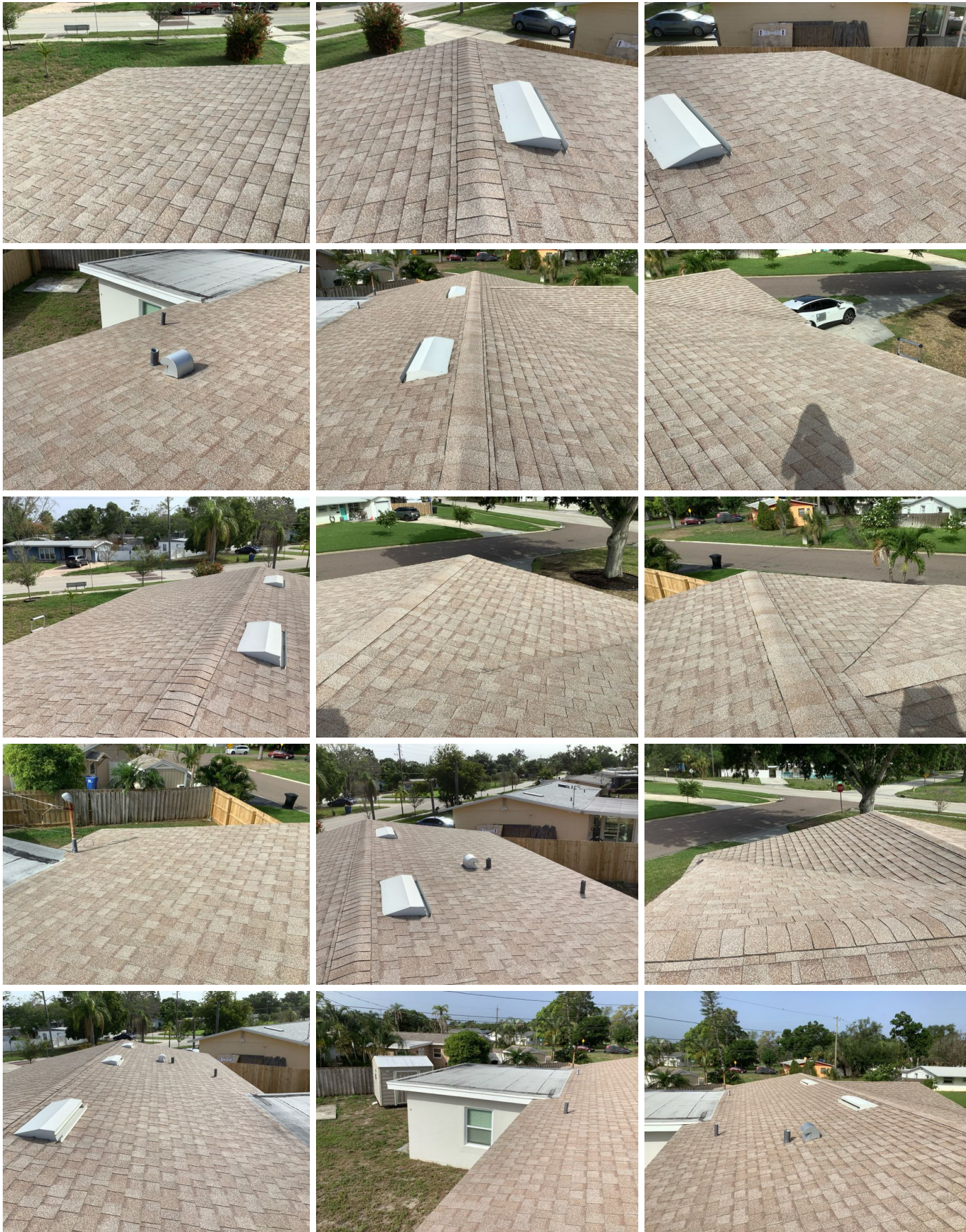
Information

<b>General: Estimated roof age</b> Roof 5	<b>General: Roof Type</b> Roof Gable, Flat	<b>General: Roof covering</b> Roof Asphalt/Fiberglass Shingles, Rolled asphalt
<b>General: Roof Drainage</b> Roof None	<b>Shingles: Layers Visible</b> Roof One Layer	

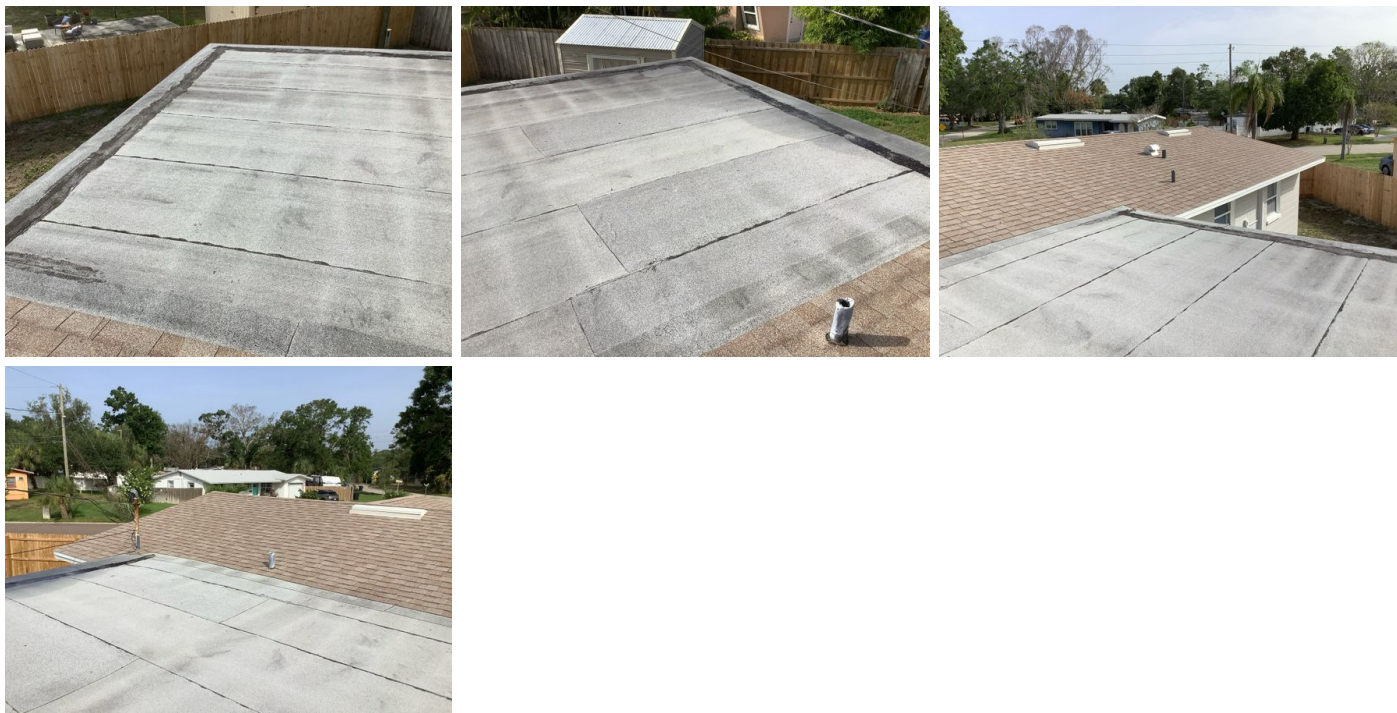


General: Roof Pictures

Roof







### General: Roof Inspection method

#### Roof

##### Traversed

If we're able to walk the roof's surface, we'll typically conduct our roof inspection in what we call the "random walk" methodology. This method of inspection is not intended to cover every square inch of the roof's surface, nor will it. Further we could not recreate the route of a random walk even if we tried to. We do arrive at an overall impression of the roof's condition developed during this random walk inspection and extrapolate it to the entire roof's surface.

If any discrepancies are in fact identified, it is recommended that to accurately determine the scope of the actual discrepancies, as well as any cost of correction, you consult with a licensed roofing contractor. Not all of the roof will be walked; dimension, slope, weather, etc may not allow the roof to be accessed.

### General: Roof life expectancy

Architectural shingle 15-20 yrs in FL, Built-up or Mod-Bit 10-15 yrs in FL

Please note the life of a roof depends on local weather conditions, building and design, installation, material quality, and adequate maintenance. The life expectancy is only a general guideline and not a guarantee or warranty regarding the performance or life expectancy of any component or system.

### General: Roof Leaks

#### Roof

Roofs may leak at any time. Leaks often appear at roof penetrations, flashing, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced. We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of roofs.

### General: Roof Inspections - FYI

#### Roof

Inspecting your roof regularly is a must. If you see signs of damage, no matter how small, tackle them right away; if moisture reaches the wood sheathing underneath, the potential repair can get expensive in a hurry.

### General: Roof repairs

#### Roof

It is recommended that a certified roofing contractor make any needed repairs to the roof system. If you need to hire a roofing contractor, it's always smart to get multiple estimates, check credentials, ask the right questions, and get everything in writing.



**General: Architectural shingles**

## Roof

Roofing consists of architectural style shingles. These are a thicker, longer lasting shingle with a dimensional appeal.

**Gutters/Drains: Gutter Installation**

## Exterior

Recommend to have gutters installed by a licensed gutter contractor around entire house to direct water flow/runoff away from the foundation/structure of the home.

**Flashing and/or Vents: Flashings/Vents Advice**

## Roof

Check flashing sealant on a regular basis to ensure a good water tight seal. Flashing may require periodic routine maintenance from time to time, such as caulking, sealing, painting, repairing, etc. All roof penetrations should be inspected and maintained on a regular basis.

## Recommendations

## 2.4.1 Flat

**PONDING**

## ROOF

Ponding (pools of standing water) was found at one or more locations on the flat or low-slope roof surface. Water should be removed by a drainage system so that any remaining water evaporates within 48 hours after it rains. It may have been less than 48 hours with the recent rainfall. Recommend monitoring going forward of how long standing water lasts after it rains. Prolonged standing water can result in roof leaks. Recommend that a qualified contractor evaluate and repair as necessary to prevent ponding if less than 48 hours.

## Recommendation

Contact a qualified roofing professional.



Deficiencies



## 2.6.1 Flashing and/or Vents

**PLUMBING VENT SCREENS**

## ROOF

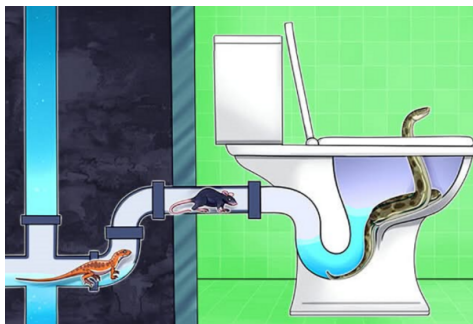
One or more plumbing vents on the roof do not have screens installed. This is a common practice. It is recommended to have screens installed at the top of plumbing vent stacks to reduce the chance of access to the plumbing system by small animals/rodents. Also, without a screen, the vent can become clogged and the water inside your plumbing system may become stagnant. This may cause foul odors and water to back up in your pipes, causing leaks. They can also help prevent noise within the plumbing system (gurgling sounds).



Deficiencies

## Recommendation

Contact a qualified professional.



Plumbing Vent Screens



## 2.6.2 Flashing and/or Vents

**MIXED EXHAUST VENTS**

## ROOF



Please note the property has the improper use of mixed exhaust vents. Attic exhaust ventilation can consist of ridge vents, wind turbines, gable louvers, box/static vents and power fans; though only ONE should be used! Though it's a common practice today to have more than one, it is not recommended. Airflow dynamics dictates avoiding it. The manufacturers' Installation Instructions caution against it. Building Codes may cite it as a violation. And yet it remains one of the most questioned, challenged and, unfortunately, ignored best practices in residential attic ventilation. Lack of information, misunderstanding the science, and resistance to breaking old habits all contribute to the persistence of mixed exhaust vents on today's roofs. The main reason combining different types of exhaust vents is problematic is that it disturbs the proper flow of the attic air. To best help fight heat buildup and moisture buildup, attic ventilation must be a balanced system of intake vents (placed low on the roof in the soffit or at the roof's edge) and exhaust vents (placed at or near the roof's peak). This allows the incoming cooler, drier air to enter the attic at the lowest possible location, flush out any built-up heat and moisture from inside the attic all along the entire underside of the roof deck, and push it out through the exhaust vents high on the roof. But, if two or more different types of exhaust vents are in place, it short-circuits the system. Premature aging of roofing materials, buckled sheathing and signs of rotten wood can all be due to moisture and heat being trapped. An exhaust vent mixed with another type of exhaust vent that suddenly is pulled into intake airflow duties as a result of short-circuiting is not only pulling in air, but whatever the air is carrying that very moment: rain, snow, debris. Exhaust vents are not designed to ingest anything. If improved airflow is the goal, double-check if the correct type of exhaust vent is being used to match the size and design of the roof/attic and if it's being supplied with a balanced amount of intake ventilation. Mixing exhaust is not the solution.

## Recommendation

Contact a qualified roofing professional.



3: EXTERIOR

Information

General: Driveway Material

Driveway  
Concrete



General: Fencing

Exterior  
Wood

General: Wall Covering

Exterior  
Stucco, Concrete block

General: Exterior doors

Exterior  
Swing

General: Foundation Material

Exterior  
Concrete

General: Garage Door Material

Garage  
N/A

General: Exterior wall structure

Exterior  
Wood Frame, Block

General: Vehicle Parking

Exterior  
Driveway



General: Exterior photos

Exterior





General: Sidewalk/Patio/Porch/Walkway Material

Exterior

Concrete





**Grading/Drainage: Grading/Drainage**

Exterior

Near Level

**Driveway, Sidewalk, Walkway, Patio, Porch: Positive Attributes Driveway**

Driveway

The driveway was concrete and had the proper expansion joints to help prevent cracking.

**Exterior Issues & FYI's: Caulking - FYI**

Exterior

Recommend that all windows and other areas of the exterior such as door thresholds, garage doors, etc where water can enter the home to be caulked and/or sealed. Caulking is a water resistant barrier secondary to the moisture vapor material (tyvek paper) used when homes are built.

Recommend to monitor caulking around windows, doors, and siding and have repairs/add caulking as necessary and as a part of annual home maintenance.

**Exterior Issues & FYI's: Homeowner's Responsibility**

Exterior

The exterior of your home is slowly deteriorating and aging which is natural. The sun, wind, rain and temperatures are constantly affecting it. Your job is to monitor the buildings exterior for its condition and weathertightness.

Check the condition of all exterior materials and look for developing patterns of damage or deterioration.

During a heavy rainstorm (without lightning), grab an umbrella and go outside. Walk around your house and look around at the roof and property. A rainstorm is the perfect time to see how the roof, downspouts and grading are performing. Observe the drainage patterns of your entire property, as well as the property of your neighbor. The ground around your house should slope away from all sides. Downspouts, surface gutters and drains should be directing water away from the foundation.

## Exterior Issues & FYI's: Wood Destroying Organism (WDO) Inspection

### Exterior

In Florida, termites cause more damage to structures than fires, floods and storms combined.

Florida is relatively rich in termite species diversity compared to the rest of mainland U.S. Twenty-one termite species were recorded in Florida and among them at least six established were invasive species (more than any other states), mostly due to the sub-tropical climate of Florida and high human activity. New species introductions can occur at any time.

Among all termite species present in Florida, only a handful of species are actually considered pests (drywood, dampwood, conehead, and subterranean termites).

Since your homeowners insurance does not cover damage caused by termites, hiring a licensed pest control company to inspect and treat your home is recommended. Treatments will vary depending on the type of termite identified.

National Property Inspections (NPI) strongly recommends a WDO inspection (in addition to a comprehensive home inspection) for any property in FL by a certified, licensed, and insured FL Pest Control Company. These targeted inspections usually last about 45 minutes to an hour. NPI also suggests considering a quarterly contract with a certified, licensed, and insured FL Pest Control Company for regular inspection/maintenance, especially for properties in FL. It is illegal to perform pest control services without a pest control business license.

You can find out if a company is licensed in Florida at:

<https://www.fdacs.gov/Business-Services/Pest-Control>.

For more termite info and tips visit: <https://www.fdacs.gov/Consumer-Resources/Health-and-Safety/Protect-Your-Home-from-Pests/Termites>.

## Electrical: Exterior electrical photos

### Exterior

\*\*\*Green light indicates powered on and wired correctly\*\*\*

\*\*\*Inspector does not unplug plugs, if applicable, from outlets in order to test the receptacle as this could cause possible unknown damage to the plugged in equipment.\*\*\*





## Windows and Doors: Windows

### Exterior

Visually scanned (from the ground) for defects like blown seals, deterioration and other defects. We also re-examine them from the inside when sampling their operation (see Interiors section).







**Windows and Doors: Doors**  
Exterior



Windows and Doors: Windows Advice

Exterior

Keep all exterior and interior sills caulked, and window tracks cleaned as a part of normal maintenance.

Limitations

Electrical

NO DOORBELL

EXTERIOR

No doorbell installed at time of inspection.

Recommendations

3.2.1 Grading/Drainage

NEAR LEVEL

EXTERIOR

Near-level grading around a house is problematic because it doesn't allow for proper water runoff and may lead to foundation damage. It can cause water to pool around the foundation, leading to soil erosion and potential foundation cracks or shifts. Moisture can also attract pests like termites and mosquitoes, which can damage the structure and spread disease. Bottom line is water and foundations don't mix. Recommend creating the proper slope away from the foundation to allow for proper drainage.

Recommendation

Contact a qualified grading contractor.

 Deficiencies



3.3.1 Driveway, Sidewalk, Walkway, Patio, Porch

MINOR DAMAGE-DRIVEWAY

DRIVEWAY

Minor deterioration (e.g. cracks, holes, settlement, heaving, foreign substance/staining) was found in the driveway, but no trip hazards were found. The client may wish to have repairs made for cosmetic reasons.

Recommendation

Contact a qualified concrete contractor.

 Deficiencies





## 3.5.1 Electrical

**LIGHT LOOSE/SUBSTANDARD**

## EXTERIOR

Light fixture is loose or installed in a substandard way. A qualified contractor or electrician should evaluate and make repairs as necessary so light fixtures are securely mounted and installed in accordance with the manufacturer's installation instructions.

## Recommendation

Contact a qualified electrical contractor.



Front

## 3.5.2 Electrical

**MISSING AND/OR DETERIORATED SEALANT LIGHT**

## EXTERIOR

One or more wall-mounted exterior light fixtures had missing or deteriorated sealant/caulk installed above the back plate. Water can enter the space behind the back plate and contact wiring. This is a potential shock hazard. Recommend that a qualified person apply caulk above and around the back plate per standard building practices. A gap should be left at the bottom of the plate so that condensation can drain out.

## Recommendation

Contact a qualified professional.



Rear

## 3.5.3 Electrical

 Deficiencies**NO POWER**

## EXTERIOR

Electric receptacle appeared to have no power. Recommend asking the property owner about this, if applicable. If necessary, recommend that a qualified electrician evaluate and repair.

## Recommendation

Contact a qualified electrical contractor.



Front

## 3.6.1 Windows and Doors

 Maintenance Items**CAULKING**

## EXTERIOR

Caulk was deteriorated and/or missing around door. Recommend that a qualified person renew or install caulk as necessary. Where gaps are wider than 1/4 inch, an appropriate material other than caulk should be used. Caulking should be evaluated and applied as part of annual home maintenance.

## Recommendation

Contact a qualified professional.



Front

## 3.6.2 Windows and Doors

 Deficiencies**DOOR CLOSER**

## EXTERIOR

The closure is missing. It should be replaced so the door can stay open when needed.

## Recommendation

Contact a qualified door repair/installation contractor.





## 3.6.3 Windows and Doors

**SCREEN MISSING**

## EXTERIOR

Screen(s) in one or more windows are missing. The client(s) should ask the property owner(s) about this. Screens are often removed for window cleaning and they may be stored somewhere. If not, then recommend installing screens where missing.

## Recommendation

Contact a qualified window repair/installation contractor.



Deficiencies



Front



Rear



Right Side

## 3.6.4 Windows and Doors

**SCREEN DAMAGE**

## EXTERIOR

One or more screens are ripped and/or damaged. It is recommended to have the necessary repairs made by a certified contractor.



Deficiencies

Recommendation  
Contact a qualified professional.



Front



Rear



Rear



Right Side

3.7.1 Soffit and Fascia

**DETERIORATED**

EXTERIOR

Fascia and/or soffit are damaged, deteriorated or substandard in one or more areas. A certified contractor should evaluate and repair as necessary.

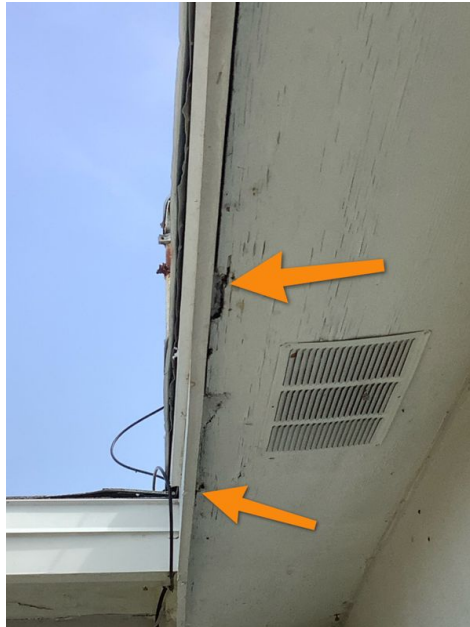
Recommendation  
Contact a qualified professional.

 Deficiencies





Rear



## 3.7.2 Soffit and Fascia

**GAPS AT SOFFIT AND/OR FASCIA**

## ROOF

There are gaps at one or more soffit/fascia areas. This can allow bugs/rodents/pests to enter the attic area and cause damage. You would be surprised how critters can fit into the smallest of openings. Any gaps in these areas should be properly sealed by a qualified professional.

## Recommendation

Contact a qualified roofing professional.



Deficiencies



Rear



Right Side

## 3.7.3 Soffit and Fascia

**PAINTED SCREENS**

## EXTERIOR



Deficiencies

One or more soffit vent screens/sections are blocked by paint. Screens should not be painted after the fact. This may reduce air flow through the attic, reduce the life of the roof surface because of high temperatures, and/or increase the moisture content in the attic. Repairs should be made as necessary, such as cleaning paint from screens or replacing screens.

Recommendation  
Contact a qualified professional.



4: HVAC

Information

<b>General: A/C Type</b> Split System, Heat Pump	<b>General: Cooling source</b> Electric	<b>General: Distribution</b> Flex Duct
<b>General: Heat Source</b> Electric	<b>General: Heat Type</b> Forced Air, Heat Pump	<b>Condensing Unit(s): Manufacturer</b> International Comfort Products
<b>Condensing Unit(s): Estimated Age Condensing Unit</b> 1 Year(s)	<b>Air Handler(s): Manufacturer</b> Nordyne	<b>Air Handler(s): Estimate Age Air Handler</b> 14 (appears) Year(s)
<b>Air Handler(s): Unit in Good Condition</b>  The air handler appeared in good condition. The unit ran as expected.		

### General: Filter Advice

Recommend that home buyers replace or clean HVAC filters upon taking occupancy depending on the type of filters installed. Regardless of the type, recommend checking filters monthly (a good way to remember is to check your filters every time you get your electric bill) in the future and replacing or cleaning them as necessary. How frequently they need replacing or cleaning depends on the type and quality of the filter, how the system is configured (e.g. always on vs. "Auto"), and on environmental factors (e.g. pets, smoking, frequency of house cleaning, number of occupants, the season).

### General: Maintenance Advice

In SW Florida, unlike many other places in the U.S., we live in a subtropical climate zone, meaning that during many months of the year we experience excessive heat, humidity, and rainfall. Your air conditioning system is one of the most crucial components in keeping your home protected from two of these important elements; *Heat & Humidity*. Excessive humidity in a home (typically 60 percent relative humidity and higher) can cause damage to furniture, computer equipment, wall coverings, wood fixtures, art and may lead to organic growth (commonly called mold or mildew) in your home.

Recommend preventative/regular/repair maintenance and/or service to maintain proper operation and peak performance and to extend the life expectancy of the unit(s) by a licensed, FL air conditioning company. In Florida, that is twice a year or every 6 months. Failure to maintain your air conditioning system may cause the condensate pan and drain to become clogged, resulting in water leakage and poor system performance.

### General: Temperature Differential

#### 22 Degrees

This is the number of degrees the system is cooling (or heating) the house air. While there isn't any perfect temperature you should set your HVAC system to, there is an ideal temperature difference between the supply and return air. The general range for this number is 14-24 degrees when operating the system during hot weather, lower when ambient temperatures are lower. There are many variables that can affect this # and depending on who you ask, you may get different ranges of what is acceptable among HVAC technicians. If you are concerned about the difference in temperatures, you should contact a certified HVAC professional for a full evaluation of the HVAC system. The test results were measured using a digital thermometer. The system appeared to function as expected when tested and appeared to be serviceable at the time of the inspection. As with all mechanical equipment, the unit may fail at any time without warning. The inspector cannot determine future failures.



### General: Normal Operation

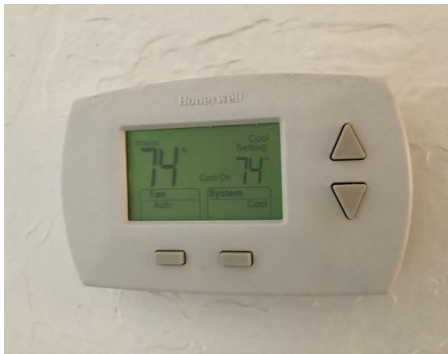
The air conditioning system responded to the controls and appeared to operate in a satisfactory manner.

**General: Thermostat**

Interior

Thermostat appeared to operate as designed at time of inspection. Adequate airflow was present.

\*\*\*Thermostats should be installed and maintained by professionals. Special anticipator settings on the thermostat match its operation with the operation of the furnace. If you replace a thermostat, make sure that this anticipator setting is done properly if it has one.

**General: HVAC Sounds - FYI**

Your heating and air conditioning system makes some perfectly normal noises from time to time, but they should not include banging, thumping or squealing. Loud, unusual sounds may indicate problems with belts, the blower motor or the compressor and should be investigated immediately by your HVAC technician.

**General: Adequacy of HVAC System**

The adequacy of the cooling & heating is often quite *subjective* and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

**General: Cooling of Rooms - FYI**

Interior

\*Please note the following if you feel the cooling of rooms is inadequate. If the air conditioning is installed by a contractor, the cooling system shall be capable of maintaining a temperature of *78 degrees F*, as measured in the center of each room at a height of 5 feet above the floor under local outdoor summer design conditions. In the case of outside temperatures exceeding 95 degrees F, the system will keep the inside temperature *15 degrees F* cooler than the outside temperature. National, state or local codes will supersede this guideline where such codes have been adopted. Work should be done in accordance with the prevailing building codes. Closed interior doors, closed registers, dirty filters, and the layout of the ductwork can all restrict air flow and may affect the system's performance.

\*\*\*Per the Residential Construction Performance Guidelines, Consumer Reference Fourth Edition, by the National Association of Home Builders (NAHB).



Condensing Unit(s): Pictures of Unit

Exterior



Condensing Unit(s): Split System - Working properly

Exterior

The HVAC system was a split system with the condenser located outside. The thermostat and blower were checked and were working as designed. Determining correct size for an air conditioning system is beyond the scope of a home inspection.

Condensing Unit(s): FYI - If Electrical Turned Off

Exterior

Compressors (located inside the outdoor condenser unit) should not be operated when the electricity has been turned on for less than 24 hours. Under these conditions, it is possible to damage the compressor. Oil may be mixed with the refrigerant in the base of the compressor.

**Condensing Unit(s): Electrical HVAC Disconnect**

Exterior

The equipment local disconnect was in sight and accessible and acts as a shut off switch for use in an emergency or while servicing.

**Condensing Unit(s): Unit size**

3 ton

unk seer

SEER stands for Seasonal Energy Efficiency Ratio. This is the ratio of the cooling output of an air conditioner over a typical cooling season, divided by the energy it uses in Watt-Hours. It may also be called a Seasonal Energy Efficiency Rating.

A SEER ratio is calculated over an entire cooling season using a constant indoor temperature and a variety of outdoor temperatures ranging from 60 degrees to 100 plus. This is how it simulates a typical season.

Keep in mind that SEER ratio is a maximum efficiency rating, like the miles per gallon for your car. Say your car gets 28 miles per gallon on the highway. But if you're stuck in city traffic it's a lot less efficient. The same goes for your air conditioner. If your SEER ratio is 21, that's the maximum efficiency and it could be lower depending on conditions.

A higher SEER rating provides greater energy efficiency in certain conditions. The minimum standard SEER for air conditioners is 13, though most modern air conditioners have a SEER that ranges from 13 to 21. The efficiency of your system can vary based on the size of your home, your current ductwork and other variables.

Air Handler(s): Pictures of unit  
Closet



Duct Work: Ductwork  
Interior

Both the heating system and central air conditioning system share the same ductwork and appear to be properly installed and acceptable. We are not HVAC professionals. This inspection is not a Ductwork Efficiency Inspection (i.e., layout of ductwork, CFM flow to registers, etc.) which is beyond the scope of a home inspection. If you are concerned about the duct efficiency or design you should have an expert in that field evaluate the duct system.



Duct Work: Ductwork Advice  
Interior

Just like any other HVAC system, air ducts require regular maintenance to ensure maximum efficiency. As a general rule of thumb, the National Air Duct Cleaners Association (NADCA) recommends air duct cleaning every 3 to 5 years in order to maintain proper operation and to extend life expectancy of the unit. However, if you have flexible ductwork, it can be harmful if not done properly as they're delicate and easily damaged by improper cleaning techniques or tools. The cleanliness of cooling, heating and duct work systems is an opinion. Note: It is physically impossible to thoroughly clean all internal workings of a cooling, heating, and duct work system. Short of replacement, all cleaning is partial cleaning of the system. No one, including uninformed or unscrupulous air-conditioning Service Technicians attempting to sell services, can determine if the debris in your system is HARMFUL MOLD. It is illegal and immoral to call anything in your system HARMFUL MOLD without having the system professionally inspected and tested by a Florida Licensed Mold Assessor (approximate cost of inspection \$400+). If it is determined that the system has "harmful mold" it should be treated.

Limitations

General

TEMPERATURE >65 DEGREES



The outdoor air temperature was close to or above 65 degrees Fahrenheit during the inspection. Because of this, the inspector was unable to operate and fully evaluate the heating system which could damage the unit if turned on. A/C function tested instead.

Duct Work

## DUCTWORK LACK OF ACCESS

Ductwork could not be properly inspected due to lack of access in the attic (height).

## Recommendations

4.2.1 Condensing Unit(s)

### ANCHOR DOWN

EXTERIOR

The outside condensing unit is not anchored to the concrete pad. Inspector was able to lift it up. It is recommended to have a certified contractor anchor the unit to the concrete pad to keep it from moving and causing damage and perhaps theft.

Recommendation

Contact a qualified heating and cooling contractor



## 5: PLUMBING

## Information

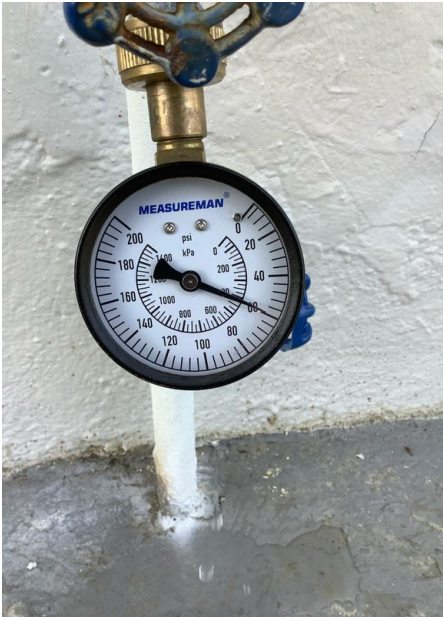
### General: Water Source

Public Water

General: Water Pressure

Exterior

59 This was the water pressure (# PSI) at time of inspection using a pressure gauge at an exterior spigot. A gauge can provide a numeric score in pounder per square inch (PSI) for the force of the water moving through the pipes. The recommended standards is 40-80 PSI. Any concerns with the pressure are noted below.



General: Service Pipe to house  
Not Visible

General: Location of Water meter

Front



General: Exterior spigots  
Exterior



General: Vent Pipe  
PVC

**General: Checking your Plumbing  
for Leaks - Home Maintenance  
Tips**  
Interior

How to Check Your Plumbing Fixtures for Leaks | N...



Watch on  YouTube

**General: Location of Main Water Shut off**  
Front

The inspector recommends that everyone living in the home familiarizes themselves with the location of the main shut off valve for the water. In the event of a plumbing emergency, knowing where it is and how to turn the water off can limit damage and save time, money and avoid costly repairs from water damage.



Front

**General: Interior Supply piping**  
Copper, Where Visible

Please note the majority of piping that could be visually seen at the time of inspection is notated. Other plumbing materials may be present but were not detected at the time of inspection.



**General: Concealed Plumbing**

As is typical of most buildings, the majority of the supply piping is concealed from view. Basically it is installed inside the walls, under floors or above ceilings covered by insulation, permanent walkways, electrical, HVAC equipment, duct work, stored items or inaccessible areas.

**General: Drain Pipe**

PVC

Drain pipes are a pipe that carries wastewater or gray water away from a building, including sinks, tubs, showers, and appliances.

**General: Waste Pipe**

Not Visible

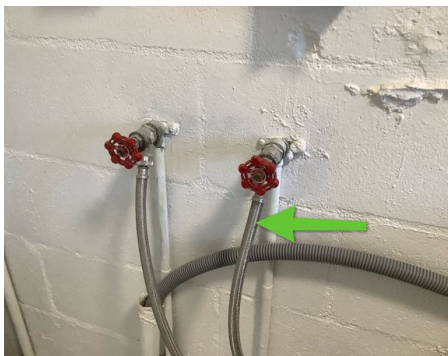
Waste pipes (also known as soil pipe) specifically refers to the pipes that carry sewage or gray water from toilets and urinals to the main sewer line or a septic tank. Waste pipes are usually found in areas below the finished floor, such as basements or crawl spaces.

**Supply Lines: Braided Supply Lines - FYI**

Interior

Noted braided stainless steel water supply lines in dwelling. Although no leaks were detected at the time of inspection, this type of pipe has been known to have issues with resulting leaks and water damage. Failures are reported to occur in one of the following three areas: *corrosion and/or rusting of the steel sheathing, failure of the coupling nuts, and crimping failure*. These products may be involved in pending class action litigation. We recommend ongoing monitoring.

Some manufacturers are claiming that braided stainless steel plumbing lines can last a 'lifetime,' but 1-10 years is proving to be a more realistic lifespan.



## Limitations

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General

**PLUMBING**

Main utility line, septic systems, well systems, and gray water systems are excluded from this inspection if applicable.

---

General

**TAP WATER**

We all want our water to be crystal clear and refreshing. Nothing is less welcome than a glass of tap water that is discolored, smells off or tastes funny. Regardless, it's a relatively common predicament. But are aesthetic issues indications that a tap water supply is unsafe to drink? Not exactly - and not always. After all, some of the most potentially hazardous water contaminants - like lead and arsenic - cannot be seen, smelled, or tasted.

*Determining the water quality, potability or reliability of the water supply or source is outside the Standards of Practice of any home inspection.*

Even if there are no sensory traces, National Property Inspections always encourages clients to obtain a certified laboratory water test as part of any property transfer for piece of mind.

<https://www.nsf.org/consumer-resources/articles/drinking-water-testing>

## 6: WATER HEATER

### Information

<b>Water Heater: Location</b> Laundry room	<b>Water Heater: Manufacturer</b> General Electric	<b>Water Heater: Type</b> Tank
<b>Water Heater: Estimated Age</b> 13 Years	<b>Water Heater: Energy Source</b> Electric	<b>Water Heater: Water Temperature</b> Interior 102 # degrees Which is within 120 degrees Fahrenheit (the generally agreed upon safe water temperature). Hot water above 120 degrees can be considered hazardous.



## Water Heater: Capacity

40

### What Size Water Heater (tanks) Do I Need?

Below is a very *loose* estimate of what size you need (versus an exact calculation):

- For 1 to 2 people: 30-40 gallons
- For 2 to 3 people: 40-50 gallons
- For 3 to 4 people: 50-60 gallons
- For 5+ people: 60-80 gallons

To get an accurate answer you'd have to calculate out how much hot water you typically use during your busiest "hot-water-using" hour.

**Warning:** The numbers above are to be used as very general guidelines and may not accurately match your hot water needs.

For example, a family of 5 or more could live very comfortably on a 30-gallon tank water heater while a household of 2 might find that a 30-gallon tank can't provide enough hot water for their needs.

It is beyond the scope of a home inspection to size a water heater.

If you feel your water heater size is insufficient, it is recommended to contact a licensed plumber to professionally size and install a water heater that's perfect for your home.

## Water Heater: Pictures of Unit

The water heater(s) was visually inspected in order to ensure proper installation and that no leaks, rust, or corrosion were present. The temperature of the water was also checked to ensure the water heater was functioning properly.



## Water Heater: T/P Release Valve

The water heater is equipped with a proper temperature and pressure relief valve and extension pipe. This device is an important safety device and should not be altered or tampered with. No adverse conditions were observed. Please note if you test the valve there's a risk that the valve won't close properly and will keep leaking, and then it will need to be replaced.





## Water Heater: Inlet Valve

The cold water inlet and hot water outlet connections appear properly installed and in serviceable condition. The water heater is equipped with a cold water inlet shut-off valve. It is functioning as designed and intended. Home inspectors do not operate any valves according to the standards of practice and valves may leak when operated after a period of inactivity. For this reason, they are not tested during the inspection.



## Recommendations

### 6.1.1 Water Heater

#### TPR DRAIN LINE MISSING

##### LAUNDRY ROOM

No drain line is installed for the temperature-pressure relief valve. This is a potential safety hazard due to the risk of scalding if someone is standing next to the water heater when the valve opens. A qualified plumber should install a drain line as per standard building practices (discharge pipe has to be 3/4" in diameter and suitable material such as copper or CPVC. It should also extend to 6 inches from the floor, or routed so as to drain outside).

##### Recommendation

Contact a qualified plumbing contractor.



Safety/Immediate Attention



### 6.1.2 Water Heater

#### DAMAGE

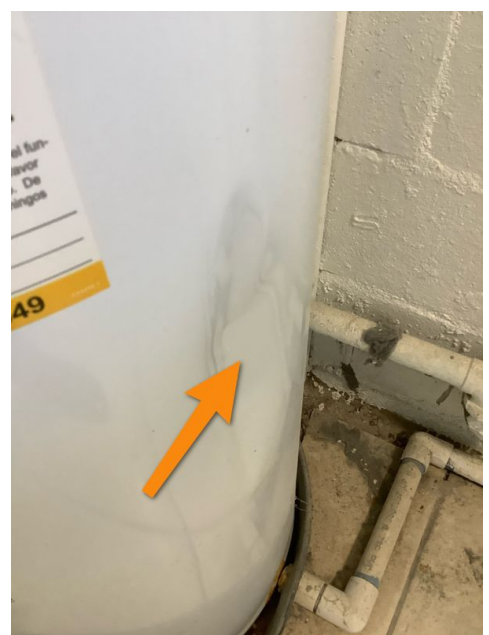
There is damage to the tanks exterior shell. It does not appear to be affecting the operation of the unit. A qualified plumbing contractor should evaluate if necessary.

##### Recommendation

Contact a qualified plumbing contractor.



Deficiencies



# 7: ELECTRIC SERVICE

## Information

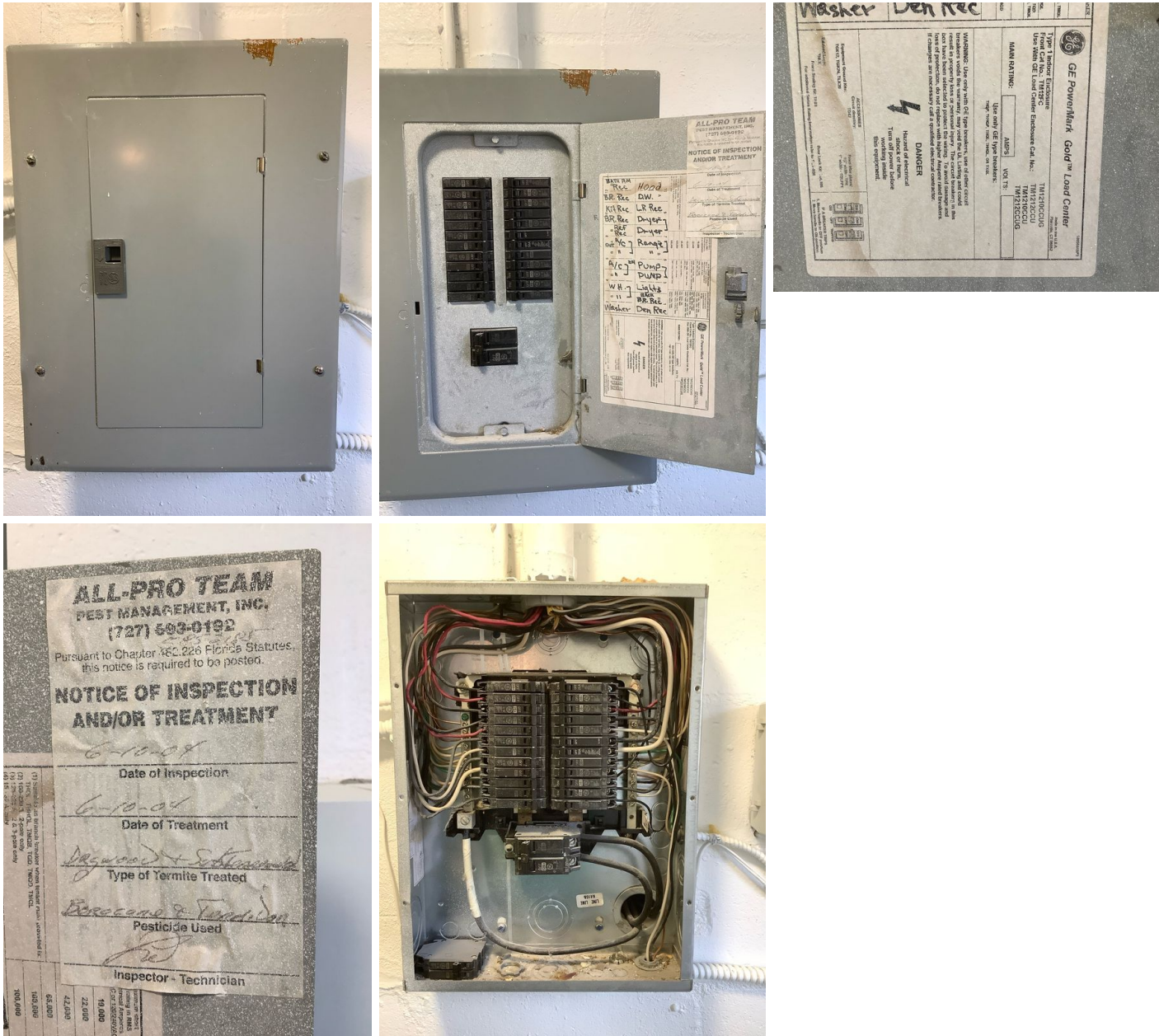
<b>Electric Panel: Location of Main Panel</b> Laundry Room	<b>Electric Panel: Panel Manufacturer</b> Garage General Electric	<b>Electric Panel: Amperage Capacity</b> 125
<b>Electric Panel: Branch Wiring</b> The visible wiring in the service panel appears to be copper. Other areas are unknown.	<b>Electric Panel: Protection</b> Breakers	<b>Electric Panel: Service Conductor</b> Copper
<b>Electric Panel: Service Voltage</b> 120/240	<b>Electric Panel: System Grounding</b> Unidentified (underground/not visible)	
<b>Electric Panel: Location of Main Disconnect</b> Bottom of Panel		

The inspector recommends that everyone living in the home familiarizes themselves with the location of the electrical service panel and the disconnect used to shut off power to the whole house. Knowing the location of the panel may be beneficial to all members of the family, whether it's to reset a tripped breaker or to disconnect power in the event of an emergency.



Electric Panel: Panel pictures

Garage



Electric Panel: Positive Attributes

The size of the electrical service is sufficient for the typical single family needs. The electrical panel is well arranged and all fuses/breakers are properly sized. All visible wiring within the home is copper. This is a good quality electrical conductor.

Electric Panel: Service Type

Overhead

How electricity makes its way into the home—either overhead power lines or underground.

Electric Panel: Normal Operation

Overall, the electrical panel and components were in acceptable condition at time of inspection.



## Electric Panel: Tripping

Tripping is to be expected. However, components that trip frequently due to component failure or incorrect installation should be repaired or replaced.

Please note both GFCIs & AFCIs are very sensitive devices and consumers occasionally will experience **nuisance tripping**. The most common causes of nuisance tripping by AFCIs are damaged cords or plugs on consumers' lamps, small appliances, or other devices. Static electricity also may cause nuisance tripping of circuit interrupters.

## Electric Panel: Exterior Light Fixtures Disclaimer

Exterior

Exterior light fixtures can be on motion detectors, from dusk to dawn sensors, timers, etc. For this reason, we are not always able to confirm whether exterior lights work.

## Meter: Meter base

Exterior

Electricity goes through the meter to the main panel then onto the outlets.



## Service Wires: Service entrance wires

Exterior



## Limitations

Electric Panel

**NO AFCIS (ARC FAULT CIRCUIT INTERRUPTERS)**

AFCI breakers not found in the home at living areas.

An AFCI is an arc fault circuit interrupter first introduced in 1999. AFCIs are designed to protect against fires caused by arcing faults in the home electrical wiring.

AFCI outlets were not a requirement when the home was constructed, however, the installation of AFCI outlets/breakers is recommended at owners discretion.

8: ATTIC

Information

<b>General: Attic Entry Location</b> Hallway, Living Room	<b>General: Roof Structure</b> Rafters	<b>General: Ceiling Structure</b> Beams
<b>General: Inspection Method</b> Viewed from access	<b>Electrical: Light Photo</b> Attic No lights.	

**General: Attic Condition**

Attic

The attic interior was visually examined for leaks and/or water stains as well as cracked trusses or rafters and pest/rodent activity (if present, it will be noted separately). Limited visibility due to insulation, ductwork, wiring, vents, lack of flooring, framing and design. Overall, the framing and sheathing that was visible from the attic was acceptable at time of inspection and appeared to be in acceptable condition for the age of the home. Further evaluation may be necessary to identify potential issues not accessible at time of inspection.

*Leaks not always detectable.*



**General: Attic pictures**

Attic

**Attic structure:** constructed to distribute the weight of the roof onto the exterior walls of the house.

**Insulation: Insulation Material**

Attic

Fiberglass Batt/Roll, Fiberglass Loose, Cellulose Loose

The most common types of insulation available for attics in FL are fiberglass batts, loose-fill cellulose (blown-in), loose-fill fiberglass (blown-in), and spray foam (the best). More options exist, but these four materials make up the vast majority of installations.





**Insulation: Insulation Depth (R-Value)**

Attic

Unknown - Couldn't Verify - No Tag Found

Insulation is rated in terms of thermal resistance, called the R-value. The R-value is an indicator of insulation's resistance to heat flow. The higher the R-value, the greater the insulating effectiveness.

It is outside the scope of a home inspection and outside the FL Standards of Practice for inspectors to physically measure insulation (i.e., using a ruler, tape measure etc.) or disturb insulation.

**Ventilation: Ventilation Pictures**

Attic

Current standards require 1 foot of ventilation for every 150 SF of attic space. Existing ventilation consists of static, gable, and perimeter soffit. It is outside the scope of a home inspection and outside the Standards of Practice for inspectors to determine the adequacy of ventilation.



**Limitations**

General

**ATTIC INSPECTIONS AND INACCESSIBLE AREAS**

ATTIC

Some attic areas were inaccessible due to lack of permanently installed walkways, low height, the possibility of damage to insulation, HVAC/ductwork, and/or stored equipment. These areas were excluded from this inspection as they were not accessible.

Florida is one of the fastest growing states with many new residents coming from colder areas and they are surprised by the lack of attic space in Florida homes, especially central and south Florida. The lack of space is for one main reason: heat rises! The incredibly hot temperatures in attics for most of the year are simply not conducive to traversing and storing items in attics. Many homes in Florida incorporate low-pitched roofs which are better against hurricanes but at the expense of attic space. Also, you have to take into account climate considerations. Florida's hot and humid climate can lead to concerns about moisture buildup in poorly ventilated attics, which can be exacerbated by large access points.

Attics and all related components are inspected visually from an area that does not put either the inspector or the home at risk. The method of inspection is at the sole discretion of the inspector and depends on a number of factors including, but not limited to, accessibility, clearances, insulation levels, stored items, temperature, etc. Inspectors will access the attic, if possible, but most attics are unfinished and outside living spaces of the home. Many attics are too dangerous to fully enter or are not accessible due to houses' structures. Hidden attic damage is always possible, and no attic can be fully evaluated at the time of the inspection. Approximately 75% of all attic space is INACCESSIBLE due to insulation, roof slope and system components. Inspector will view as much of the INACCESSIBLE areas as possible with a flashlight.

Electrical

LIMITED VISIBILITY

ATTIC

Limited visibility due to obstructions. See Electrical Section for additional Information.

Recommendations

8.1.1 General

STAINS

ATTIC

Stains were visible in one or more areas. The stains may be caused by a past leak/current leaks. They may have been prior to the 5 year old roof. Recommend asking the property owner(s) about roof leaks. The client(s) should monitor these areas in the future, especially after heavy rains, to determine if active leaks exist. If leaks are found, a qualified roofing contractor should evaluate and repair as necessary.

Recommendation  
Contact a qualified roofing professional.



8.2.1 Attic Hatch

NO WEATHERSTRIP-LIVING SPACE

ATTIC

No weatherstrip is installed around the attic access hatch. Weatherstrip should be installed around the hatch to prevent conditioned interior air from entering attic.

Recommendation  
Contact a qualified professional.





## 8.5.1 Ventilation

**GABLE VENT DAMAGE**

## ATTIC

Gable end vents screens were deteriorated and/or missing. This can result in bird and vermin intrusion. Recommend that a qualified person repair or replace gable end vents as necessary.

## Recommendation

Contact a qualified professional.



## 9: INTERIORS

### Information



**Floors, Walls, Ceilings: Wall**  
**material/covering**  
Plaster

Floors, Walls, Ceilings: Room Pictures

Interior





## Floors, Walls, Ceilings: Water Leak Alarms

### Interior

Client may wish to invest in *Water Leak Alarms* if none exist in the home. They warn against potential water leaks. Being a step ahead is always good and when it's a potential water leak, it's even more necessary because it will eventually help save water but also, avert any accident that might occur. They alarm you against a potential water leak in your house. You can place them near any appliance or machine where there is a chance of disaster; such as water heaters, sump pumps, under sinks, dishwashers, etc. Some act as a water sensor and alarm that alarms (on a volume of 85db) as well as lets you know the level of water. Some detect water only 1/16" deep and others, where there is a need to charge the battery, will send out a low battery chirp.



Windows and Doors: Window Pictures

Interior

A representative sample of windows are opened/closed and locked.





**Windows and Doors: Door Pictures**

Interior

Included are a random sampling of door pictures.



Windows and Doors: Checking Your Windows - Home Maintenance Tips

Interior

Three common window issues every homeowner should be looking for: water intrusion, difficulty in opening/closing, and air drafts.

How to Check for Window Leaks | NPI Maintenanc...



Watch on  YouTube



**Electrical: Interior electrical photos**

## Interior

\*\*\*Not every electrical receptacle tested has its own photo; usually one photo per room. A representative sample of electrical receptacles try to be tested if possible.

\*\*\*Green light indicates powered on and wired correctly\*\*\*

\*\*\*Inspector does not unplug plugs, if applicable, from outlets in order to test the receptacle as this could cause possible unknown damage to the plugged in equipment.\*\*\*





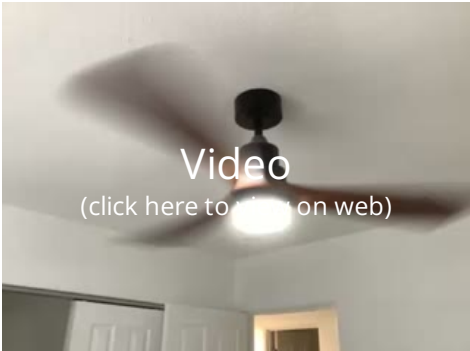
**Electrical: Ceiling fans**

Interior

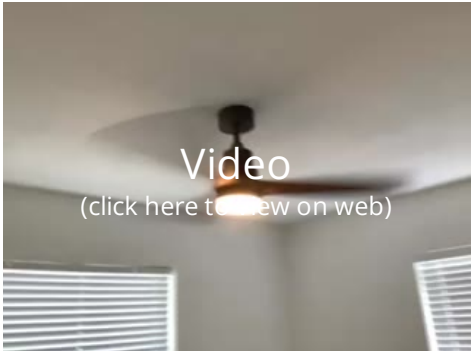
Pictures/videos



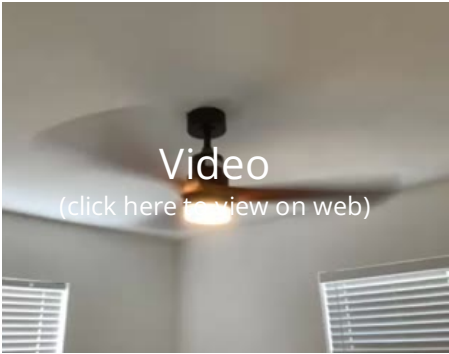
Couldn't find remote to operate fan



Video  
(click here to view on web)



Video  
(click here to view on web)



Video  
(click here to view on web)

Smoke and/or CO Alarms & Safety: Smoke and/or CO Alarms - Home Maintenance Tips

Interior

Yes, Not tested

The smoke detectors were inspected for location only. For future reference, testing with only the built-in test button verifies proper battery and horn function but it does not test the smoke sensor. Advise testing with real or simulated smoke. Smoke alarms are recommended in every sleeping room, outside every sleepy room, and on every level of the home at a minimum. General rule of thumb is you can never have too many. The NFPA (National Fire Protection Association) recommends replacing smoke/carbon monoxide detectors every 10 years, batteries twice a year, and tested monthly.

Most homeowners don't realize that home décor is highly flammable. Furniture and décor are typically made with petro-chemical materials that burn faster and release toxic smoke. According to Consumer Safety Director, John Drengenberg of Underwriters Laboratories (UL), "Thirty years ago, you had on average about 14 to 17 minutes to escape a house fire. Today, with the prevalence of synthetic materials in the home, occupants have roughly **2 to 3 minutes to get out.**"

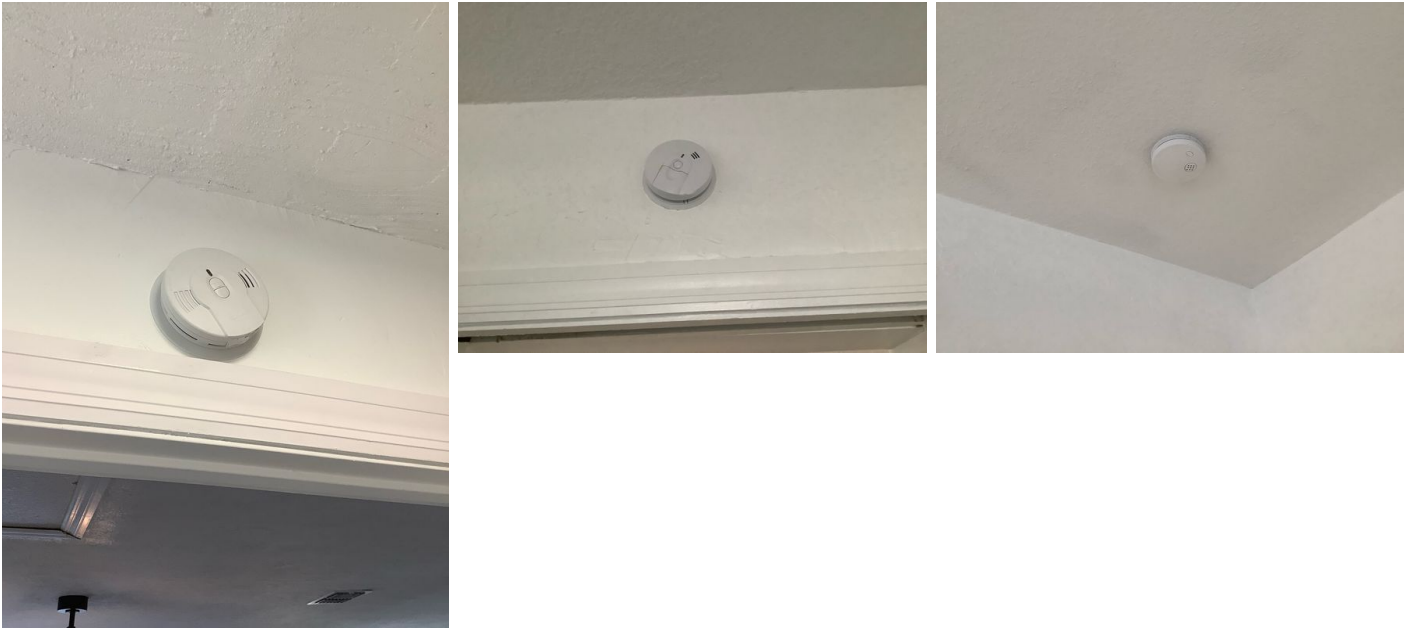
In 2020, local fire departments responded to an estimated 1.4 million fires in the United States alone. These fires caused 3,500 civilian fire deaths and 15,200 reported civilian fire injuries according to the National Fire Protection Association.

How to Test Your Smoke and Carbon Monoxide De...

  
Share



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### Smoke and/or CO Alarms & Safety: Fire extinguishers - FYI

Interior

Equip your home with a fire extinguisher on each level and in the garage, kitchen and basement if applicable. Fire extinguishers have different ratings; select one that's rated "ABC," which means it's good for all common household fires. Contact your local fire department for more information.

## Recommendations

### 9.1.1 Floors, Walls, Ceilings

#### FLOOR-TILE DETERIORATED

INTERIOR

Tile flooring is damaged, deteriorated, and/or substandard in one or more areas. A qualified contractor should evaluate and make repairs as necessary.

Recommendation

Contact a qualified flooring contractor



Deficiencies



Laundry Room

### 9.2.1 Windows and Doors

#### DOOR RUBS AGAINST FLOOR

INTERIOR

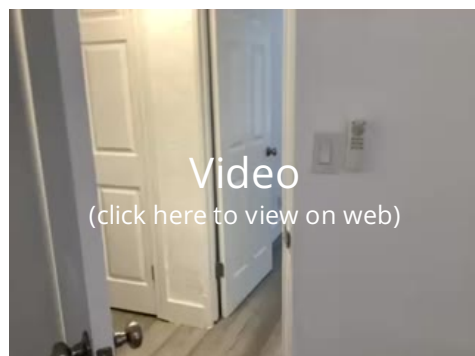
Door is rubbing against the floor. It may damage the floor over time. Recommend further evaluation and repair by a qualified contractor.

Recommendation

Contact a qualified door repair/installation contractor.



Deficiencies



### 9.2.2 Windows and Doors

#### DOORSTOPS MISSING

INTERIOR

Fixtures such as door stops, hinge stops or wall stops are missing at one or more doors. It is recommend having a qualified contractor install stops, wall stops or hinge stops where missing. When wall/door stops are missing there is a possibility the door will create unnecessary damage.

Recommendation

Contact a qualified door repair/installation contractor.



Deficiencies



Bedroom



Bedroom

9.2.3 Windows and Doors

 Deficiencies

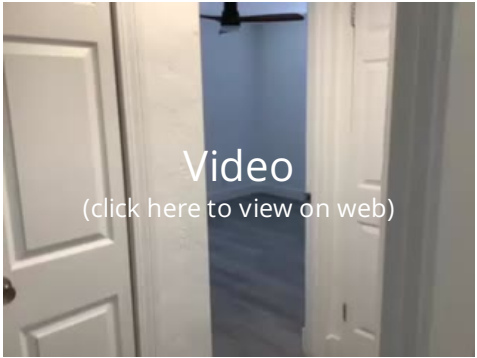
**DOOR-WON'T LATCH**

INTERIOR

Door will not latch when closed. Repairs should be made as necessary, and by a qualified contractor if necessary. For example, aligning strike plates with latch bolts and/or replacing locksets.

Recommendation

Contact a qualified door repair/installation contractor.



9.2.4 Windows and Doors

 Maintenance Items

**ENTRY DOOR-WEATHERSTRIP**

INTERIOR

The weatherstrip around exterior entry door is deteriorated. Weatherstrip may simply need to be adjusted or replaced if needed.

Recommendation

Recommended DIY Project



Rear

## 9.2.5 Windows and Doors



Deficiencies

**WINDOW HARD TO OPEN/CLOSE**

## INTERIOR

One or more windows are difficult to open and/or close. The windows should be adjusted so that they will open and close freely and all necessary repairs should be made.

## Recommendation

Contact a qualified window repair/installation contractor.



Rear Room - broken handle



Bedroom

## 9.2.6 Windows and Doors



Deficiencies

**WINDOW-WON'T OPEN**

## INTERIOR

One or more windows that were built to open, will not open, or open only minimally due to their being damaged and/or deteriorated in some way. Repairs should be made as necessary, and by a qualified contractor if necessary so windows open fully, and open and close easily.

## Recommendation

Contact a qualified window repair/installation contractor.





Laundry Room



Bedroom

9.3.1 Electrical

 Deficiencies

**CEILING FAN NOISY**

INTERIOR

Ceiling fan is noisy at times and wobbles a bit during operation. Recommend having a qualified contractor evaluate and repair as necessary.

Recommendation

Contact a qualified professional.



9.3.2 Electrical

 Deficiencies

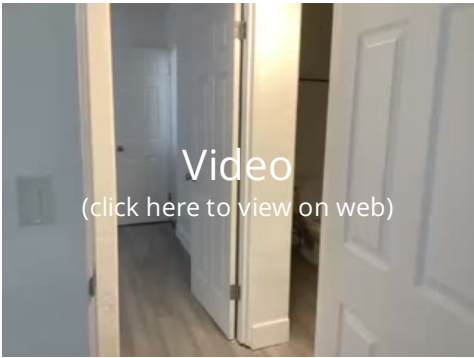
**LOOSE PLUG/COVER**

INTERIOR

One or more electric receptacles and/or the boxes in which they were installed were loose and/or not securely anchored. Wire conductors can be damaged due to repeated movement and/or tension on wires, or insulation can be damaged. This may become a shock and fire hazard. Recommend that a qualified electrician repair as necessary.

Recommendation

Contact a qualified electrical contractor.



9.4.1 Smoke and/or CO Alarms & Safety

 Maintenance Items

**REPLACE BATTERIES**

INTERIOR

Battery missing. Recommend adding one.

Recommendation  
Recommended DIY Project



9.4.2 Smoke and/or CO Alarms & Safety

Maintenance Items

**SMOKE ALARMS MISSING**

INTERIOR

Smoke alarm missing. It is advised that smoke alarms should be installed as necessary so a functioning alarm exists in each hallway leading to bedrooms and in each bedroom for safety purposes. This should be be done at clients discretion.

Recommendation  
Recommended DIY Project



Bedroom

10: BATHROOMS

Information

Bathtub: Running water

Bathroom



Flooring: Floor Pictures

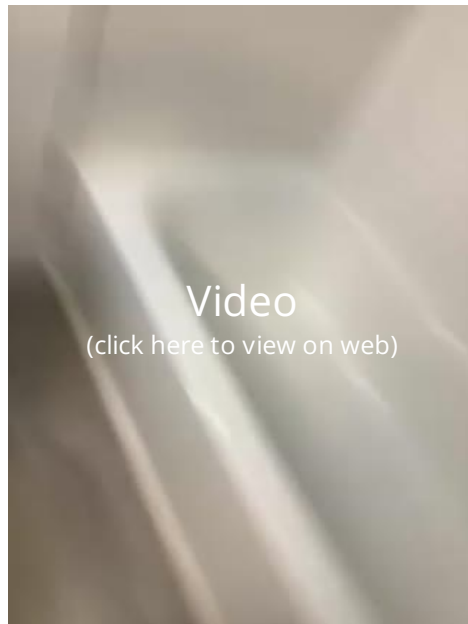
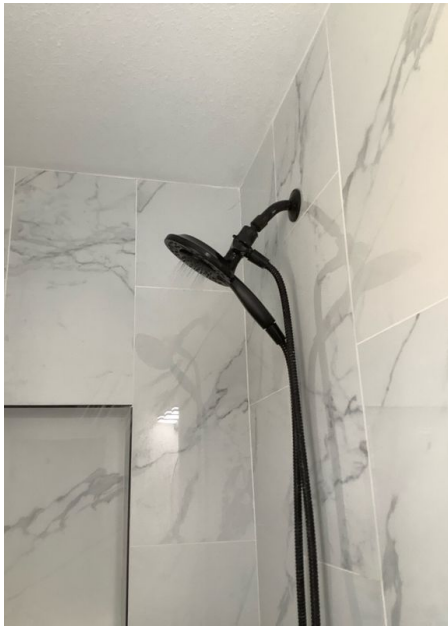
Bathroom





**Shower: Running water**

Bathroom

**Electrical: Bathroom electrical photos**

Bathroom

\*\*\*Not every electrical receptacle tested has its own photo; usually one photo per room. A representative sample of electrical receptacles try to be tested if possible.

\*\*\*Green light indicates powered on and wired correctly\*\*\*

**Electrical: GFCI Protection**

Bathroom

Present in all bathrooms. The ground-fault circuit interrupter, or GFCI, is a fast-acting circuit breaker designed to shut off electric power in the event of a ground-fault within as little as 1/40 of a second (.005 amps). It works by comparing the amount of current going to and returning from equipment along the circuit conductors. The NEC mandates GFCI protection in many areas of the home: bathrooms, garages, outdoor receptacles, crawl spaces, basements, kitchens and anything within six feet of a sink or water source.

Test GFCI monthly with the test/reset button on the face of the breaker or outlet. Testing is simple and essential. Push the test button, and the GFCI will trip. Reset the GFCI outlet by pressing the reset button on the face of the outlet. Reset a GFCI breaker (at the main panel) by moving the switch from the center 'tripped position' to fully 'off' and then to the 'on' position.

**Exhaust Fan: Exhaust fan**

Bathroom

Exhaust fans appear functional in all bathrooms. All mechanical exhaust fans should terminate outside. Confirming that the fan exhausts outside is beyond the scope of a home inspection.



**Exhaust Fan: Normal cleaning**

Bathroom

Fans in the ceiling are more important than you might think. It helps get rid of odors, airborne contaminants and moisture in the air. A fan covered in dust doesn't work efficiently, eventually leading to mold, mildew and possibly a house fire. Particles of moisture-laden animal dander and lint are attracted to the fan because of its static charge. Cleaning the cover and motor housing every six months to one year will remove most of the accumulated dust.

**Sink/countertop: Running water and under sink area**

Bathroom

Water was run at all bathroom sinks, bathtubs, and showers. The inspector also looked for deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously.



Toilets: Toilets

Bathroom

Toilets were flushed.



Recommendations

10.2.1 Bathtub

CLOGGED OR DRAINS SLOWLY

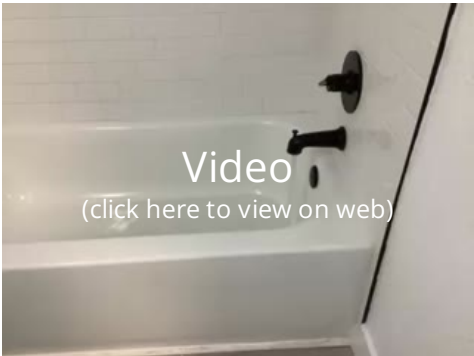
BATHROOM

Bathtub drain is clogged or drains slowly. Drain(s) should be cleared as necessary, and by a qualified plumber if necessary.

Recommendation

Contact a qualified plumbing contractor.

 Deficiencies



10.3.1 Shower

SHOWER HEAD NEEDS CAULKING

BATHROOM

Shower head/flange (escutcheon plate) needs caulking/seal to help eliminate moisture intrusion behind the walls when the shower is on. Recommend DIY or further evaluation and repairs by a qualified contractor if necessary.

 Maintenance Items



## Recommendation

## Recommended DIY Project



Rear Bathroom



Front Bathroom

## 10.5.1 Exhaust Fan

**DIRTY FAN GRILLE**

## BATHROOM

It is recommended to have fan grille cleaned to allow the exhaust fan to properly function. As air is drawn through the fan, dust builds up on the grill cover and the fan motor over time. Cleaning the cover and motor housing every six months to one year will remove most of the accumulated dust.

## Recommendation

## Recommended DIY Project



Maintenance Items



## 10.5.2 Exhaust Fan

**NONE WITH SHOWER**

## BATHROOM

One or more bathrooms with a shower do not have an exhaust fan installed. Moisture accumulation will occur and may damage the structure. Even if a bathroom has a window that opens, it likely does not provide adequate ventilation, especially during cold weather when the window is closed. A qualified contractor should install exhaust fans as per standard building practices where missing in bathrooms with showers. Even if a small toilet room in the bathroom has an exhaust fan if applicable, it's still a good idea to have one in the main bathroom as well near the shower. An exhaust fan may not have been required when the home was built, but its always recommended to add an exhaust fan where missing.

## Recommendation

Contact a qualified professional.



Deficiencies



## 10.5.3 Exhaust Fan

**FAN LIGHT INOPERABLE**

## BATHROOM

Fan light appears to be inoperable. Electrical service size is sufficient for the home. The number of light bulbs out could be from end of useful life or the wattage was too high. Recommend replacing bulb(s) with approved sizes for each fixture. Repairs or replacement of the light fixture(s) by a qualified electrician may be necessary.

## Recommendation

Recommended DIY Project



Maintenance Items



## 10.6.1 Sink/countertop

**STOPPER ISSUE**

## BATHROOM

Sink stopper mechanism missing. Stopper mechanisms should be installed where missing and/or repairs should be made so sink stoppers open/close easily and remain closed when needed.

## Recommendation

Contact a qualified plumbing contractor.



Deficiencies



Front Bathroom

## 10.7.1 Toilets

**LOOSE**

## BATHROOM

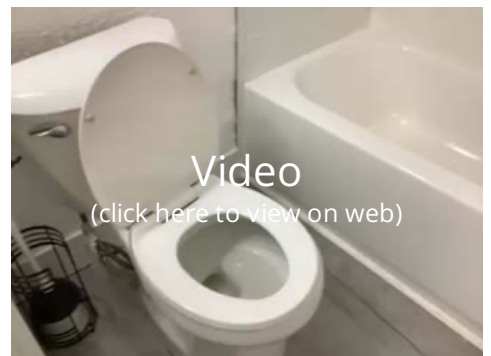
Toilet loose. A qualified contractor should remove the toilet for further evaluation and repairs if necessary. A new wax ring should be installed and toilet should be securely anchored to the floor to prevent movement and leaking. Toilet seals at the base could break loose and cause leaks at the base of the toilet over time if toilet is not properly secured.

## Recommendation

Contact a qualified plumbing contractor.



Deficiencies



Video  
(click here to view on web)

## 10.8.1 Wall

**LOOSE TOILET PAPER HOLDER**

## BATHROOM



Deficiencies

The toilet paper holder is loose at the wall and damage may occur. The holder should be secured to the wall with the correct fasteners to help prevent damage.

Recommendation

Contact a qualified professional.



# 11: KITCHEN

## Information

**Flooring: Flooring Pictures**  
Kitchen



**Sink: Running water and below sink**  
Kitchen





Electrical: Kitchen electrical photos

Kitchen

\*\*\*Not every electrical receptacle tested has its own photo. A representative sample of electrical receptacles try to be tested if possible.

\*\*\*Green light indicates powered on and wired correctly\*\*\*



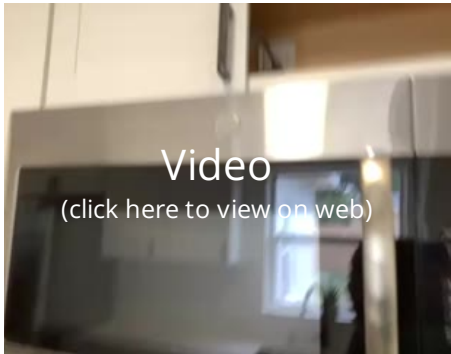
12: APPLIANCES

Information

Hood/Vent: Hood/Vent

Kitchen

The range hood exhaust fan and lights appeared to be in serviceable condition at the time of the inspection.



## Range-Cooktop-Oven: Normal operation

### Kitchen

The heating elements for the oven and stove top functioned as expected. Oven calibration is beyond the scope of a building inspection.



## Limitations

### Dishwasher

#### **NOT OPERATED**

### KITCHEN

The dishwasher was not operated. It appears brand new. It should be operated by new owner. Any issues should be brought to the manufacturers attention.



### Garbage Disposal

#### **NOT PLUGGED IN**

### KITCHEN

Disposal not evaluated. It may be unplugged for a reason. Inquire with seller.



### Refrigerator

#### **TURNED OFF/UNPLUGGED**

### KITCHEN

The refrigerator was off/unplugged. It is recommended to let the refrigerator run for several hours before checking the cooling operation.



# 13: LAUNDRY ROOM

## Information

**General: Washer Manufacturer**  
Laundry Room  
Samsung



**General: Laundry receptacle**  
Laundry Room





General: Dryer Manufacturer

Laundry Room  
Samsung



General: Dryer Vent Cleaning - Home Maintenance Tips

Laundry Room

Every year, dryer duct fires cause \$35 million in damages, hundreds of injuries and even deaths. Lint fires from backed up dryers account for around 16,000 house fires annually. If you ever notice a burning stench in your laundry room, this is another indication you should get cleaning sooner rather than later. Clothes dryer exhaust ducts can be a safety hazard due to the risk of fire from decreased air flow from build-up lint/debris. Experts recommend you clean out your dryer ducts twice a year. Some chimney sweeps or heating/cooling duct cleaners perform this service if needed.

How to Clean Your Dryer Vent | NPI Maintenance M...



Share



Watch on  YouTube

Limitations

General  
**UNPLUGGED**  
LAUNDRY ROOM

Both unplugged. Inspectors don't plug in appliances. They may be unplugged for a reason. Inquire with seller.



# 14: CHECKLIST

## Information

**General: All fence gates were closed**  
Exterior

**General: Oven/Range/Cooktops turned off**  
Kitchen

**General: Thermostat was reset to original position**  
Interior

**General: Final Checklist**

It is our goal to treat every home with respect and leave them in the same condition as when we arrived. These are steps that were taken as part of our final checklist in order to ensure that everything was reset to it's original position/condition.

# STANDARDS OF PRACTICE

## Inspection details

Southshore/Manatee Property Inspections, Inc. DBA National Property Inspections is pleased to submit the enclosed report. This report is a professional opinion based on a visual inspection of the readily accessible areas and components of the building. This report is neither an engineering inspection nor an exhaustive technical evaluation. An engineering inspection or a technical evaluation of this nature would cost many times more and take days, if not weeks, to complete.

Please understand that there are limitations to this type of visual inspection. Many components of the property are not visual during the inspection and very little historical information (if any) is provided in advance of, or even during, the inspection. While we believe we can reduce your risk of purchasing a property, we can not eliminate it, nor can or do we assume it. Even the most comprehensive inspection cannot be expected to reveal every condition you may consider significant to ownership. In addition to those improvements recommended in our report, we recommended that you budget for unexpected repairs. On the average, we have found it necessary for you to set aside a percentage of the value of the home on an annual basis that will be sufficient to cover unexpected repairs. This maybe 1 % for a modest home and a higher amount, say maybe 3 % or so, for a more complex and / or an older home with aging systems and some deferred maintenance.

Your attention is directed to your copy of the Pre-Inspection Agreement. It more specifically explains the scope of the inspection and the limit of our ability in performing this inspection. The Standards of Practice and Code of Ethics of the International Association of Certification Home Inspectors (InterNACHI) prohibit us from making any repairs or referring any contractors. We are not associated with any other party to the transaction of this property, except as may be disclosed by you.

We make no representations as to the extent or presence of code violations, nor do we warrant the legal use of this building. This information would have to be obtained from the local building and/or zoning department.

The information provided in this report is solely for your use. Southshore/Manatee Property Inspections, Inc. DBA National Property Inspections will not release a copy of this report, nor will we discuss its contents with any third party, without your written consent.

We know you had many options in your choice of an inspection company. Thank you for selecting us. We appreciate the opportunity to be your choice in the building inspection industry. Should you have any questions about the general conditions of the house in the future, we would be happy to answer these.

## Roof

The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; solar roofing components. Any comments made regarding these items are made as a courtesy only. Note that the inspector does not provide an estimate of remaining life on the roof surface material, nor guarantee that leaks have not occurred in the roof surface, skylights or roof penetrations in the past. Regarding roof leaks, only active leaks, visible evidence of possible sources of leaks, and evidence of past leaks observed during the inspection are reported on as part of this inspection. The inspector does not guarantee or warrant that leaks will not occur in the future. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high wind and rain) would be needed to do so. Occupants should monitor the condition of roofing materials in the future. For older roofs, recommend that a professional inspect the roof surface, flashings, appurtenances, etc. annually and maintain/repair as might be required. If needed, the roofer should enter attic space(s). Regarding the roof drainage system, unless the inspection was conducted during and after prolonged periods of heavy rain, the inspector was unable to determine if gutters, downspouts and extensions perform adequately or are leak-free.

The report is not intended to be conclusive regarding the life span of the roofing system or how long it will remain watertight in the future. The inspection and report are based on visual and apparent conditions at the time of the inspection. Unless prolonged and extensive rain has fallen just prior to the inspection, it may not be possible to determine if active leakage is occurring. Even then, numerous features may conceal active leakage. Usually not all attics are readily accessible for inspection. The client is advised to inquire about the presence of any roof leaks with the present owner.



If Required, Only Qualified, Licensed Personnel Should Carry Out Any Repairs Needed.

All roofs require periodic maintenance to achieve typical lifespans, and should be inspected annually. Expect to make periodical repairs to any roof on a routine basis with replacement at the end of the roof's material Useful Service Life, which may not be equal to its Design Life.

CONCLUSIONS MADE BY THE INSPECTOR DO NOT CONSTITUTE A WARRANTY, GUARANTY, OR POLICY of INSURANCE.

### **Exterior**

The inspector performs a visual inspection of accessible components or systems at the exterior. Items excluded from this inspection include below-grade foundation walls and footings; foundations, exterior surfaces or components obscured by vegetation, stored items or debris; wall structures obscured by coverings such as siding or trim. Some items such as siding, trim, soffits, vents and windows are often high off the ground, and may be viewed using binoculars from the ground or from a ladder. This may limit a full evaluation. Regarding foundations, some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. Note that the inspector does not determine the adequacy of seismic reinforcement.

Unless specifically included in the inspection, the following items and any related equipment, controls, electric systems and/or plumbing systems are excluded from this inspection: detached buildings or structures; fences and gates; retaining walls; underground drainage systems, catch basins or concealed sump pumps; swimming pools and related safety equipment, spas, hot tubs or saunas; whether deck, balcony and/or stair membranes are watertight; trees, landscaping, properties of soil, soil stability, erosion and erosion control; ponds, water features, irrigation or yard sprinkler systems; sport courts, playground, recreation or leisure equipment; areas below the exterior structures with less than 3 feet of vertical clearance; invisible fencing; sea walls, docks and boathouses; retractable awnings. Any comments made regarding these items are as a courtesy only.

### **HVAC**

The following items are not included in this inspection: humidifiers, dehumidifiers, electronic air filters; solar, coal or wood-fired heat systems; thermostat or temperature control accuracy and timed functions; heating components concealed within the building structure or in inaccessible areas; underground utilities and systems; safety devices and controls (due to automatic operation). Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on heating or cooling system components, does not determine if heating or cooling systems are appropriately sized, does not test coolant pressure, or perform any evaluations that require a pilot light to be lit, a shut-off valve to be operated, a circuit breaker to be turned "on" or a serviceman's or oil emergency switch to be operated. It is beyond the scope of this inspection to determine if furnace heat exchangers are intact and free of leaks. Condensation pans and drain lines may clog or leak at any time and should be monitored while in operation in the future. Where buildings contain furnishings or stored items, the inspector may not be able to verify that a heat source is present in all "liveable" rooms (e.g. bedrooms, kitchens and living/dining rooms). Air conditioning systems are not tested if the outside temperature is too cold for proper operation. AC Unit and Heat Equipment are not disassembled for inspection.

### **Plumbing**

A plumbing system consists of the domestic water supply lines, drain, waste and vent pipes, and gas lines. Inspection of the plumbing system is limited to visible faucets, fixtures, valves, drains, traps, exposed pipes, and fittings. These items are examined for proper function, excessive or unusual wear, leakage, and general state of repair. The hidden nature of piping prevents inspection of every pipe and joint. A sewer lateral test, necessary to determine the condition of the underground sewer lines, is beyond the scope of this inspection.

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following.

1) Portions of the plumbing system canceled by finishes and/or storage (below sinks etc.), below the structure, or beneath the ground surface are not inspected.

2) Water quantity and water quality are not tested unless explicitly contracted for and discussed in this or a separate report.

3) Clothes washing machine connections are not inspected.

4) Interior of flues or chimneys which are not readily accessible are not inspected.

5) Water conditioning systems, solar water heaters, fire and lawn sprinklers, and private waste disposal systems are not inspected unless explicitly contracted for and discussed in this or a separate report.

Please refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

### **Water Heater**

Our review of water heaters includes the tank, connections, venting, and safety valves. These items are examined for proper function, excessive or unusual wear, leakage, and general state of repair. The hidden nature of piping and venting prevents inspection of every pipe, joint, vent, and connection. The following items are not included in this inspection: solar water heating systems; circulation systems. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on water heaters, does not determine if water heaters are appropriately sized, or perform any evaluations that require a pilot light to be lit.

### **Electric Service**

An electrical system consists of the service, distribution, wiring, and convenience outlets (switches, lights, and receptacles). The following items are not included in this inspection: generator systems, transfer switches, surge suppressors, inaccessible or concealed wiring; underground utilities and systems; low-voltage lighting or lighting on timers or sensors. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of grounding or bonding, if this system has an adequate capacity for the client's specific or anticipated needs, or if this system has any reserve capacity for additions or expansion. The inspector does not operate circuit breakers as part of the inspection, and does not install or change light bulbs. The inspector does not evaluate every wall switch or receptacle, but instead tests a representative number of them per various standards of practice. When furnishings, stored items or child-protective caps are present some receptacles are usually inaccessible and are not tested; these are excluded from this inspection. Receptacles that are not of standard 110 volt configuration, including 240-volt dryer receptacles, are not tested and are excluded. The inspector does not evaluate fusing and/or calculate circuit loads. The hidden nature of the electrical wiring prevents inspection of every length of wire. The functionality of, power source for and placement of smoke and carbon monoxide alarms is not determined as part of this inspection. Upon taking occupancy, proper operating and placement of smoke and carbon monoxide alarms should be verified and batteries should be changed. These devices have a limited lifespan and should be replaced every 10 years. The inspector attempts to locate and evaluate all main and sub-panels. However, panels are often concealed. If panels are found after the inspection, a qualified electrician should evaluate and repair if necessary. The inspector attempts to determine the overall electrical service size, but such estimates are not guaranteed because the overall capacity may be diminished by lesser-rated components in the system. Any repairs recommended should be made by a licensed electrician.

### **Attic**

The attic contains the roof framing and serves as a raceway for components of the mechanical systems. There are often ducts, electrical wiring, and appliance vents in the attic. We visually examine the attic for proper function, excessive or unusual wear, general state of repair, leakage, venting, and misguided improvements. The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; areas and components obscured by insulation. Any comments made regarding these items are made as a courtesy only. The inspector does not determine the adequacy of the attic ventilation system. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high/low temperatures, high/low humidity, high wind and rain, melting snow) would be needed to do so. The inspector is not a licensed engineer and does not determine the adequacy of roof structure components such as trusses, rafters or ceiling beams, or their spacing or sizing.

Some attic areas were inaccessible due to the lack of permanently installed walkways, the possibility of damage to insulation, low height and/or stored items. These areas are excluded from this inspection. We conducted our typical attic inspection by walking through the attic areas as much as possible, in what we call the "random walk" methodology. This method of inspection is not intended to cover every square foot of the attic area, nor will it. Further we could not recreate the route of a random walk even if we tried. We do arrive at an overall impression of the attic's condition developed during this random walk inspection and extrapolate it to the entire attic area. In all the attics area shows normal wear and tear for a home of this age.

### **Interiors**

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The following items are not included in this inspection: security, intercom and sound systems; communications wiring; central vacuum systems; elevators and stair lifts; cosmetic deficiencies such as nail-pops, scuff marks, dents, dings, blemishes or issues due to normal wear and tear in wall, floor and ceiling surfaces and coverings, or in equipment; deficiencies relating to interior decorating; low voltage and gas lighting systems. Any comments made regarding these items are as a courtesy only. Note that the inspector does not evaluate any areas or items which require moving stored items, furnishings, debris, equipment, floor coverings, insulation or similar materials. The inspector does not test for asbestos, lead, radon, mold, hazardous waste, urea formaldehyde urethane, or any other toxic substance. Some items such as window, drawer, cabinet door or closet door operability are tested on a sampled basis. The client should be aware that paint may obscure wall and ceiling defects, floor coverings may obscure floor defects, and furnishings may obscure wall, floor and floor covering defects. If furnishings were present during the inspection, recommend a full evaluation of walls, floors and ceilings that were previously obscured when possible. Carpeting and flooring, when installed over concrete slabs, may conceal moisture. If dampness wicks through a slab and is hidden by floor coverings that moisture can result in unhygienic conditions, odors or problems that will only be discovered when/if the flooring is removed. Determining the cause and/or source of odors is not within the scope of this inspection.

### **Kitchen**

The kitchen is visually inspected for proper function of components, active leakage, excessive or unusual wear, and general state of repair. We inspect built-in appliances to the extend possible using normal operating controls.

### **Laundry Room**

#### **LAUNDRY EQUIPMENT:**

Cautionary Statement; we normally operate on-site laundry equipment (at the inspector's discretion). Washers and dryers have special safety concerns to owners. During our inspection, we attempt to check the utility connections, supply of hot and cold water, grounded electrical receptacles and some safety devices. During our inspection the inspector may endeavor to verify that the equipments operates properly, however we do NOT verify the proper operation of ALL safety devices and other built in safe guards. This is a job for an appliance specialist.

Please be aware that with any appliance being used everyday, owners often forget, or over look the potential hazards that are present in these day-to-day helpmates. All laundry equipment operates both with electricity and high speed motors and rotating drums. Because of the combination of water and electricity along with high-speed rotation, all laundry equipment should be respected. PLEASE SECURE ALL OPERATION AND MAINTENANCE MANUALS FROM PRESENT OWNERS OR THE MANUFACTURERS. Virtually all manufacturers have this consumers information available to you-contact the respective manufacturer.

Please instruct all children that these appliances are potentially hazardous and they should not be played with, nor should anyone under any circumstances, place a hand inside any operating laundry equipment.

#### **LIMITATIONS OF APPLIANCES INSPECTION:**

As we discussed and is described in your inspection contract, this is a visual limited in scope by (but not restricted to) the following conditions.

Thermostats, timers and other specialized features and controls are not tested.

The temperature calibration, functionality of timers, effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection.

Please refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.